

2 ENLARGED SITE PLAN  
1"=20'-0"

PARKING REQUIREMENTS	
SELF-STORAGE:	1 SPACE / 3,000 S.F. GFA 71,560 S.F./3,000 = 23.85 SPACES (24)
REQUIRED PARKING:	24 SPACES
PROVIDED SPACES:	25 SPACES (1 H.C.) 2 MOTORCYCLE 1 BICYCLE PARKING

NOTE:  
ALL BROKEN OR  
CRACKED SIDEWALKS  
MUST BE REPLACED WITH  
SIDEWALK AND CURB &  
GUTTER.

- KEYED NOTES
1. WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
  2. WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
  3. 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
  4. ADA ACCESSIBLE RAMP, REF: DETAIL A8/AS-2.0.
  5. 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
  6. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL A6/AS-2.0.
  7. 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
  8. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A5/AS-2.0.
  9. 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
  10. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES TIRE WOULD BE PLACES. [66-1-4.1.B NMSA 1978].
  11. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  12. 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
  13. 2'-0" RADIUS.
  14. 15'-0" RADIUS.
  15. NEW 3' HIGH GABION FENCE WITH 3' HIGH WELDED WIRE MESH FENCE ABOVE, AT PARKING ONLY.
  16. NEW 36"W x 6'H MAN GATE WITH KEYS LOCKSET.
  17. NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
  18. KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
  19. SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAINAGE 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
  20. DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
  21. STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
  22. ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
  23. EDGE OF ASPHALT PAVING.
  24. 6" HIGH WELDED WIRE MESH FENCE.
  25. NEW FIRE HYDRANT.
  26. 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
  27. FLAGPOLE WITH LIGHT.
  28. BASE COURSE.
  29. ELECTRICAL TRANSFORMER, REF: ELECTRICAL PLANS.
  30. BIKE RACK FOR (1) BICYCLE, REF DETAIL A14-A15/AS-2.0. BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE. A. 30" TALL x 18" WIDE. B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION. D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED. E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK. F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE. G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
  31. MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
  32. PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
  33. COVERED PATIO W/ BENCH.
  34. CMU WALL 4" TALL.
  35. 20' - 9"x22" ON STREET PARKING.
  36. EMERGENCY ACCESS CRASH GATE W/ KNOX BOX.
  37. EXISTING DROPPED INLET.
  38. PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
  39. NEW 2' HIGH GABION FENCE WITH 4" HIGH WELDED WIRE MESH FENCE ABOVE.

PROJECT NUMBER: PR-2024-011268  
Application Number: SI-2024-01674

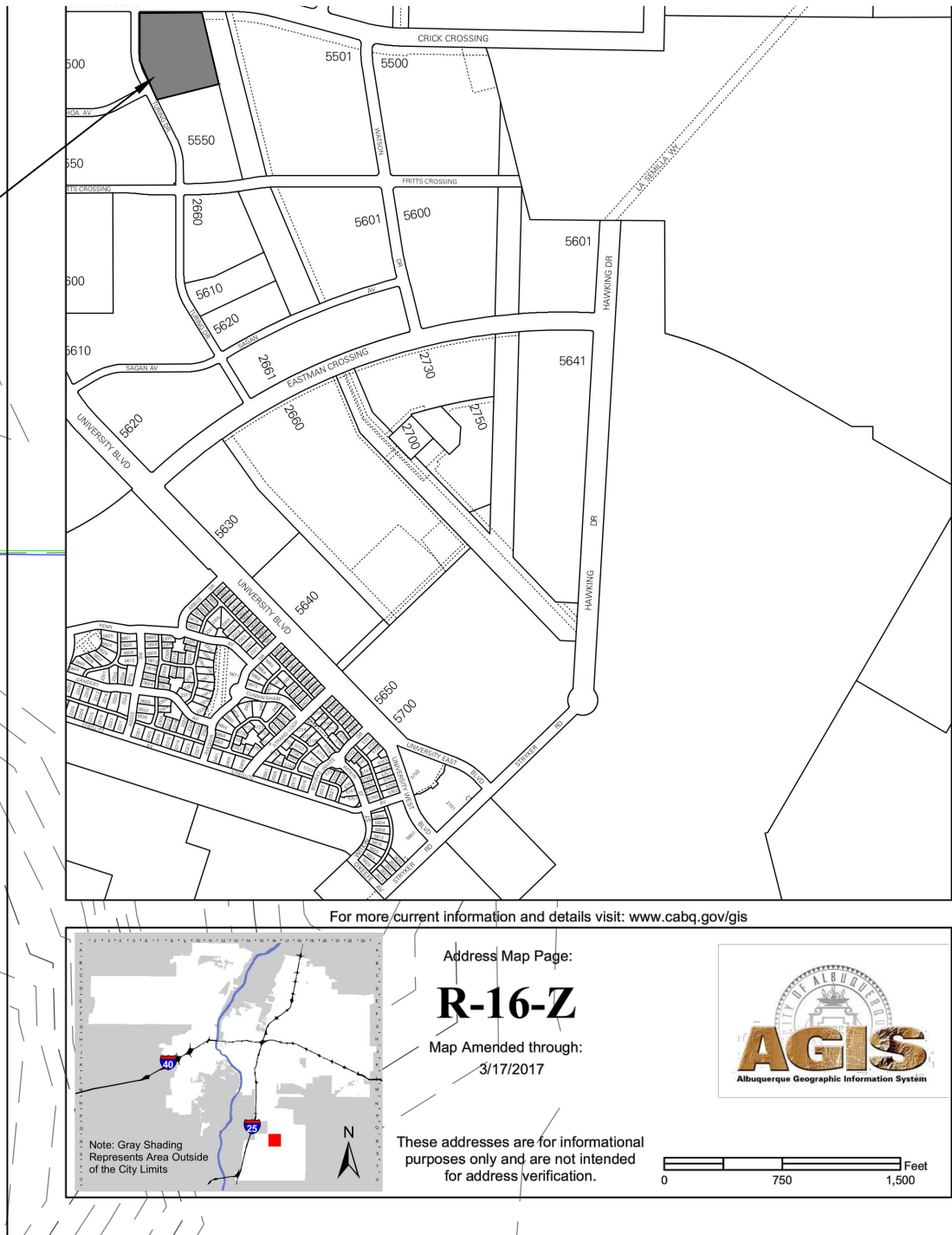
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



SITE LOCATION



BUILDING LEGEND	
BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.

MESA DEL SOL SELF STORAGE  
SITE PLAN  
5500 TURING DR SE  
ALBUQUERQUE, NM 87106  
PROJECT #2322

REVISION DATE
<div>STATE OF NEW MEXICO RICHARD P. BENNETT No. 1240 9/19/24 REGISTERED ARCHITECT</div>
<div>RBA ARCHITECTURE, PC PLANNING DESIGN 5500 Turing Ave. SW, Rm. 202 Albuquerque, NM 87106 Phone: (505) 889-1000 www.rbaarch.com</div>
DATE 09-19-2024
SHEET NUMBER AS-1.0



LS101







# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 9, 2025

Rick Beltramo/Jacky Lin  
NV5 Engineering  
6501 Americas Parkway NE, Suite 400  
Albuquerque, NM 87110

**RE: Mesa Del Sol Self Storage  
5500 Turing Dr. SE  
Grading and Drainage Plan  
Engineer's Stamp Date: 5/7/2025  
Hydrology File: R16DA1004**

Dear Mr. Beltramo & Mr. Lin:

Based upon the information provided in your submittal received 5/7/2025, the Grading Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review.

www.cabq.gov

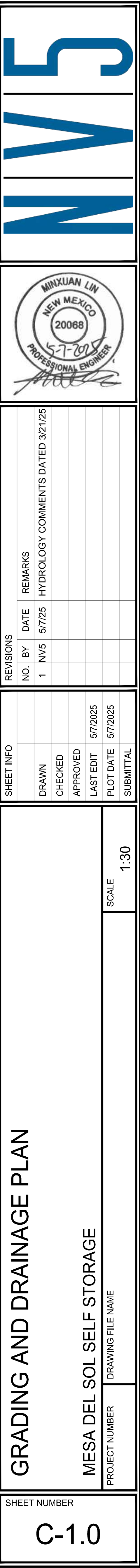
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or [tchen@cabq.gov](mailto:tchen@cabq.gov).

Sincerely,

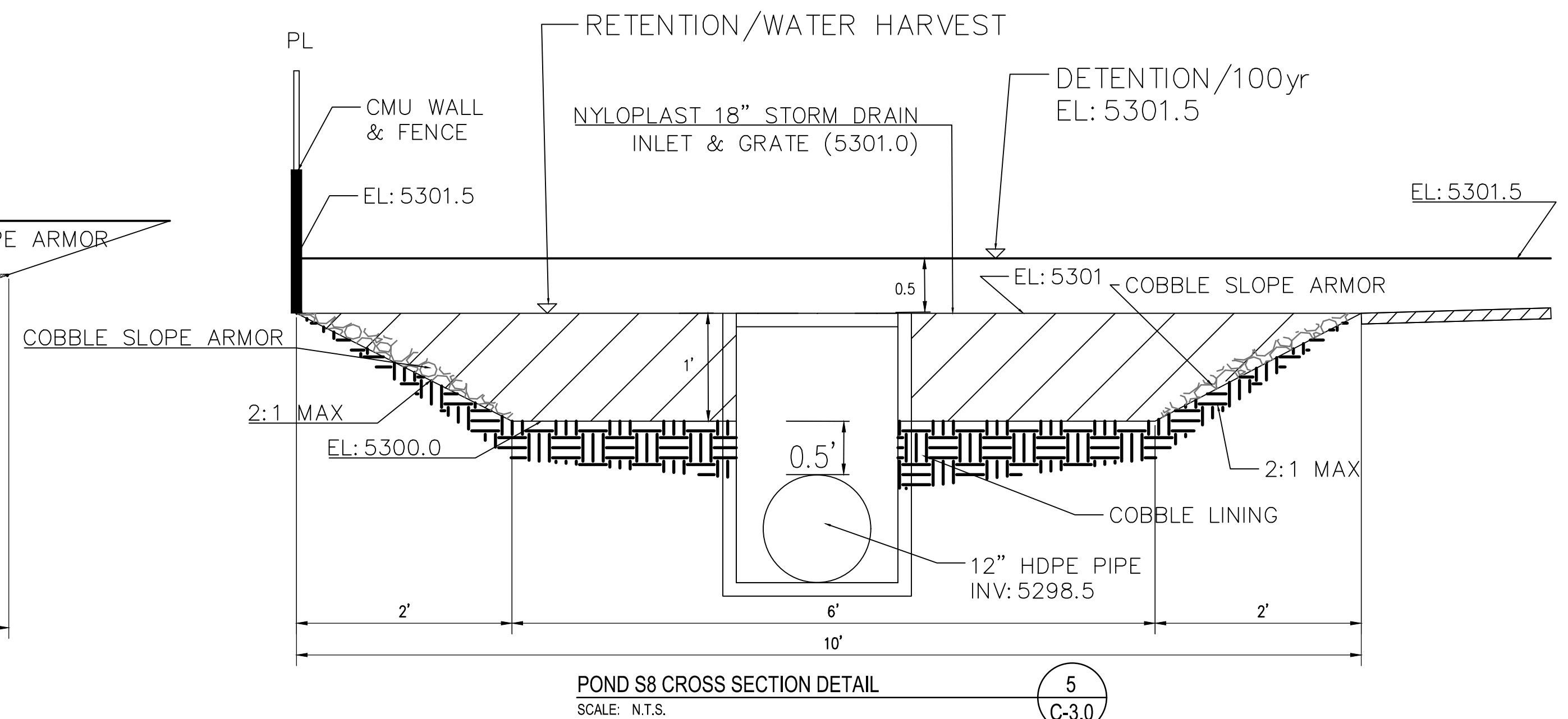
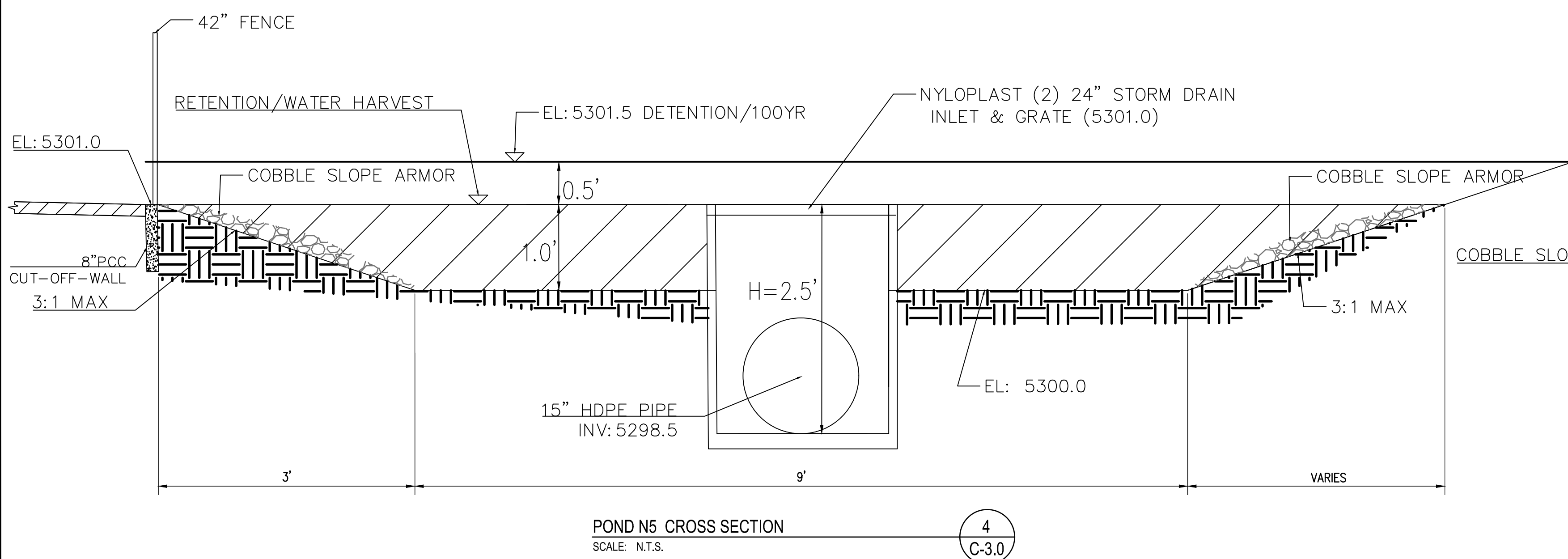
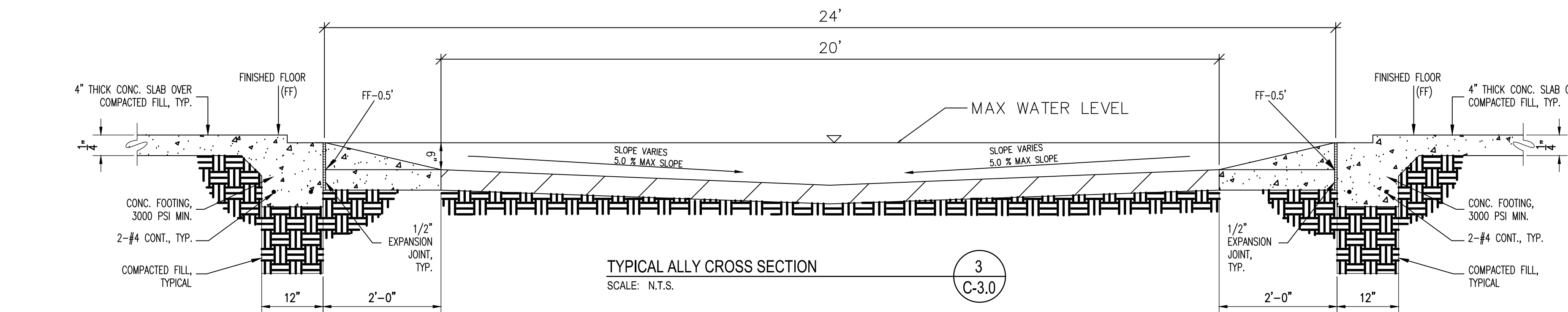
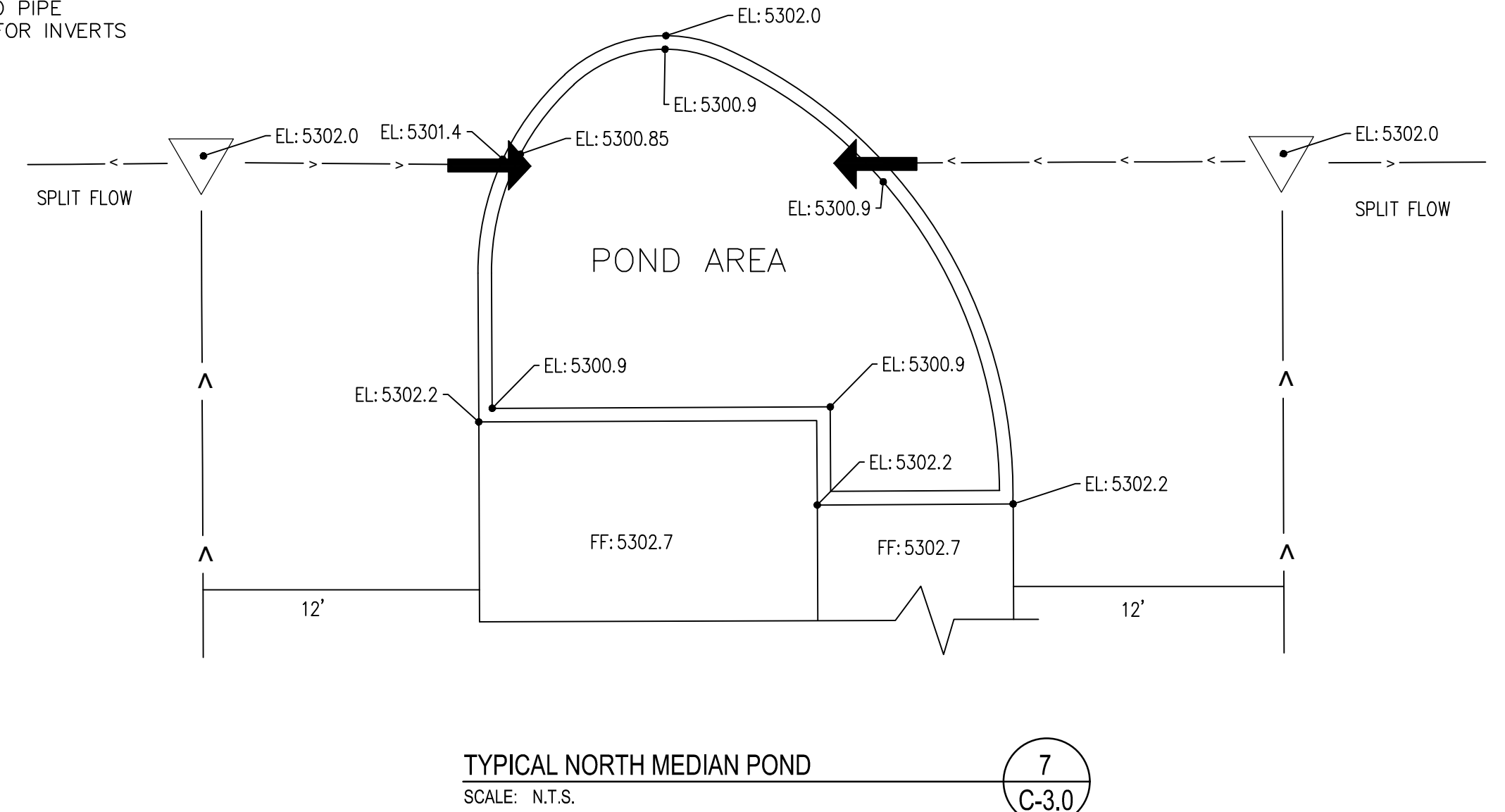
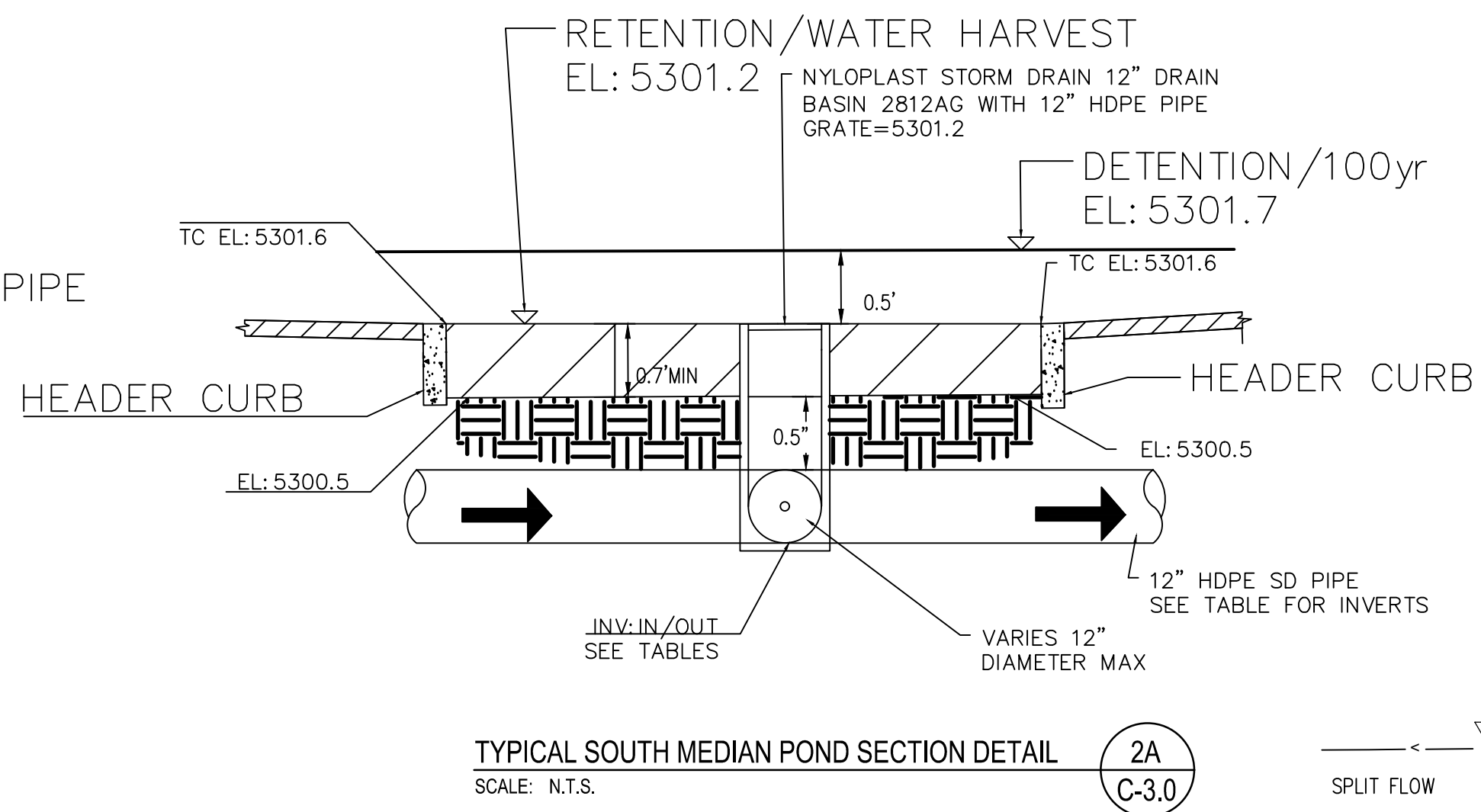
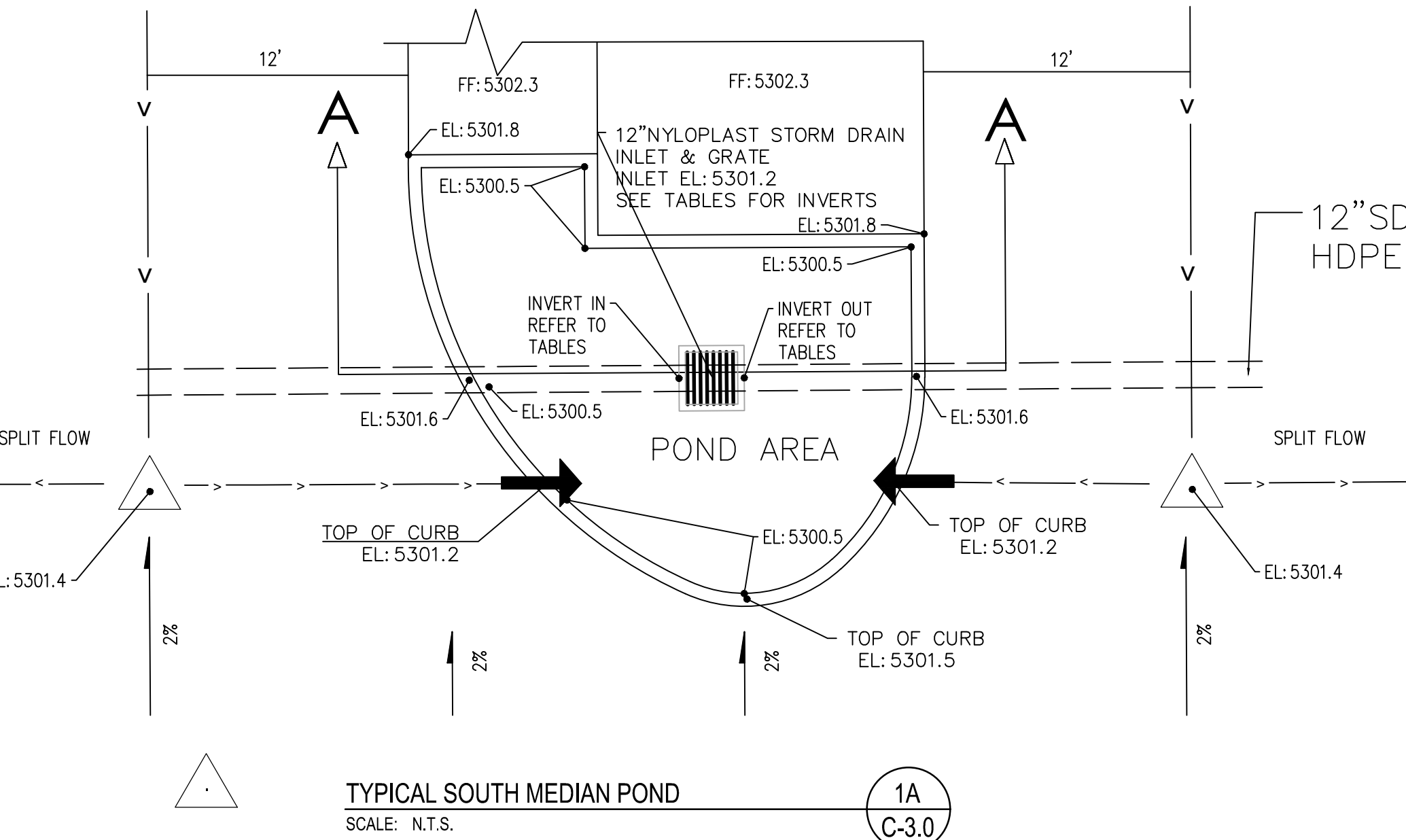
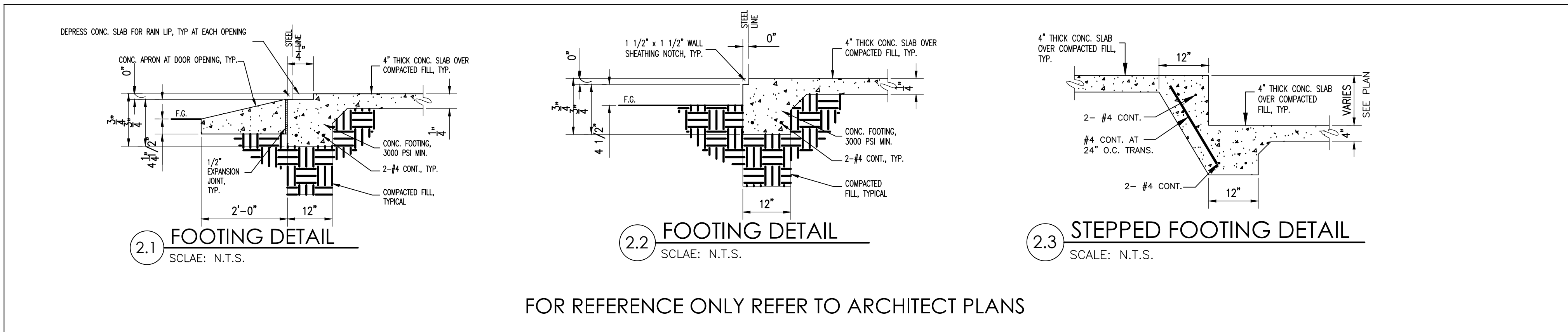
Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services







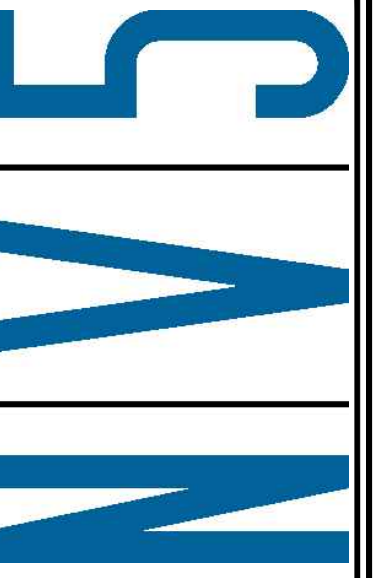
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PIPE	DESIGN	COMBINED	INVERTS	
	Q(cfs)	Q(cfs)	UPSTREAM	DOWNSTREAM
PIPES1	0.5	0.5	5298.7	5298.5
PIPES2	1.0	1.5	5298.5	5298.2
PIPES3	1.0	2.5	5298.2	5297.7
PIPES4	1.1	3.6	5297.7	5296.6
PIPES5	1.0	4.6	5296.6	5294.7
PIPES6	1.1	5.7	5294.7	5293.1
PIPES7	0.6	6.3	5293.1	5286.35
PIPES8	4.5	4.5	5298.0	5288.35
PIPEN5	11.2	11.2	5298.0	5284.00

HDPE STORM DRAIN PIPE INVERT TABLE  
SCALE: N.T.S.

6  
C-3.0



REVISIONS		REMARKS
NO.	DATE	
1	5/7/2025	HYDROLOGY COMMENTS DATED 3/21/25

SHEET INFO		DATE	BY	APPROVED	LAST EDIT	PLOT DATE	SUBMITTAL
DRAWN	CHECKED	5/7/2025	5/7/2025	5/7/2025	5/7/2025	5/7/2025	

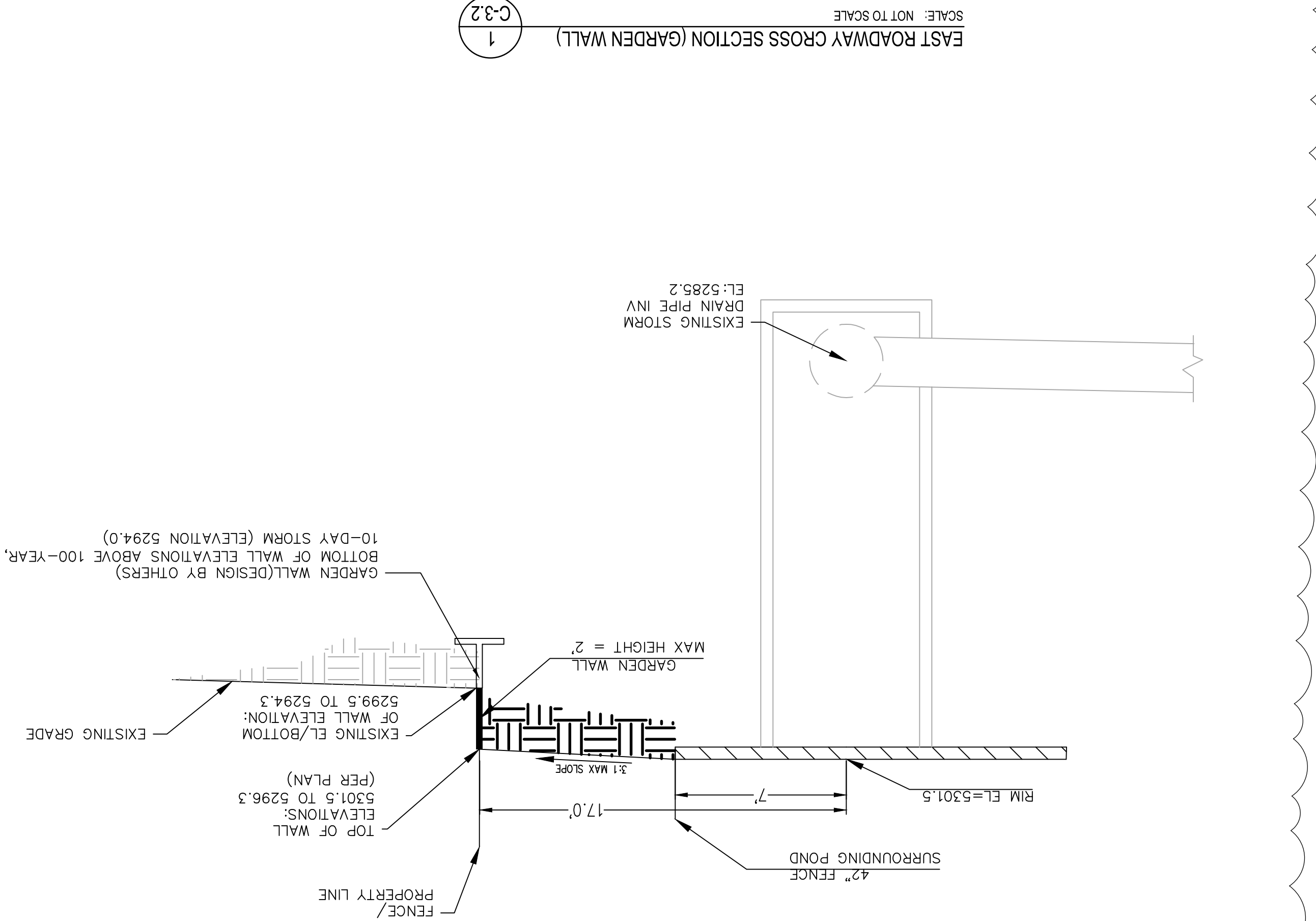
CIVIL DETAILS.

SHEET NUMBER

C-3.0

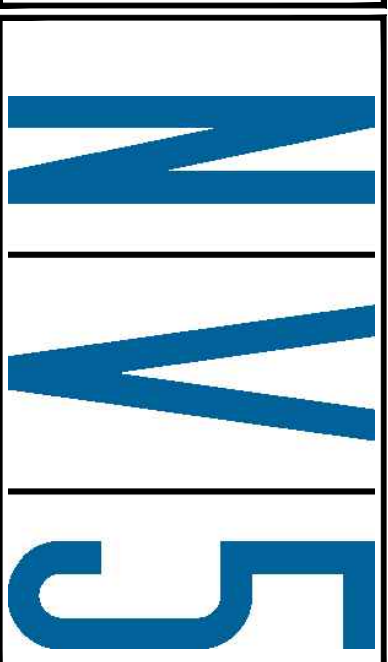






SHEET INFO			
DRAWN			
CHECKED			
APPROVED			
LAST EDIT	5/7/2025		
PLOT DATE	5/7/2025		
SUBMITTAL			

REVISIONS			REMARKS
NO.	BY	DATE	
1	NV5	5/6/25	HYDROLOGY COMMENTS DATED 3/21/25



CIVIL DETAILS.		
PROJECT NUMBER	DRAWING FILE NAME	
	CIVIL DETAILS	
		SCALE

C-3.2

SHEET NUMBER



# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2024

Alejandro Sazo  
RBA Architects, PC  
1104 Park Ave SW  
Albuquerque, NM 87102

[alejandro@rba81.com](mailto:alejandro@rba81.com)

**Re: Mesa Del Sol Self Storage**  
**2322 Mesa del Sol SE**  
**Traffic Circulation Layout**  
Engineer's Stamp Dated 9-19-24 (R16DA1004)

Dear Mr. Sazo,

The TCL submittal received 9-23-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

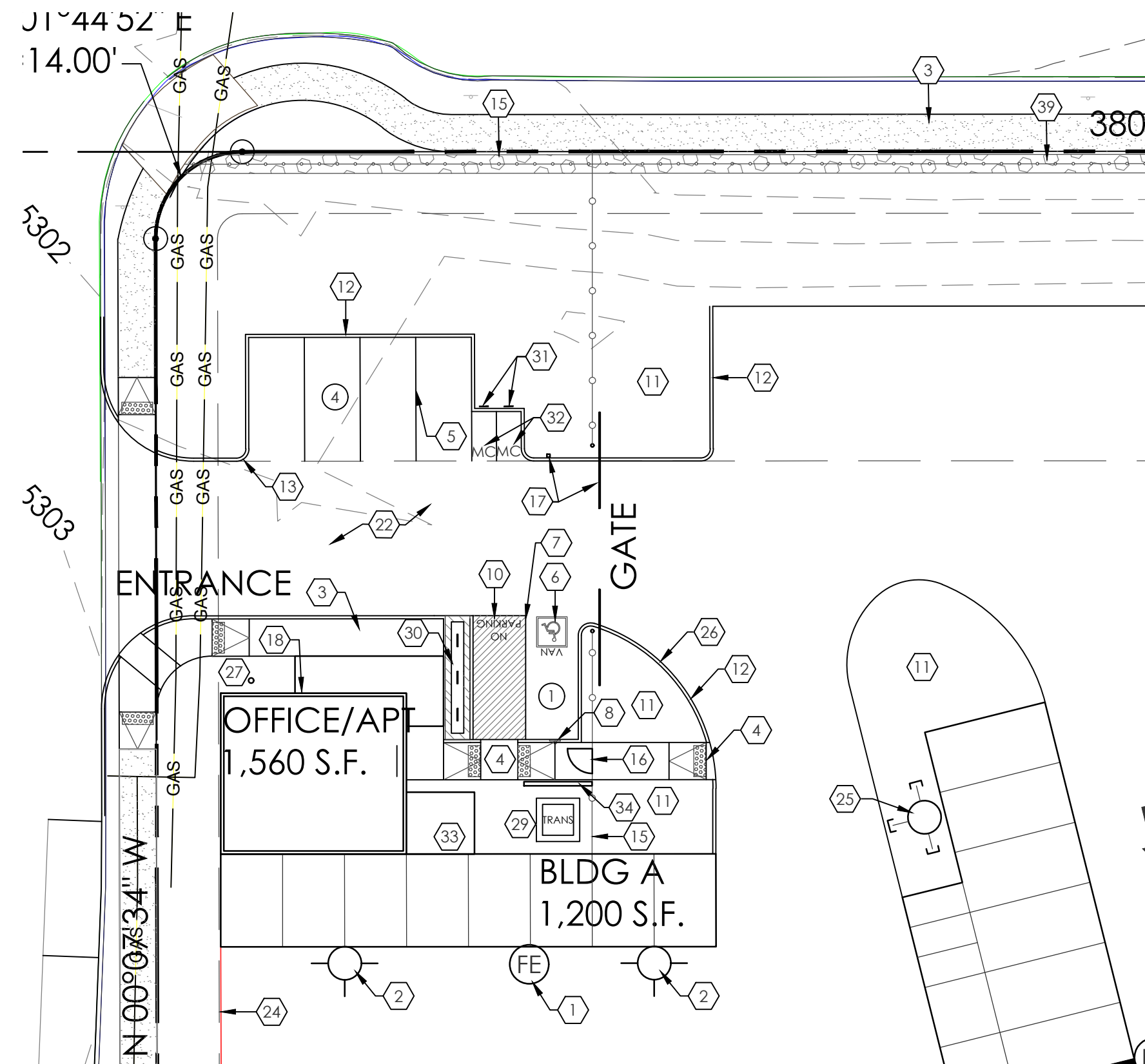
Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File





2 ENLARGED SITE PLAN  
1"=20'-0"

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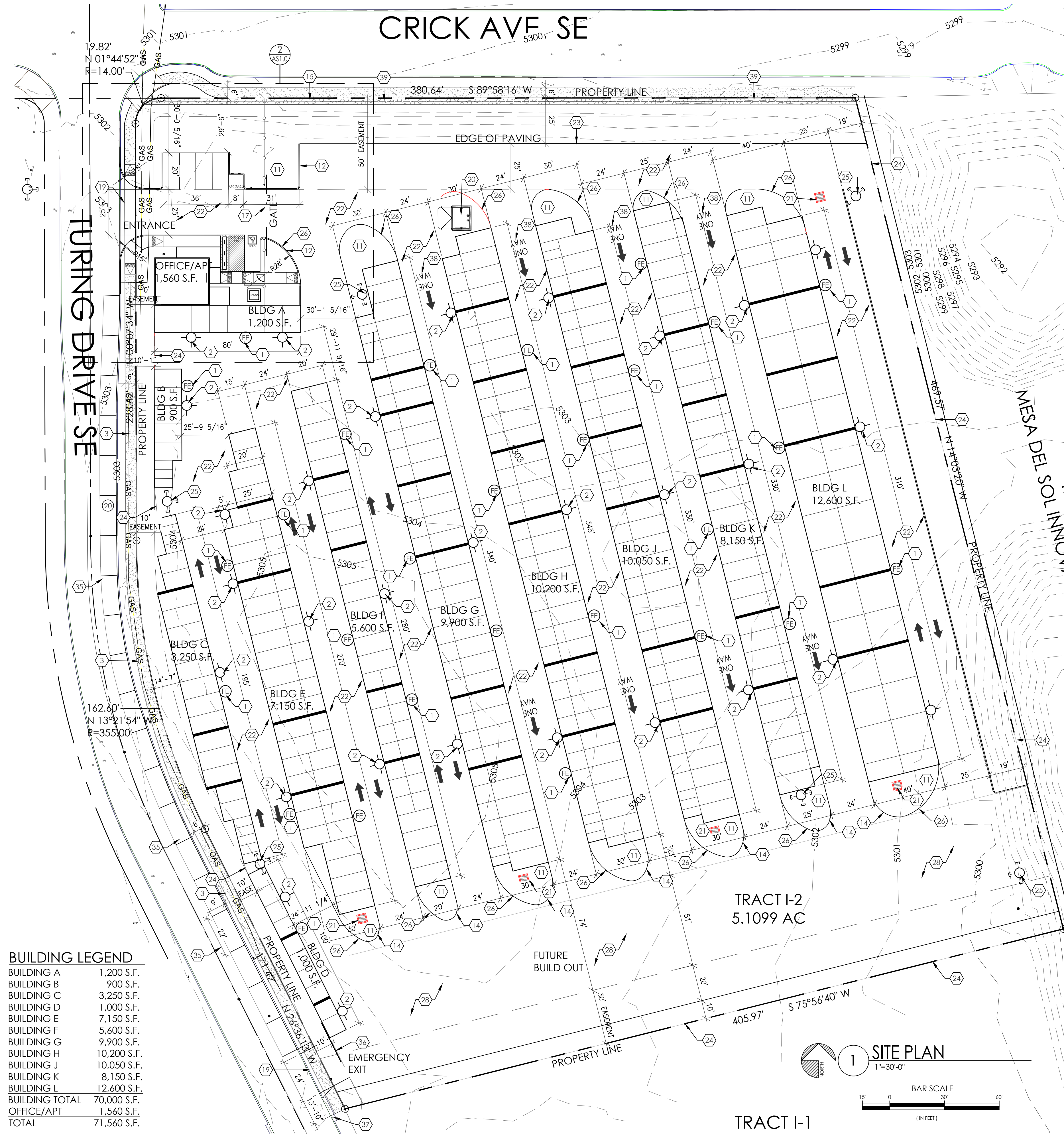
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#### KEYED NOTES

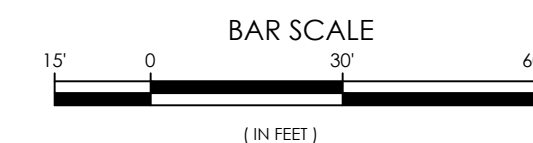
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#### BUILDING LEGEND

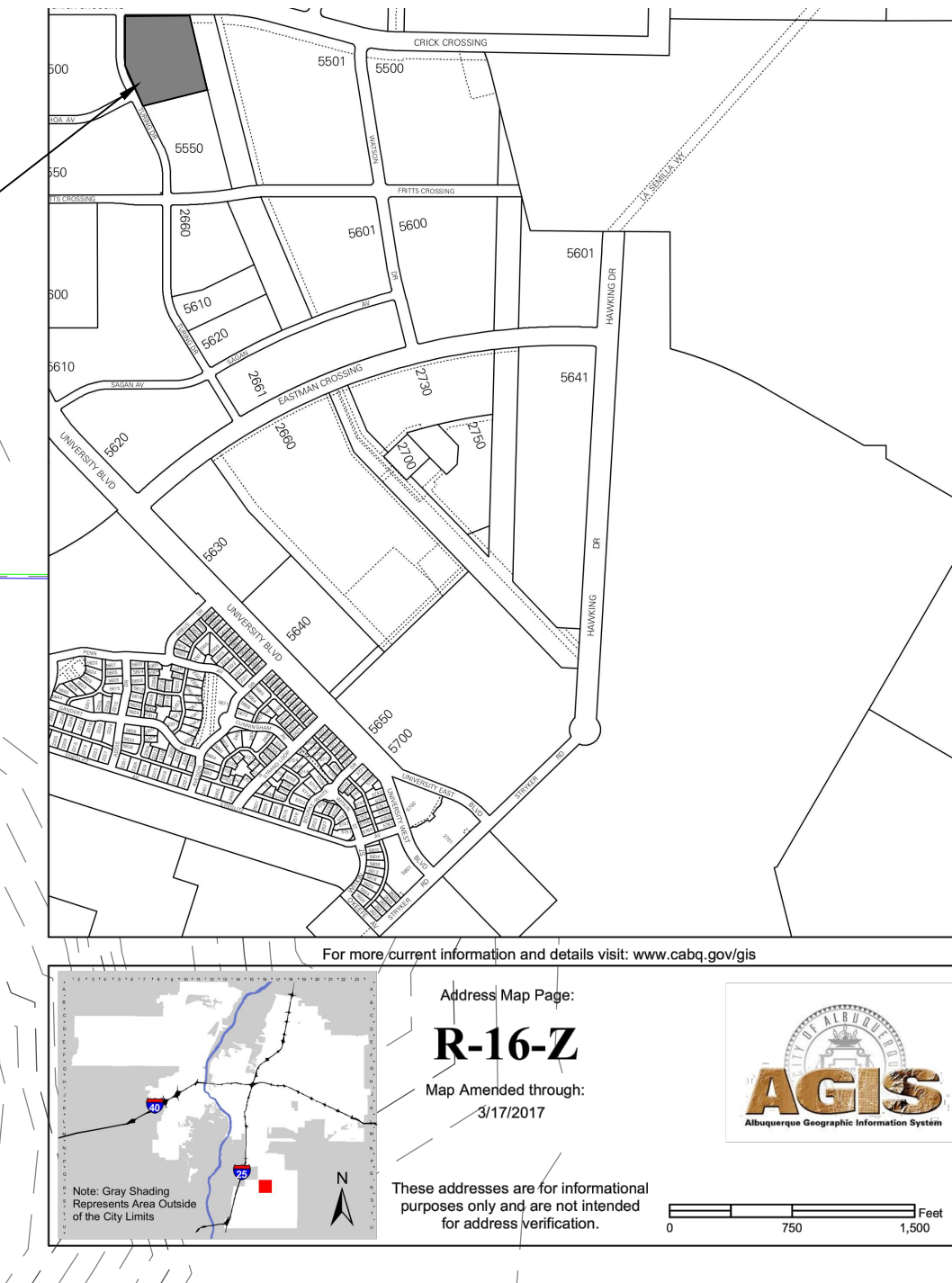
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BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.



1 SITE PLAN  
1"=30'-0"



SITE LOCATION

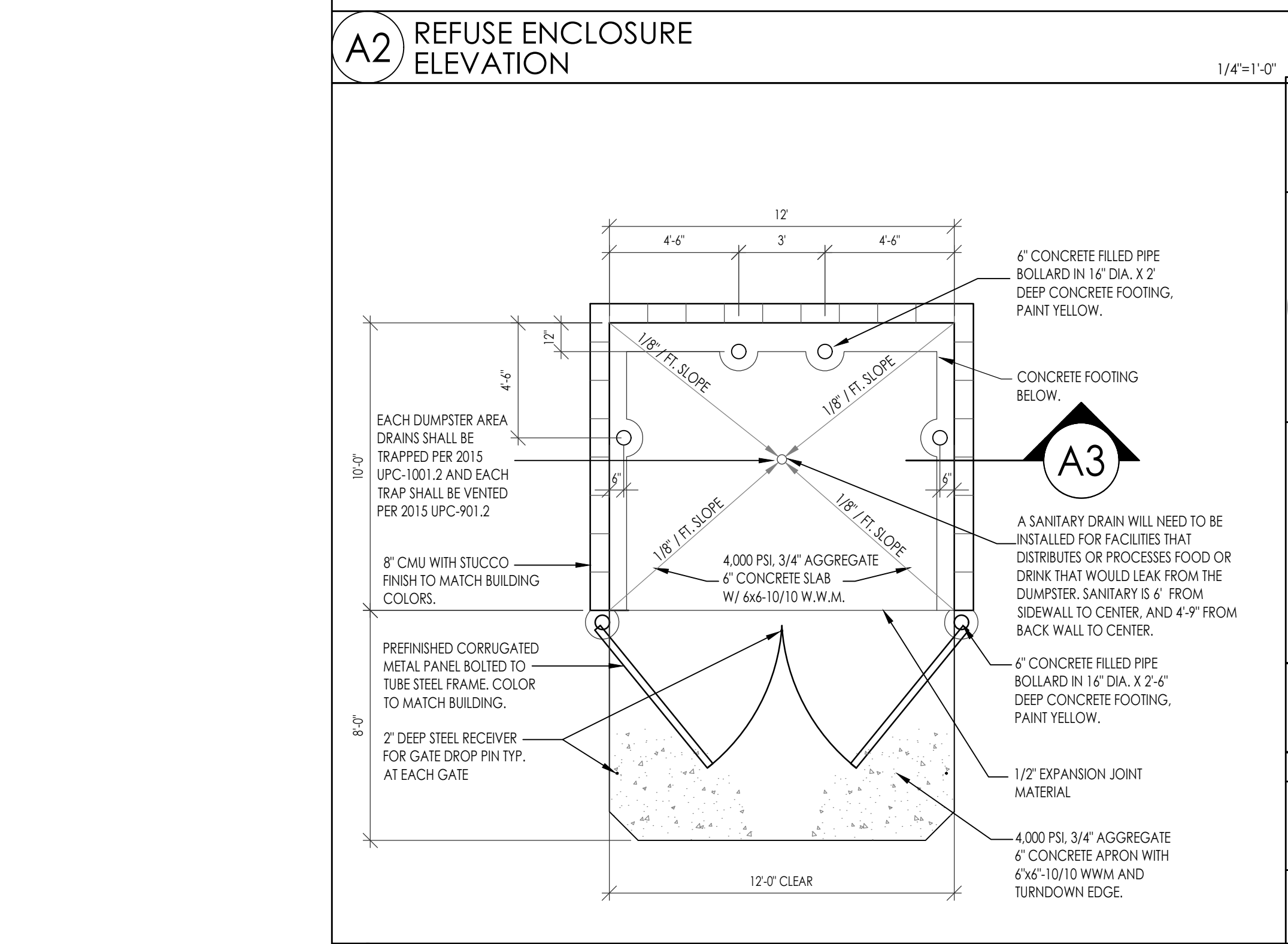
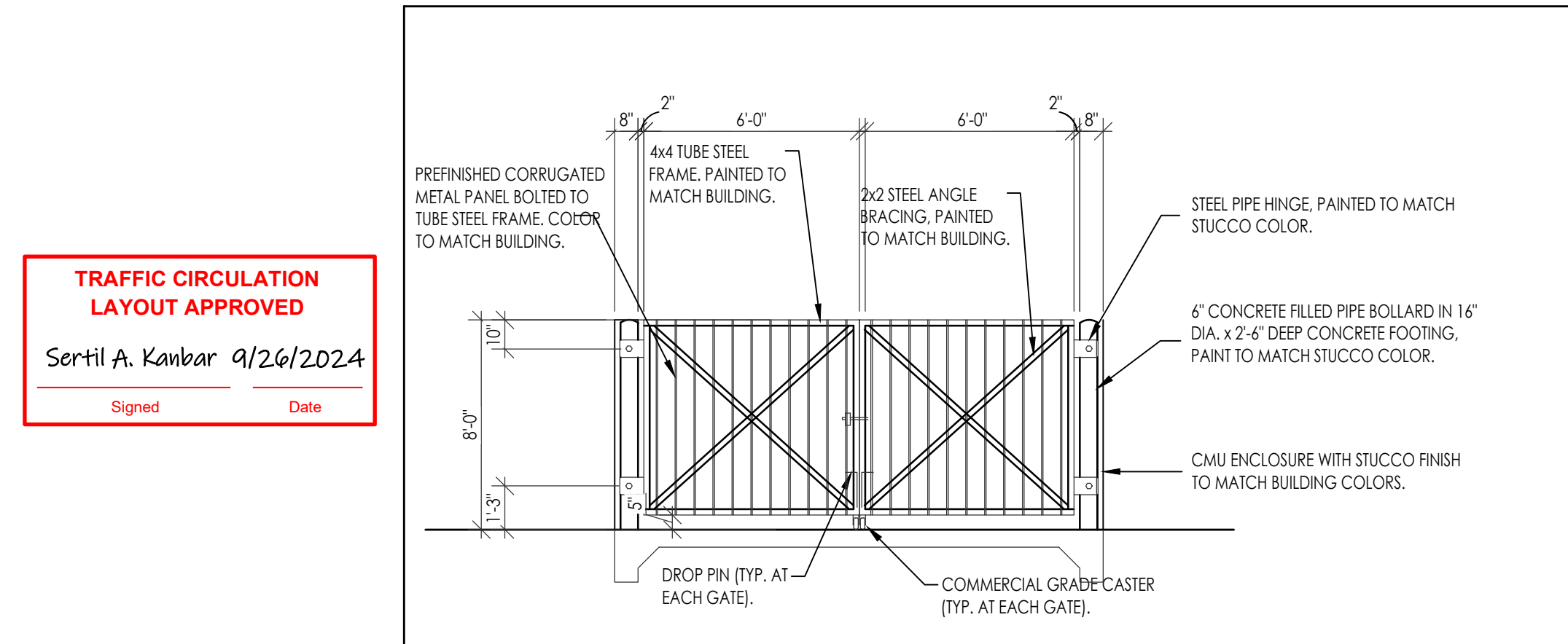
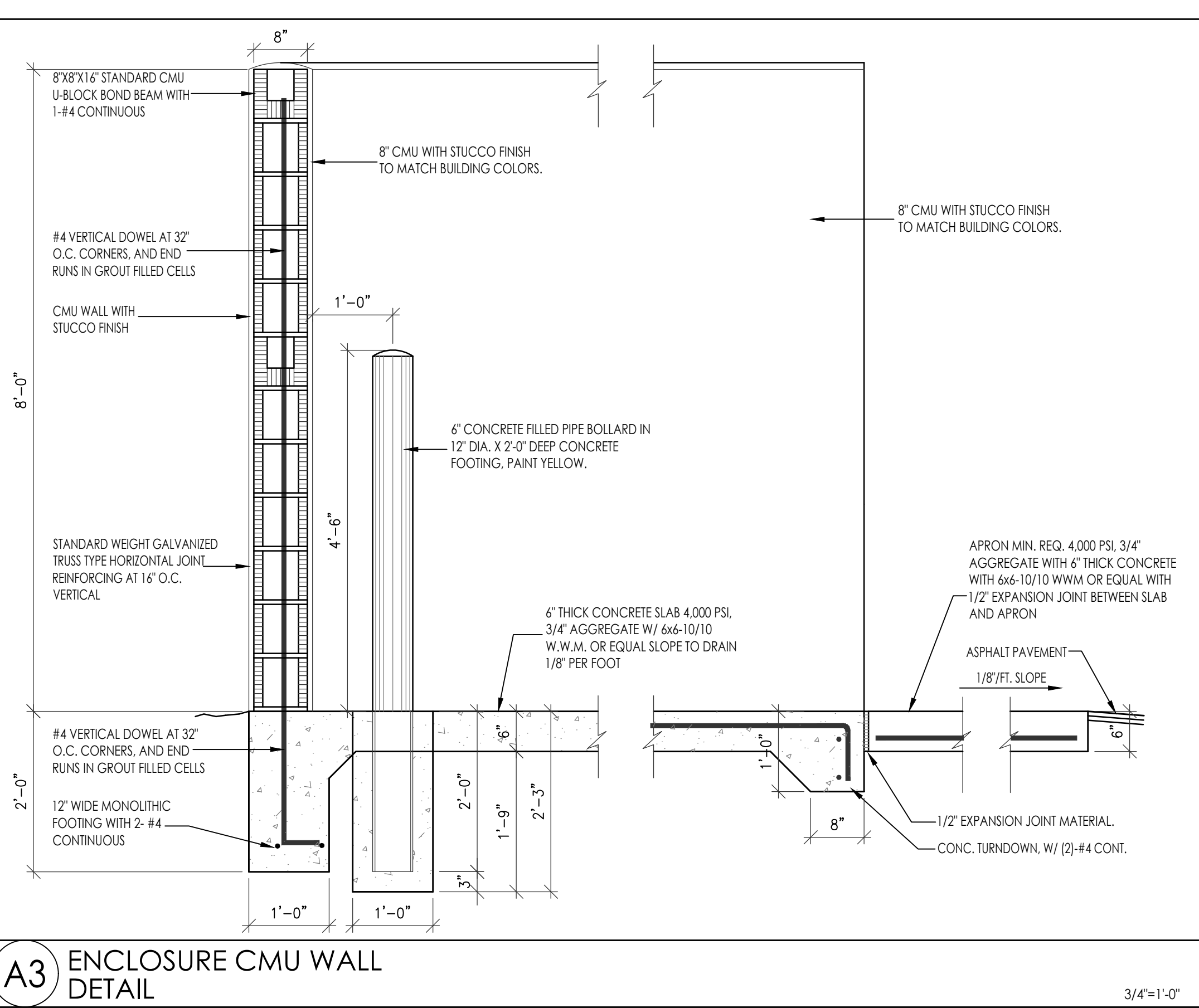
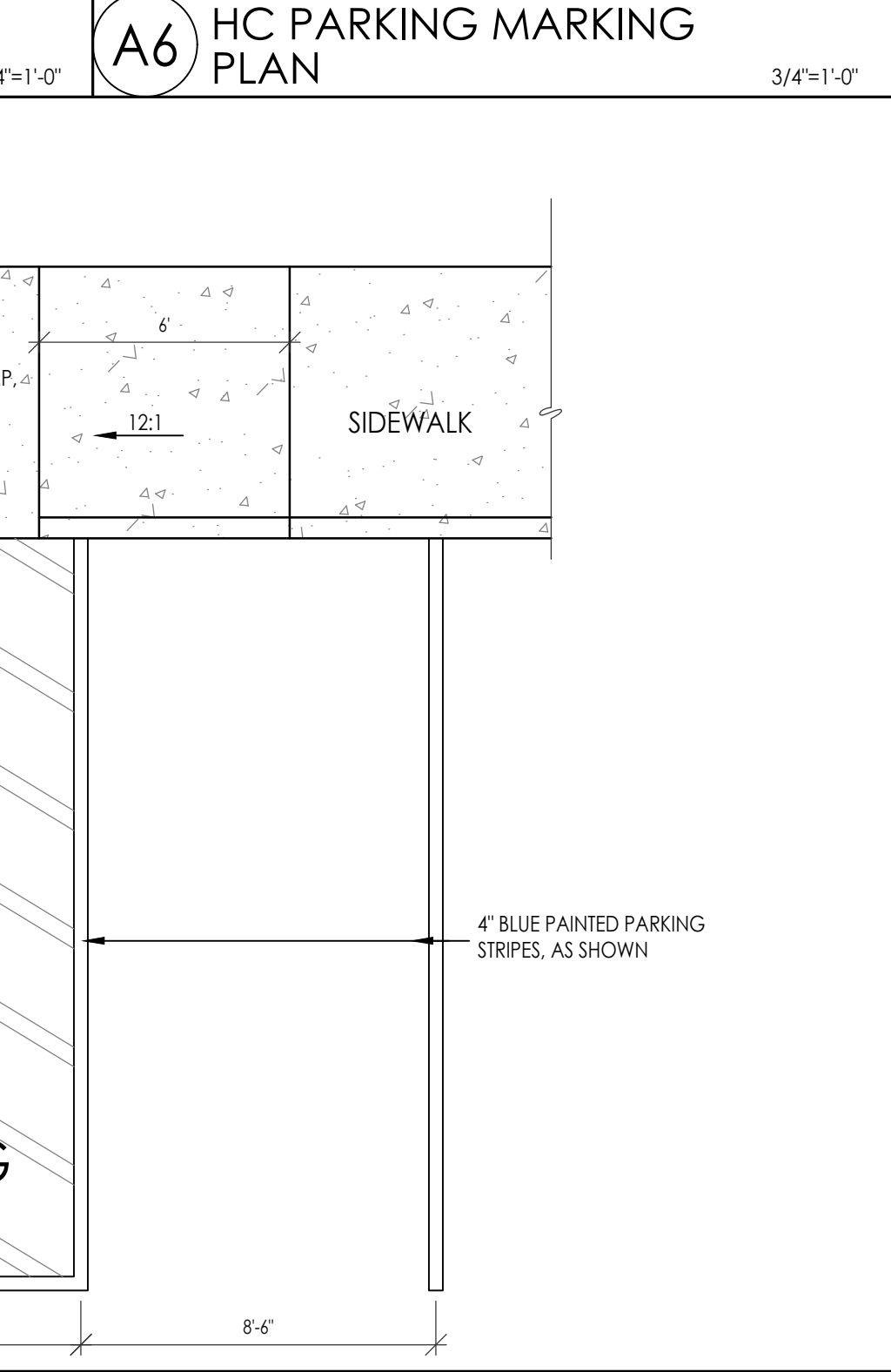
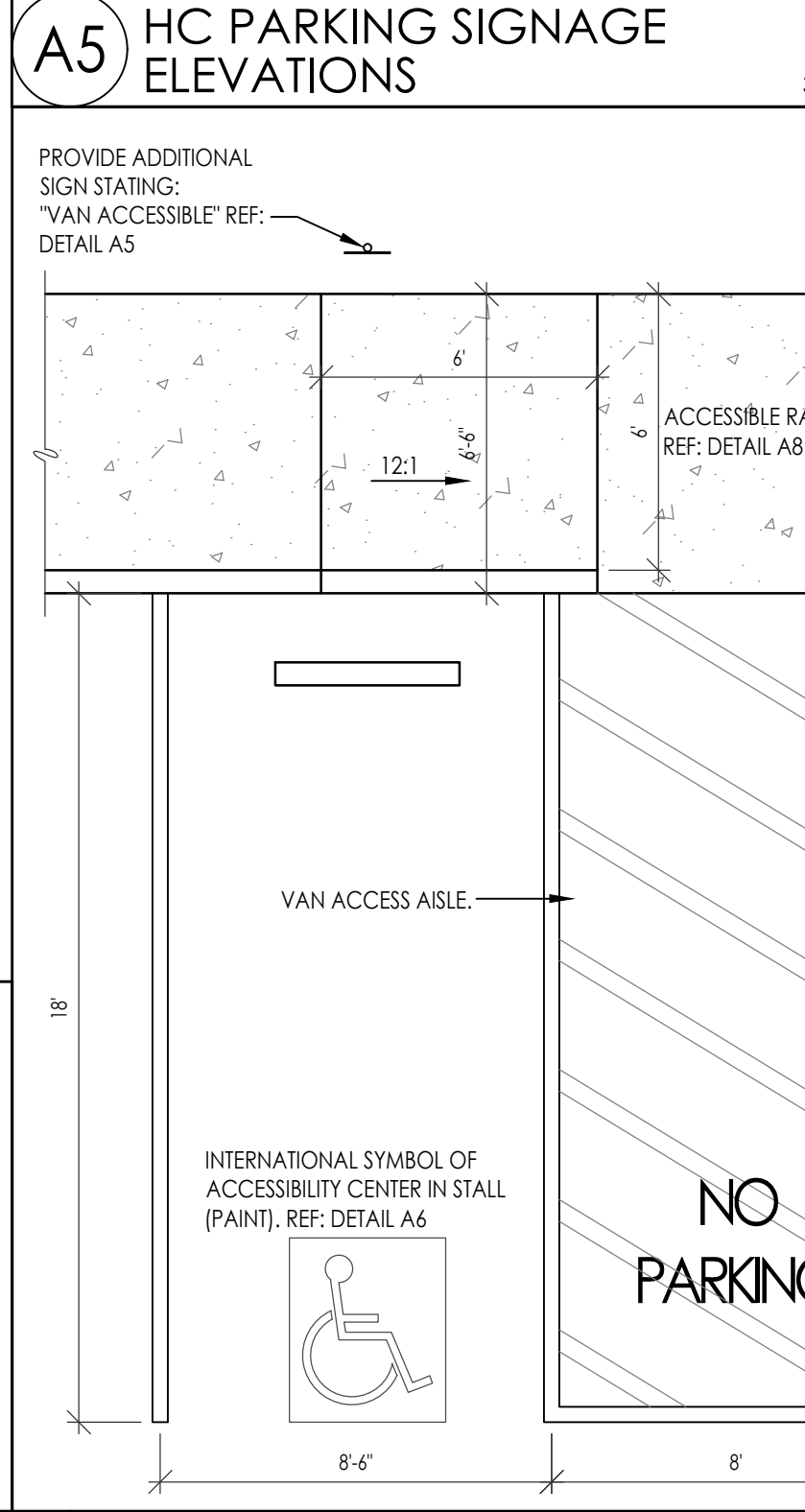
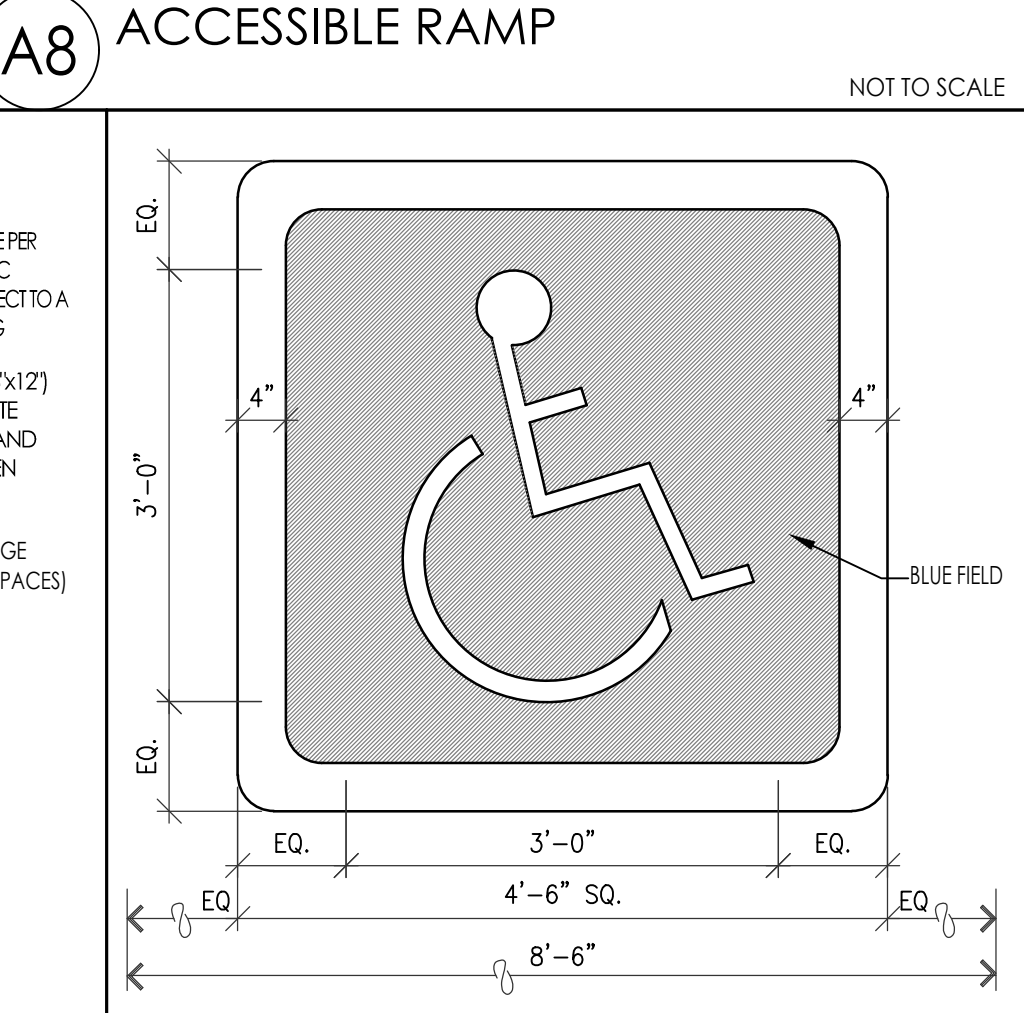
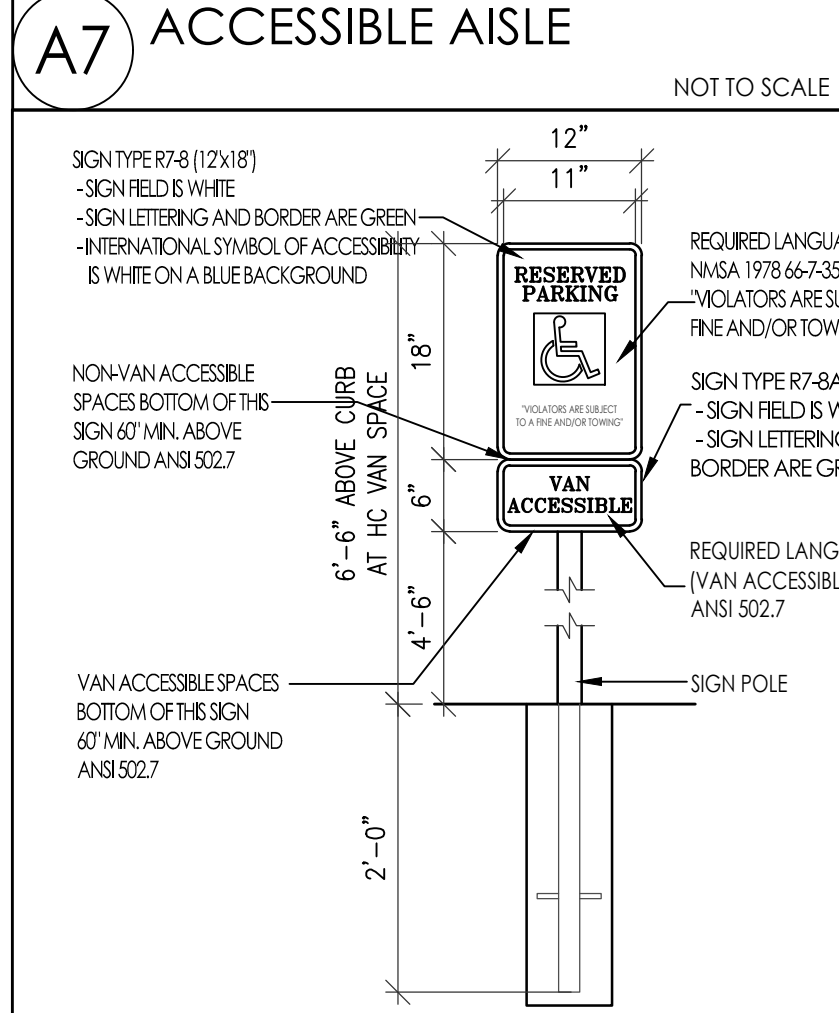
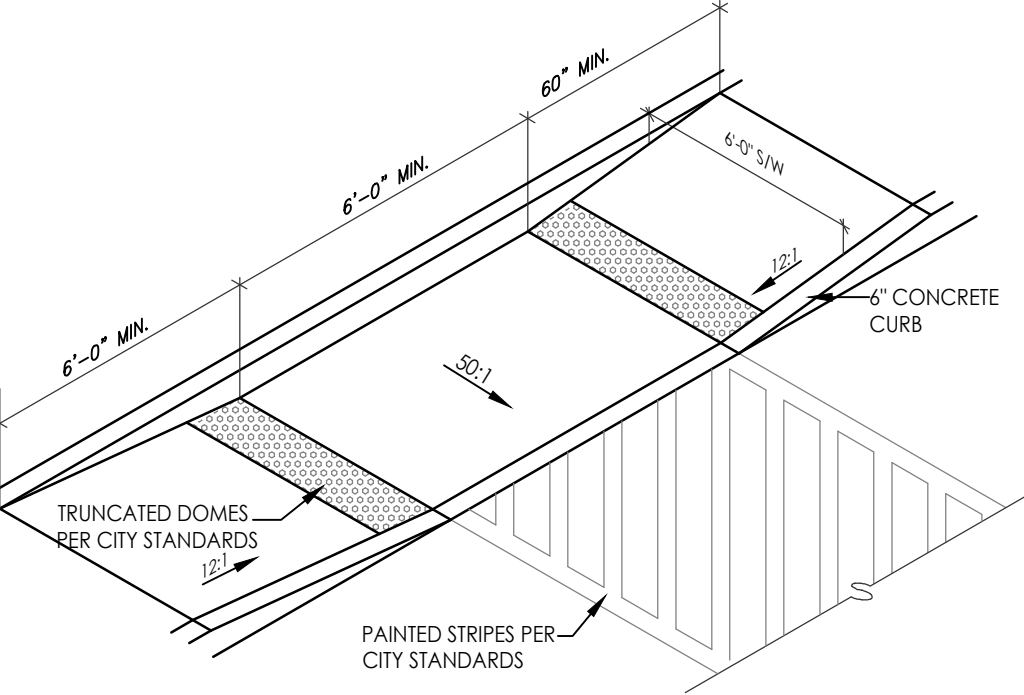
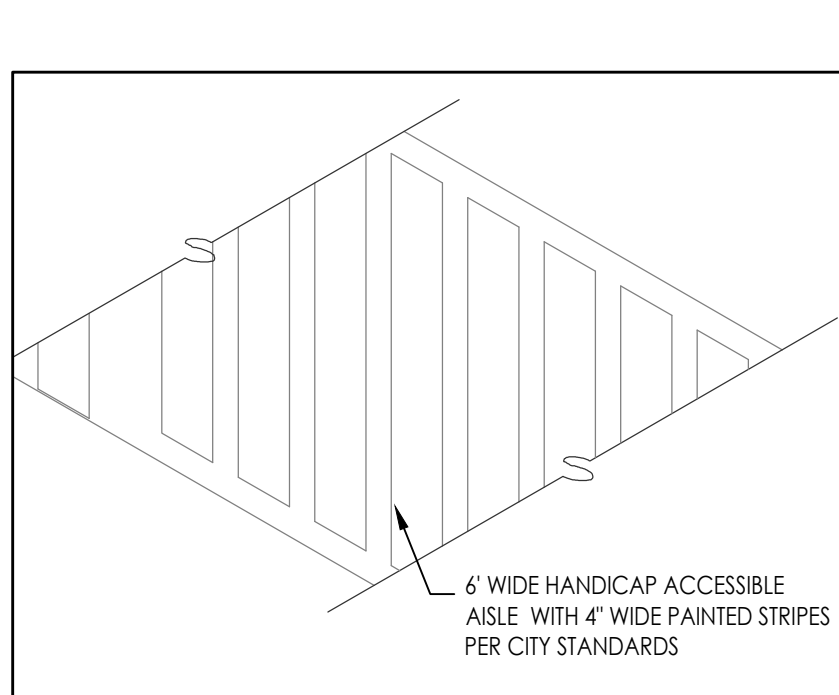
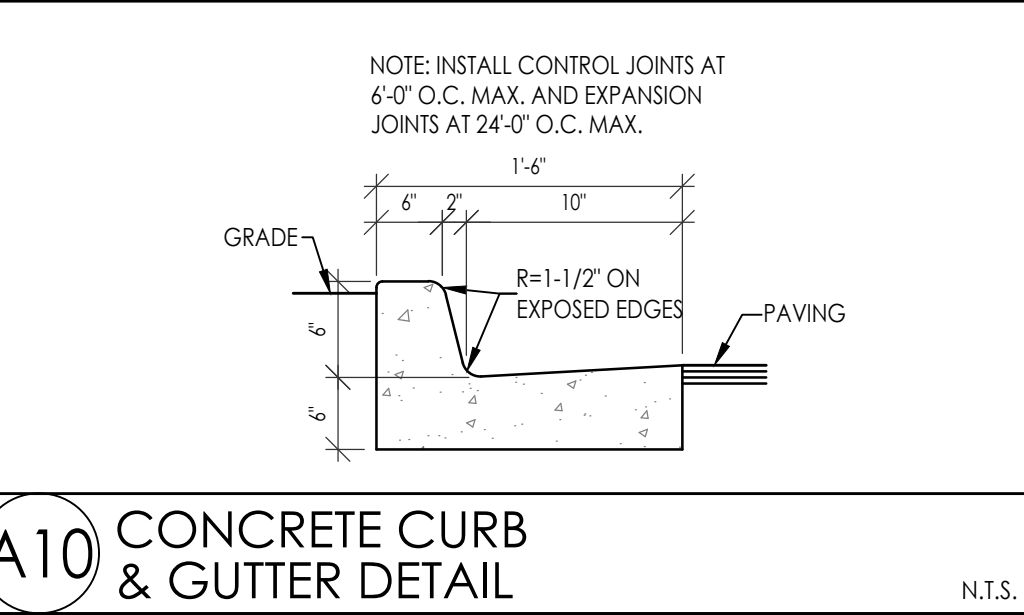
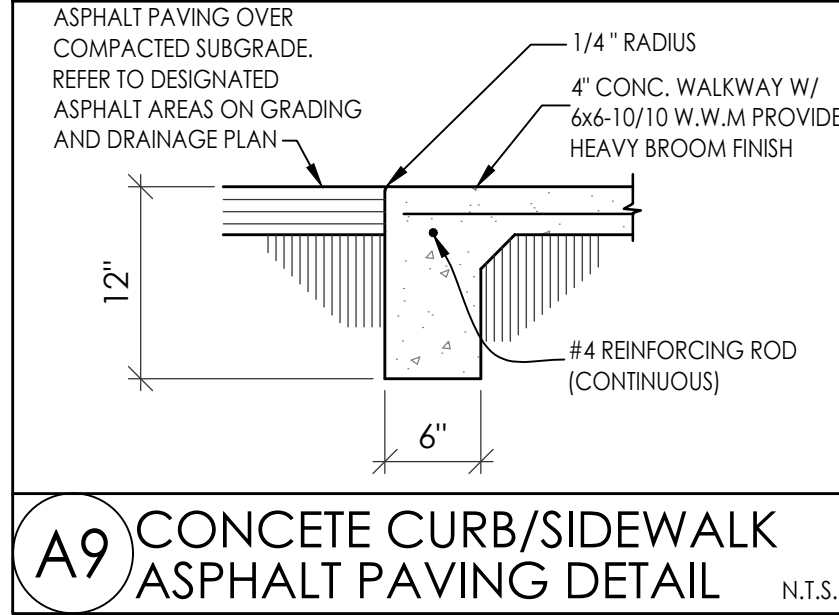
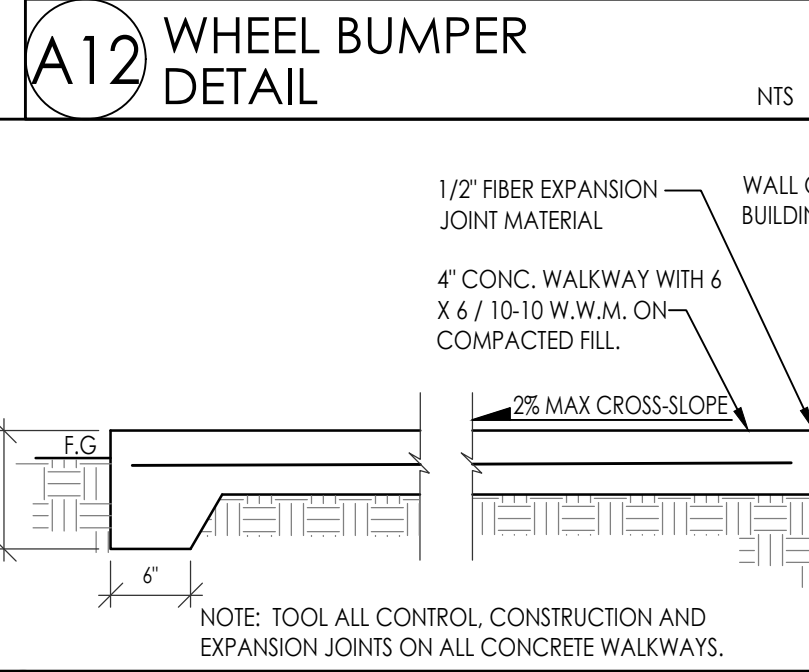
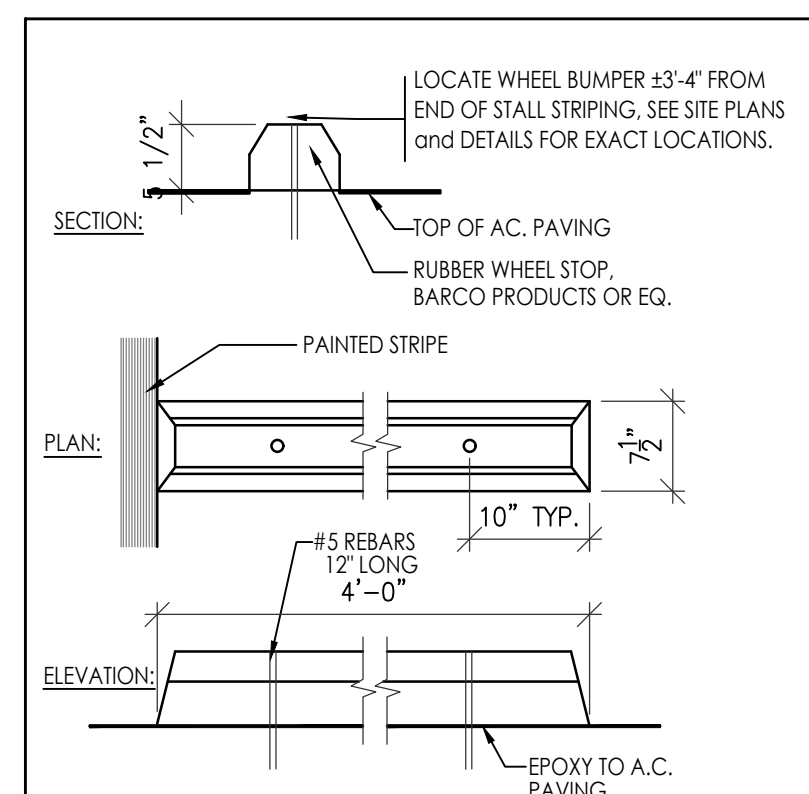
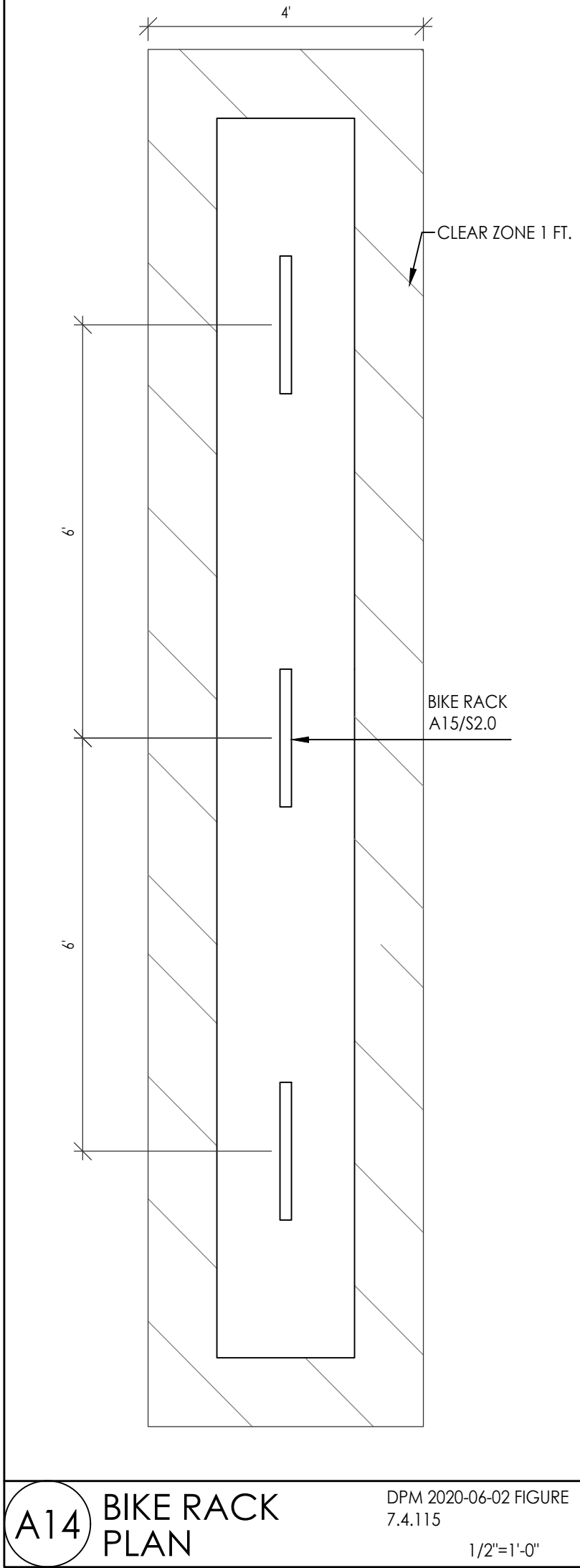
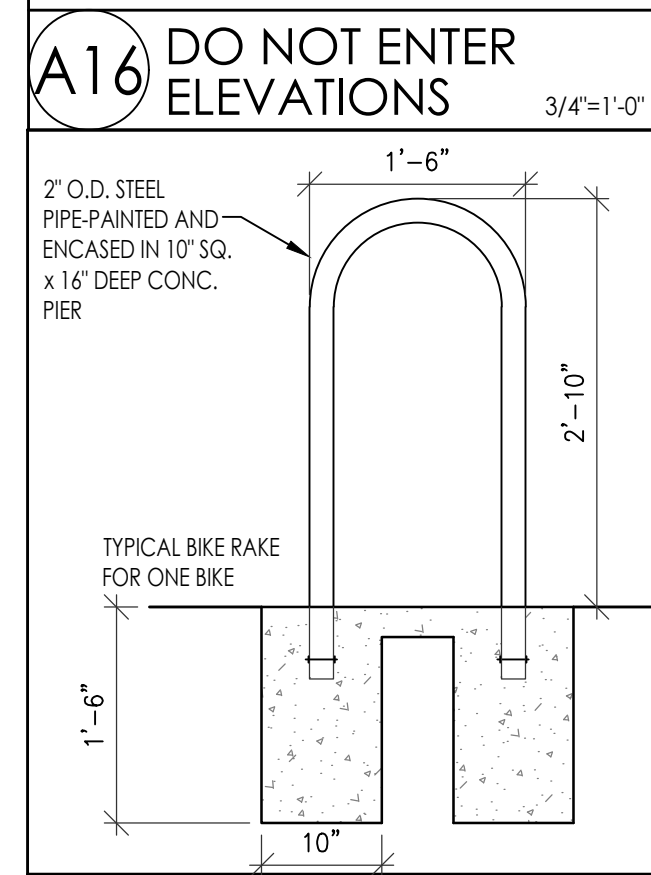
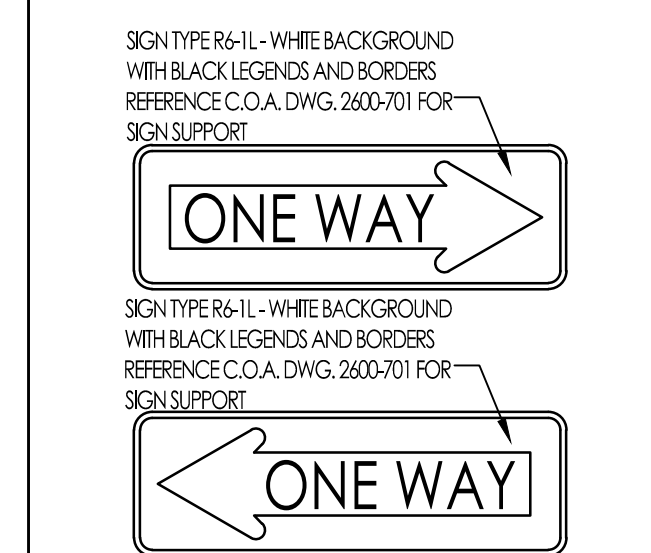
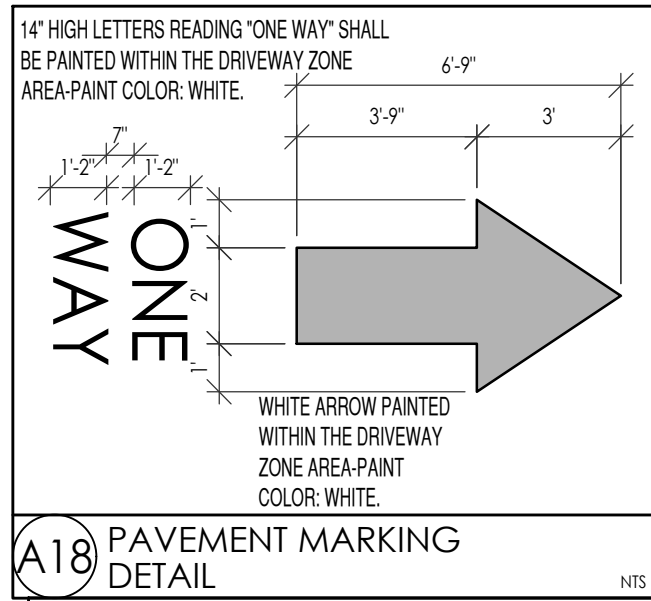
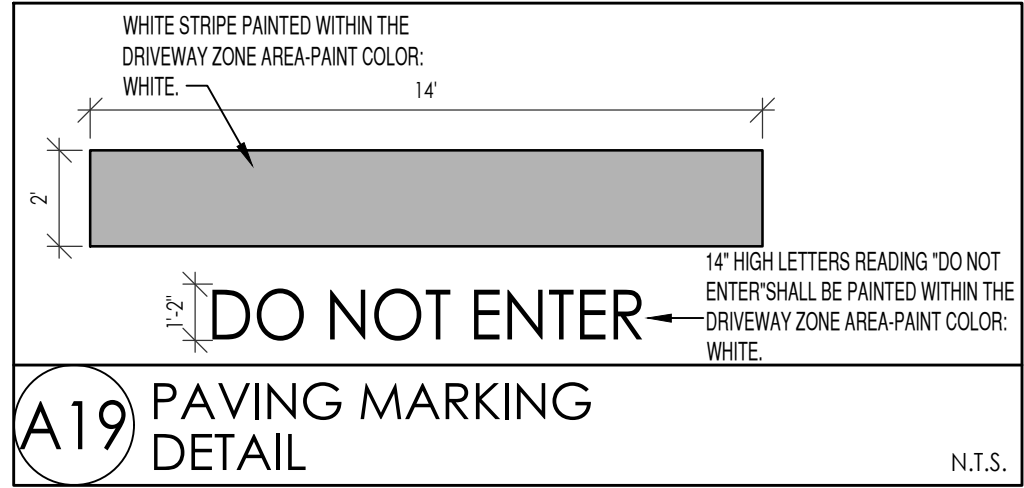
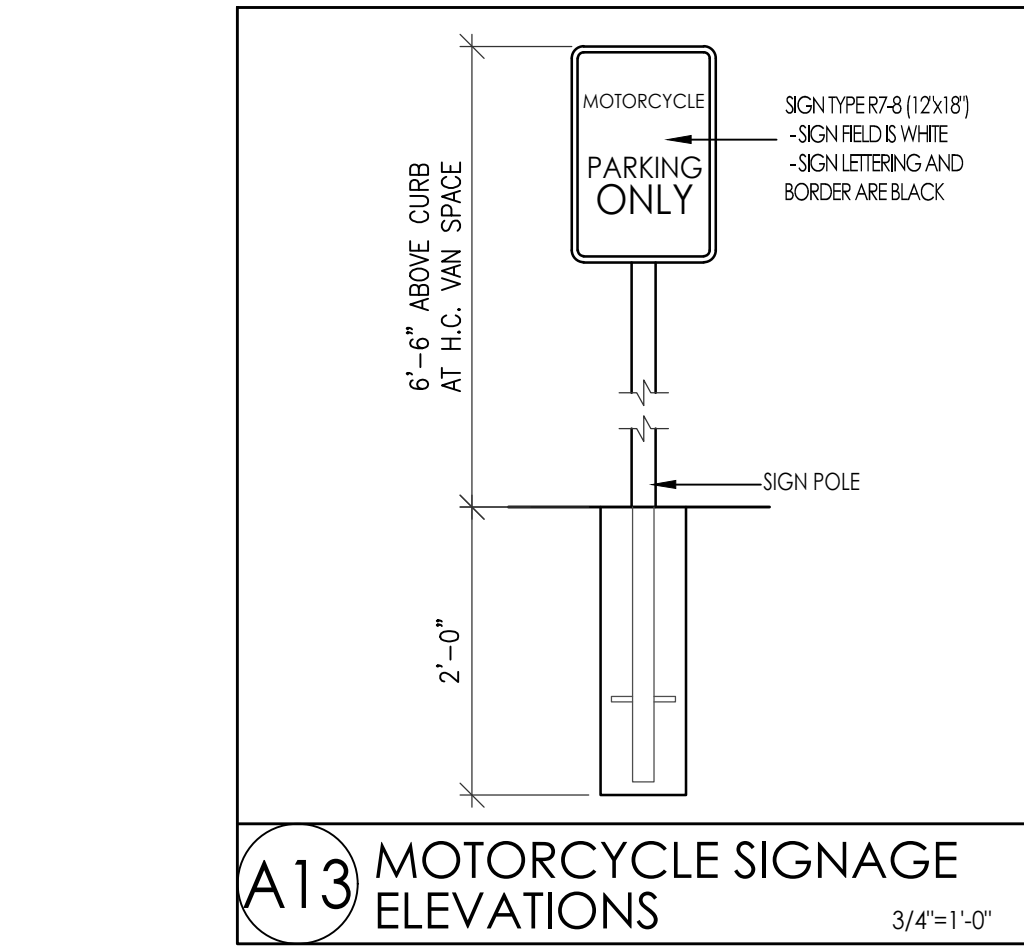


TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Sortil A. Kawbar 9/26/2024  
Signed Date

MESA DEL SOL SELF STORAGE  
SITE PLAN  
5500 TURING DR SE  
ALBUQUERQUE, NM 87106  
PROJECT #2322

REVISION DATE	
DATE	09-19-2024
SHEET NUMBER	AS-1.0

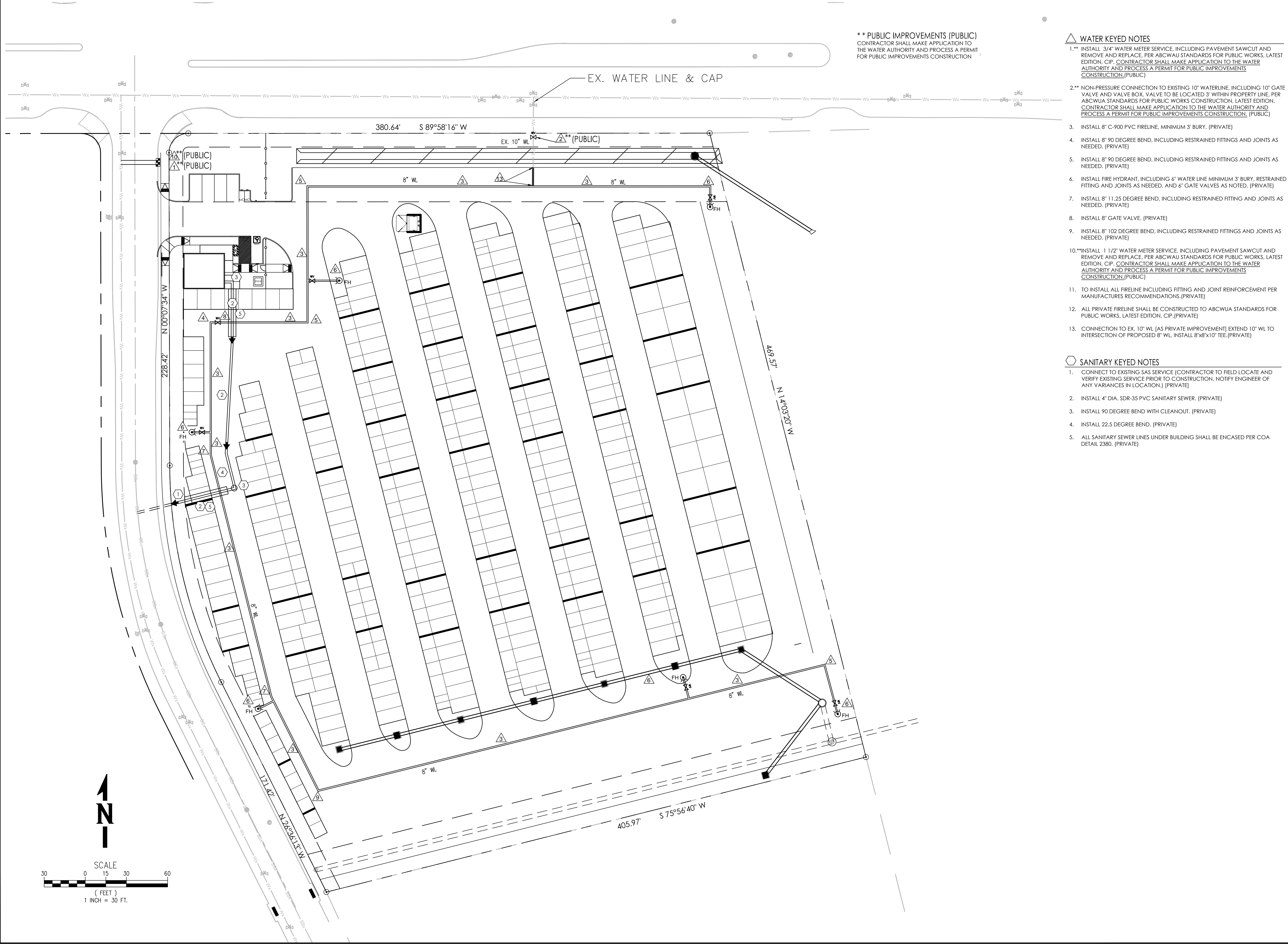




MESA DEL SOL SELF STORAGE  
SITE DETAILS  
5500 TURING DR SE  
ALBUQUERQUE, NM 87106  
PROJECT #2322

REVISION	DATE
1	09-12-2024
2	09-12-2024
3	09-12-2024
4	09-12-2024
5	09-12-2024
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100	09-12-2024





**\*\* PUBLIC IMPROVEMENTS (PUBLIC)**  
 CONTRACTOR SHALL MAKE APPLICATION TO THE WATER AUTHORITY AND PROCESS A PERMIT FOR PUBLIC IMPROVEMENTS CONSTRUCTION

- WATER KEYED NOTES**
  - 1.\*\* INSTALL 3/4" WATER METER SERVICE, INCLUDING PAVEMENT SAWCUT AND REMOVE AND REPLACE PER ABCWAU STANDARDS FOR PUBLIC WORKS, LATEST EDITION. CIP. CONTRACTOR SHALL MAKE APPLICATION TO THE WATER AUTHORITY AND PROCESS A PERMIT FOR PUBLIC IMPROVEMENTS CONSTRUCTION.(PUBLIC)
  - 2.\*\* NON-PRESSURE CONNECTION TO EXISTING 10" WATERLINE, INCLUDING 10" GATE VALVE AND VALVE BOX. VALVE TO BE LOCATED 3' WITHIN PROPERTY LINE, PER ABCWUA STANDARDS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION. CONTRACTOR SHALL MAKE APPLICATION TO THE WATER AUTHORITY AND PROCESS A PERMIT FOR PUBLIC IMPROVEMENTS CONSTRUCTION. (PUBLIC)
  3. INSTALL 8" C-900 PVC FIRELINE, MINIMUM 3' BURY. (PRIVATE)
  4. INSTALL 8" 90 DEGREE BEND, INCLUDING RESTRAINED FITTINGS AND JOINTS AS NEEDED. (PRIVATE)
  5. INSTALL 8" 90 DEGREE BEND, INCLUDING RESTRAINED FITTINGS AND JOINTS AS NEEDED. (PRIVATE)
  6. INSTALL FIRE HYDRANT, INCLUDING 6" WATER LINE MINIMUM 3' BURY, RESTRAINED FITTING AND JOINTS AS NEEDED, AND 6" GATE VALVES AS NOTED. (PRIVATE)
  7. INSTALL 8" 11.25 DEGREE BEND, INCLUDING RESTRAINED FITTING AND JOINTS AS NEEDED. (PRIVATE)
  8. INSTALL 8" GATE VALVE. (PRIVATE)
  9. INSTALL 8" 102 DEGREE BEND, INCLUDING RESTRAINED FITTINGS AND JOINTS AS NEEDED. (PRIVATE)
  - 10.\*\*INSTALL 1 1/2" WATER METER SERVICE, INCLUDING PAVEMENT SAWCUT AND REMOVE AND REPLACE. PER ABCWAU STANDARDS FOR PUBLIC WORKS, LATEST EDITION. CIP. CONTRACTOR SHALL MAKE APPLICATION TO THE WATER AUTHORITY AND PROCESS A PERMIT FOR PUBLIC IMPROVEMENTS CONSTRUCTION.(PUBLIC)
  11. TO INSTALL ALL FIRELINE INCLUDING FITTING AND JOINT REINFORCEMENT PER MANUFACTURES RECOMMENDATIONS. (PRIVATE)
  12. ALL PRIVATE FIRELINE SHALL BE CONSTRUCTED TO ABCWUA STANDARDS FOR PUBLIC WORKS, LATEST EDITION, CIP.(PRIVATE)
  13. CONNECTION TO EX. 10" WL (AS PRIVATE IMPROVEMENT) EXTEND 10" WL TO INTERSECTION OF PROPOSED 8" WL. INSTALL 8"x8"x10" TEE.(PRIVATE)

- SANITARY KEYED NOTES**
  1. CONNECT TO EXISTING SAS SERVICE (CONTRACTOR TO FIELD LOCATE AND VERIFY EXISTING SERVICE PRIOR TO CONSTRUCTION, NOTIFY ENGINEER OF ANY VARIANCES IN LOCATION.) (PRIVATE)
  - INSTALL 4" DIA. SDR-35 PVC SANITARY SEWER. (PRIVATE)
  - INSTALL 90 DEGREE BEND WITH CLEANOUT. (PRIVATE)
  - INSTALL 22.5 DEGREE BEND. (PRIVATE)
  - ALL SANITARY SEWER LINES UNDER BUILDING SHALL BE ENCASED PER COA DETAIL 2380. (PRIVATE)

REVISIONS		SHEET INFO	
NO.	BY	DATE	REMARKS

DRAWN		CHECKED		APPROVED		LAST EDIT		PLOT DATE		SUBMITTAL	
								5/29/2025	5/29/2025		

**UTILITY PLAN**

**MESA DEL SOL SELF STORAGE**

PROJECT NUMBER

DRAWING FILE NAME

SHEET NUMBER

SCALE 1:30

C-2.0



November 19, 2024

Chair  
Eric C. Olivas  
County of Bernalillo  
Commissioner, District 5

Vice Chair  
Louie Sanchez  
City of Albuquerque  
Councilor, District 1

Barbara Baca  
County of Bernalillo  
Commissioner, District 1

Joaquin Baca  
City of Albuquerque  
Councilor, District 2

Adriann Barboa  
County of Bernalillo  
Commissioner, District 3

Klarissa Peña  
City of Albuquerque  
Councilor, District 3

Timothy M. Keller  
City of Albuquerque  
Mayor

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Alejandro Sazo  
RBA Architecture  
1104 Park Avenue SW. 87102

**RE: Water and Sanitary Sewer Availability Statement #240817**

**Project Name: Mesa del Sol Self Storage**

**Project Address: 5500 Turing Dr SE**

**Legal Description: Tr I-2 Plat of Tr I-2 Mesa Del Sol Innovation Park II (A Replat of Tr I Mesa DelSol Innovation Park II)**

**UPC: 101605108150320612**

**Zone Atlas Map: R-Q-16**

Dear Mr. Sazo

**Project Description:** The subject site is located on the southeast corner of Crick Crossing Avenue and Turing Drive, within the City of Albuquerque. The proposed development consists of approximately 5.1 acres and the property is currently zoned PC for Planned Community. The property lies within the Pressure Zone 3E in the Hubbell Trunk.

The Request for Availability indicates plans to build commercial self-storage units.

**Existing Availability Statement:** Availability Statement number 181120 has been issued and has expired.

**Existing Development Agreement:** This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Development Agreement approved by the Water Authority Board which will establish the conditions for service; however, since an approved Development Agreement currently exists for the R-07-32, WATER AND SANITARY SEWER SERVICE TO SERVE THE MESA AND FCC 4 PROPERTIES AT MESA DEL SOL property, Board approval is not required. This Availability Statement establishes the conditions of service in addition to those stated in the existing Development Agreement.

**Existing Conditions:**

Water infrastructure in the area consists of the following:

- 12-inch PVC distribution line (project #26-7754.81-09) along Crick Avenue (A.K.A. Crick Crossing).
- Ten-inch PVC distribution line (project #26-7754.81-09) extending from the 12-inch line into the northeastern quadrant of the property.
- 12-inch PVC distribution line (project #26-7754.81-09) along Turning Drive.
- Eight-inch PVC distribution line (project #26-7754.76-12) extending from the 12-inch line along Turning Drive into the southwesterly quadrant of the property.



Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector (project #26-7754.76-12) along Turning Drive.
- Six-inch PVC sanitary sewer collector (project #26-7754.76-12) extending from the eight-inch line along Turning Drive into the property near the midpoint of the western boundary.

**Water Service:** New metered water service to the property can be provided via routine connection to the existing 12-inch distribution line along Crick Crossing, the ten-inch stub out into the northeastern quadrant of the property, the 12-inch line in Turning Drive, or the eight-inch stub out into the property along the western boundary. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Turning Drive, or the six-inch stub out into the western boundary of the property. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2250 gallons per minute. Two fire hydrants are required. There are no existing hydrants available and six new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at fire hydrants proposed in the northeast and southeast corners of the property and connected to the existing ten-inch stub out into the northeastern quadrant of the property or the 12-inch line in Turning Drive.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.



**Cross Connection Prevention:** Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

**Pretreatment – Fats, Oils, and Greases:** The development is for commercial use and has the potential to discharge Fats, Oils, Grease, and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities,



breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters...”

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
  - a. Interceptors and/or Separators are required for dumpster pads, outdoor pools, and outdoor washdown areas that have the potential to discharge grease, sand, solids, and flammable liquids to the sanitary sewer. The pad shall be installed at an elevation higher than the surrounding grade. It is not required for dumpster pads to have a sewer connection.
  - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS sources within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long-term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or [pretreatment@abcwua.org](mailto:pretreatment@abcwua.org) for coordination or clarification of any of the above requirements.

**Easements and Property:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.



**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction:** The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of application for service. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

**Water Resource Charge (WRC):** Any expansion of water service outside of the Water Authority's Established Service Area will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



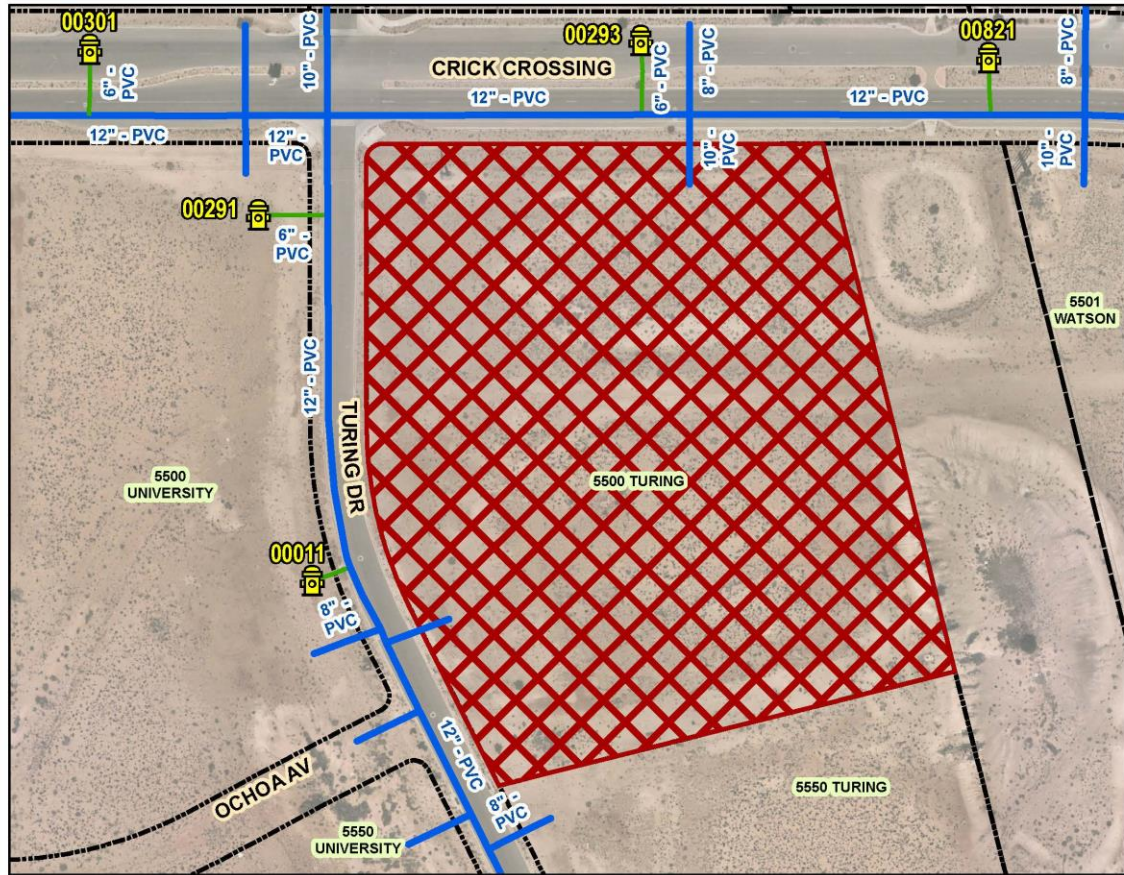
Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #240817**



## 240817 - Water



0 250 500 Feet



### Legend



Hydrant



Project Location

### Water Pipe

#### Subtype

— Distribution Line

— Hydrant Leg





## 240817 - Sanitary Sewer



### Legend

-  Sewer Manhole
-  Project Location

### Sewer Pipe

#### Subtype

-  COLLECTOR
-  INTERCEPTOR





MESA DEL SOL  
ARCHITECTURAL CONTROL COMMITTEE  
SITE DEVELOPMENT PLAN REVIEW

- SITE PLAN INCLUDING UTILITIES AND EASEMENTS - SEE THIS PLAN.
- LANDSCAPE PLAN - SEE LANDSCAPE PLAN
- OUTDOOR/SITE LIGHTING PLAN FOR SIGNAGE AND FLAGPOLE - SEE THIS PLAN.
- PRELIMINARY GRADING PLAN - SEE GRADING PLAN.
- BUILDING AND STRUCTURAL ELEVATIONS - SEE ARCHITECTURAL
- SIGNAGE PLAN - SEE ARCHITECTURAL
- CONCEPTUAL UTILITY PLAN
- WATER HARVESTING PLAN - ALL WATER WILL DRAIN TO THE EAST TO A LANDSCAPED POND.
- SUSTAINABILITY PLAN - SITE AND APARTMENT/OFFICE WILL USE ELECTRICITY AND MINIMAL WATER USAGE. NO WATER USAGE OR ELECTRICITY BY CUSTOMER IN 70,000 S.F. OF SPACE
- ARCHEOLOGICAL REPORT - SEE ATTACHED



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*

Date: 08-27-24

\*\*Keypad access\*\*

\*\*Gate will open 25' clear\*\*

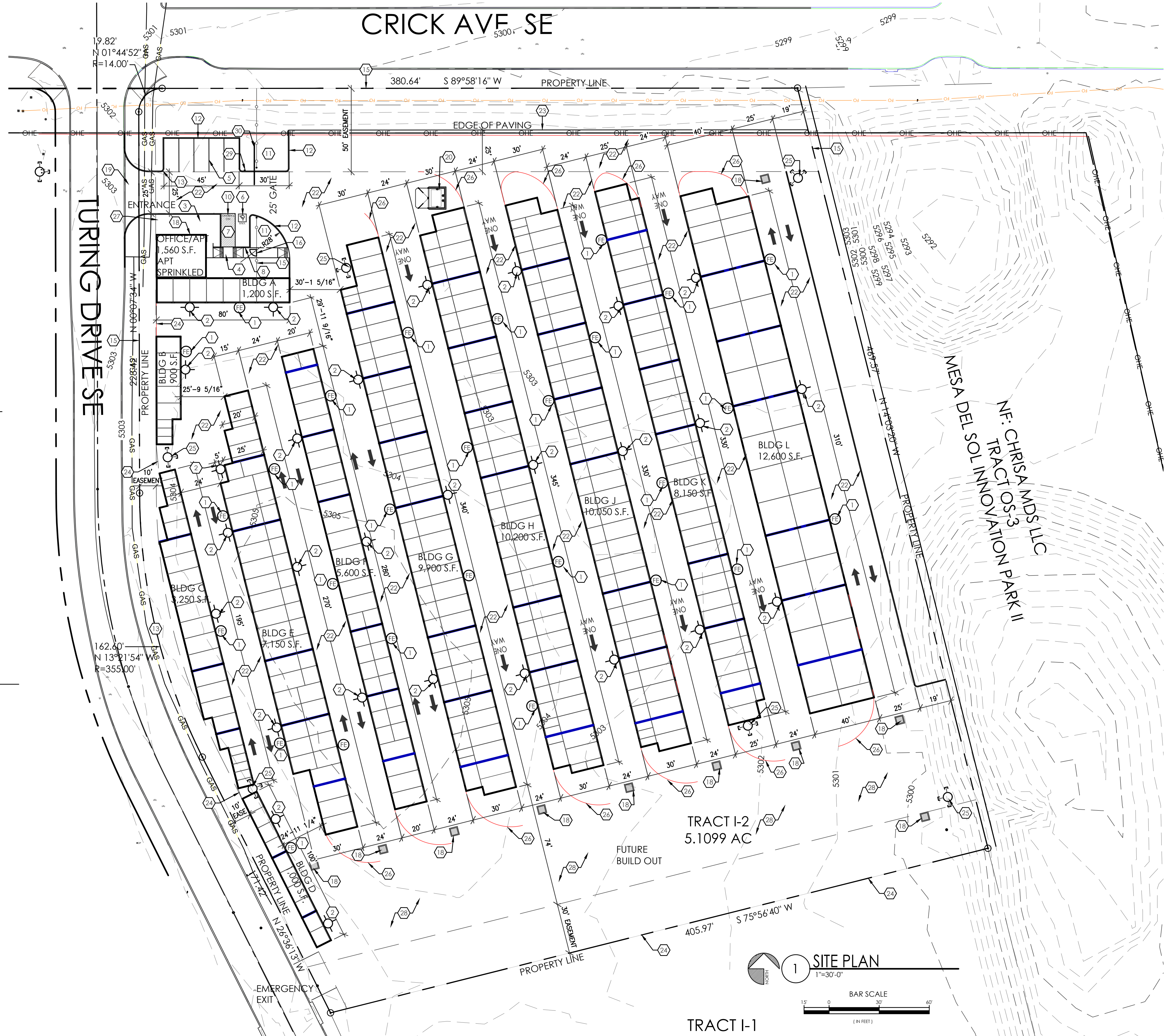
\*\*Recycling declined\*\*

BUILDING LEGEND

BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.

KEYED NOTES

1. WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
2. WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
3. 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
4. ADA ACCESSIBLE RAMP, REF: DETAIL.
5. 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
6. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL D/AS-1.1.
7. 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
8. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL C/AS-1.1.
9. 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
10. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.8 NMSA 1978).
11. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
12. 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
13. 2'-0" RADIUS.
14. 15'-0" RADIUS.
15. NEW 6" HIGH WROUGHT IRON FENCE.
16. NEW 36" w x 6" h MAN GATE WITH KEYED LOCKSET.
17. NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
18. KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
19. SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DEC. APPROVED PLANS.
20. DOUBLE DUMPSTER ENCLOSURE, REF: DETAIL 2/AS-1.1.
21. STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
22. ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
23. EDGE OF ASPHALT PAVING.
24. CHAIN LINK FENCE.
25. NEW FIRE HYDRANT.
26. 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
27. FLAGPOLE WITH LIGHT.
28. BASE COURSE.
29. GATE KEY PAD.
30. 25' SLIDING GATE.



MESA DEL SOL SELF STORAGE

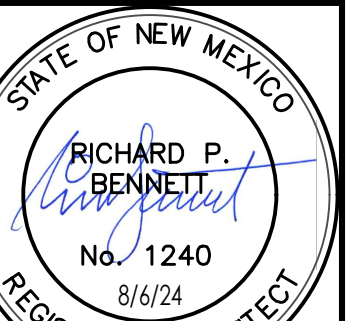
SITE PLAN

5500 TURING DR SE

ALBUQUERQUE, NM 87106

PROJECT #2322

REVISION DATE



RBA  
ARCHITECTURE, PC  
PLANNING  
DESIGN  
1000 1st Ave. SW  
Albuquerque, NM 87102  
505.243.4545  
www.rba3.com

DATE

08-06-2024

SHEET NUMBER

AS-1.0