

MESA DEL SOL
ARCHITECTURAL CONTROL COMMITTEE
SITE DEVELOPMENT PLAN REVIEW

- SITE PLAN INCLUDING UTILITIES AND EASEMENTS - SEE THIS PLAN.
- LANDSCAPE PLAN - SEE LANDSCAPE PLAN
- OUTDOOR/SITE LIGHTING PLAN FOR SIGNAGE AND FLAGPOLE - SEE THIS PLAN.
- PRELIMINARY GRADING PLAN - SEE GRADING PLAN.
- BUILDING AND STRUCTURAL ELEVATIONS - SEE ARCHITECTURAL
- SIGNAGE PLAN - SEE ARCHITECTURAL
- CONCEPTUAL UTILITY PLAN
- WATER HARVESTING PLAN - ALL WATER WILL DRAIN TO THE EAST TO A LANDSCAPED POND.
- SUSTAINABILITY PLAN - SITE AND APARTMENT/OFFICE WILL USE ELECTRICITY AND MINIMAL WATER USAGE. NO WATER USAGE OR ELECTRICITY BY CUSTOMER IN 70,000 S.F. OF SPACE
- ARCHEOLOGICAL REPORT - SEE ATTACHED



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up

between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*

Date: 08-27-24

Keypad access

Gate will open 25' clear

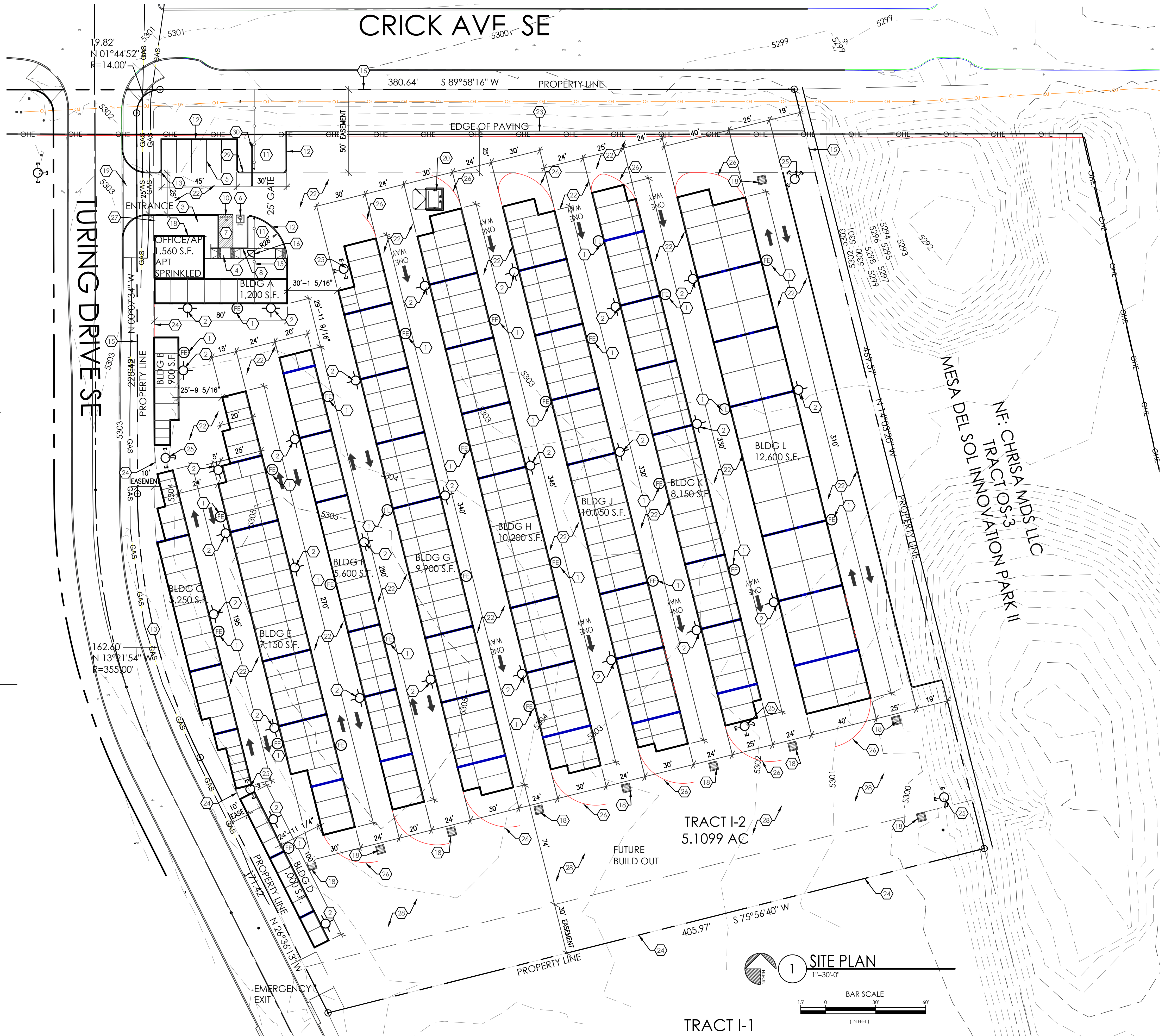
Recycling declined

BUILDING LEGEND

BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.

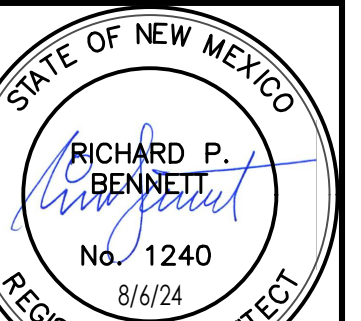
KEYED NOTES

1. WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
2. WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
3. 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
4. ADA ACCESSIBLE RAMP, REF: DETAIL.
5. 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
6. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL D/AS-1.1.
7. 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
8. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL C/AS-1.1.
9. 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
10. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES, (66-1-4.1.8 NMSA 1978), LANDSCAPING AREA, REF: LANDSCAPING PLAN.
11. 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
12. 2'-0" RADIUS.
13. 15'-0" RADIUS.
14. NEW 6" HIGH WROUGHT IRON FENCE.
15. NEW 36" w x 6" h MAN GATE WITH KEYED LOCKSET.
16. NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
17. KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
18. SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DEC. APPROVED PLANS.
19. DOUBLE DUMPSTER ENCLOSURE, REF: DETAIL 2/AS-1.1.
20. STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
21. ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
22. EDGE OF ASPHALT PAVING.
23. CHAIN LINK FENCE.
24. NEW FIRE HYDRANT.
25. 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
26. FLAGPOLE WITH LIGHT.
27. BASE COURSE.
28. GATE KEY PAD.
29. 25' SLIDING GATE.



MESA DEL SOL SELF STORAGE
SITE PLAN
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN
1000 1st Ave. SW
Albuquerque, NM 87102
505.243.4545
www.rba3.com

DATE

08-06-2024

SHEET NUMBER

AS-1.0

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing.
The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		ROADWAY 6' WIDE	PUBLIC PCC SIDEWALK INCLUDING LANDSCAPING OF BUFFER AREA	CRICK AVENUE	TURING DRIVE	EAST 380 ft. TO PROPERTY LINE	/	/	/
		6' WIDE	PUBLIC PCC SIDEWALK INCLUDING LANDSCAPING OF BUFFER AREA	TURING DRIVE	CRICK AVENUE	SOUTH 654 ft TO PROPERTY LINE	/	/	/
						Approval of Creditable Items:		Approval of Creditable Items:	
						Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

1

2

3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Rick Beltramo

NAME (print)

NV5

PRM

SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

EXHIBIT B OFFSITE DRAINAGE IMPROVEMENTS

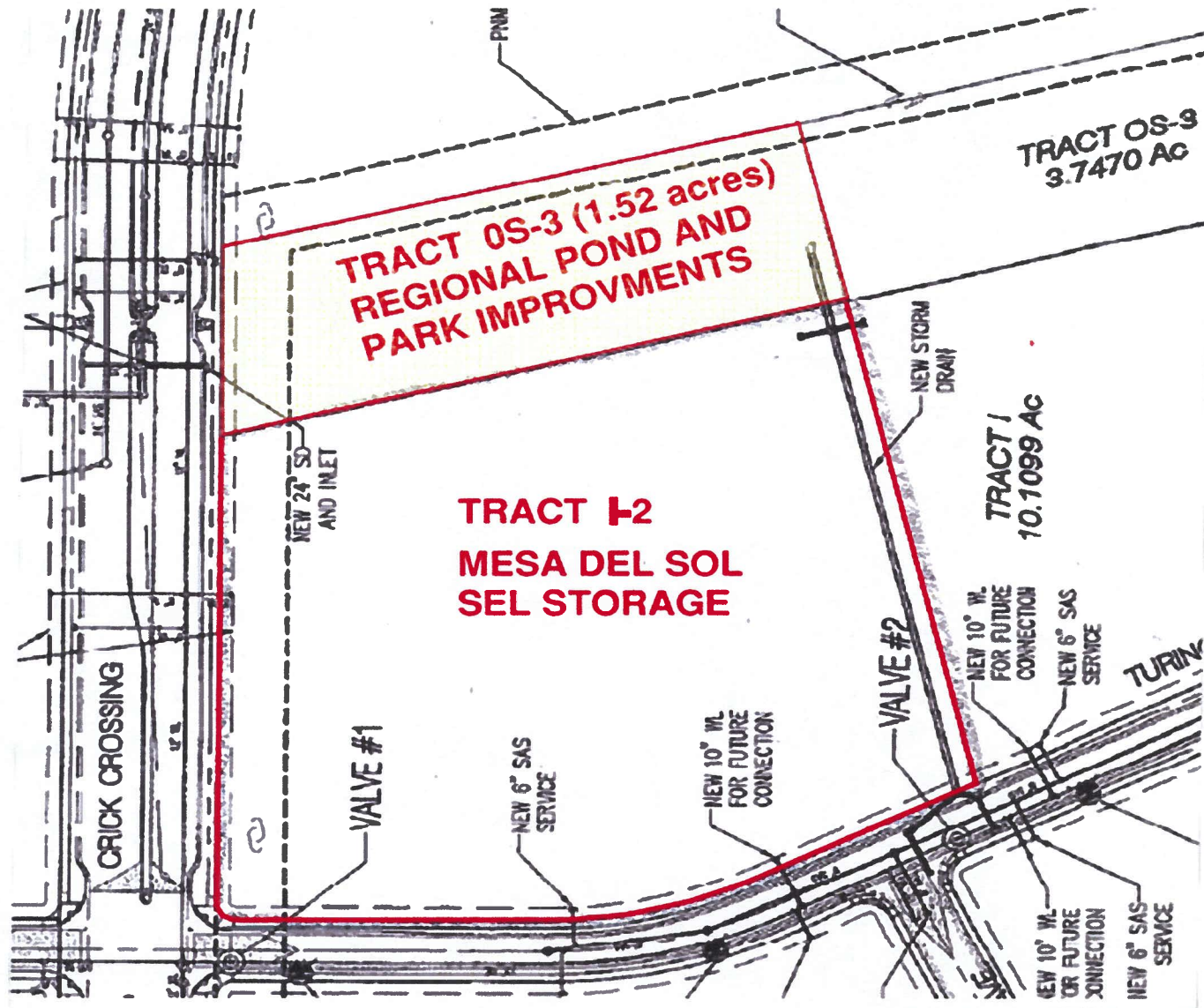
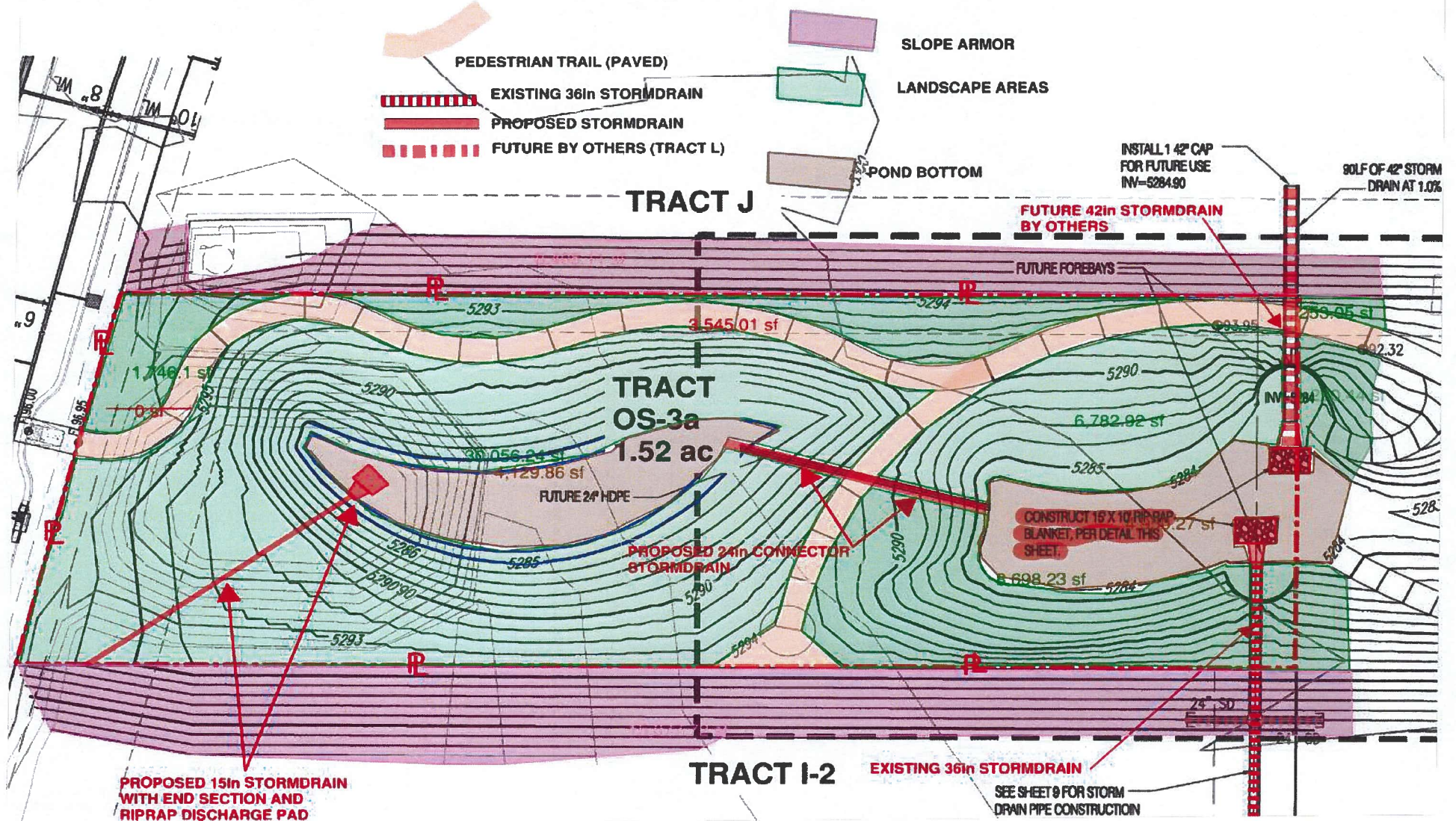
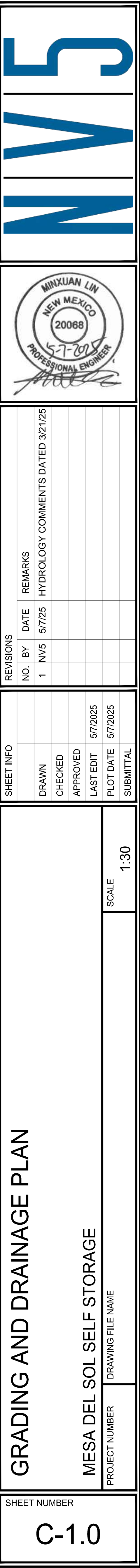
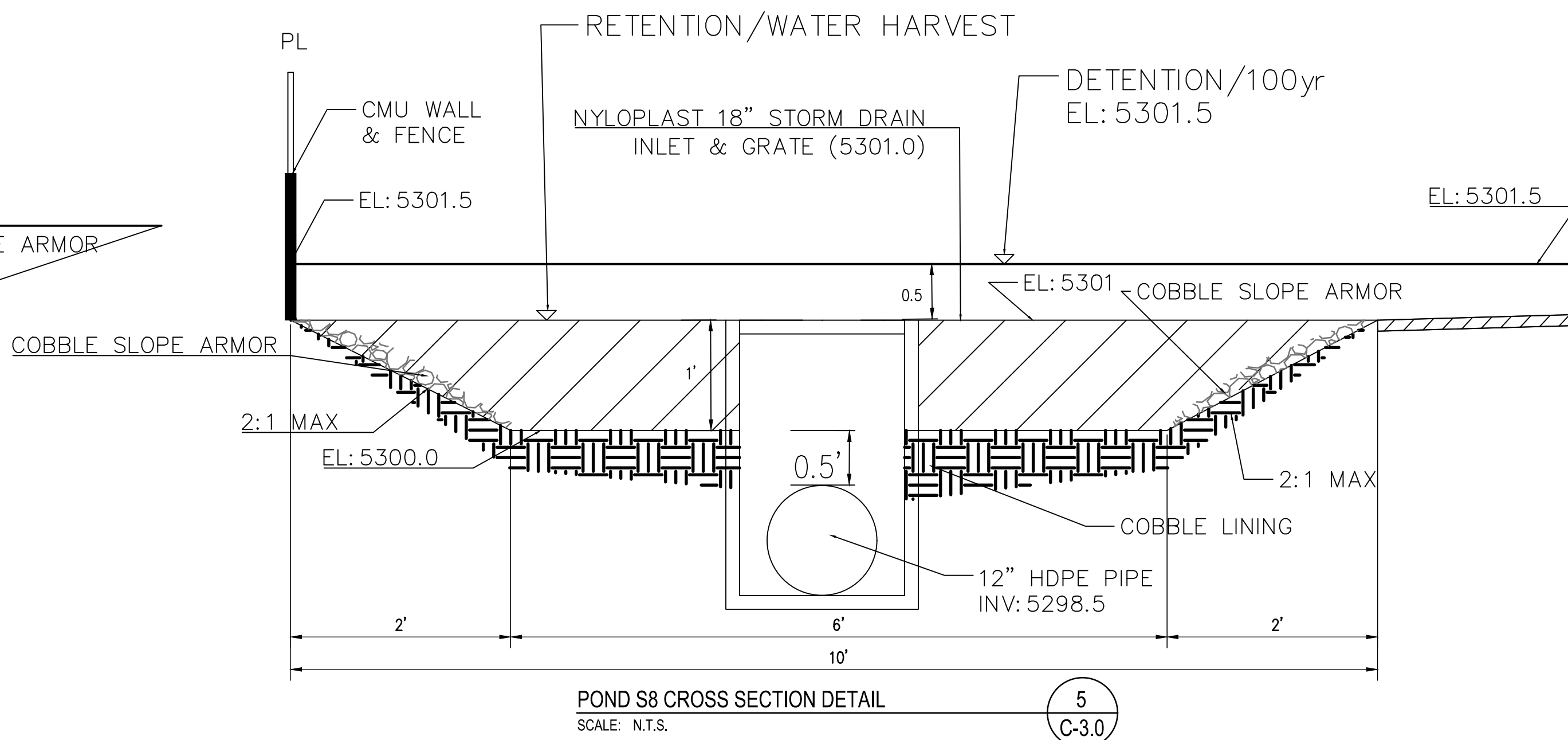
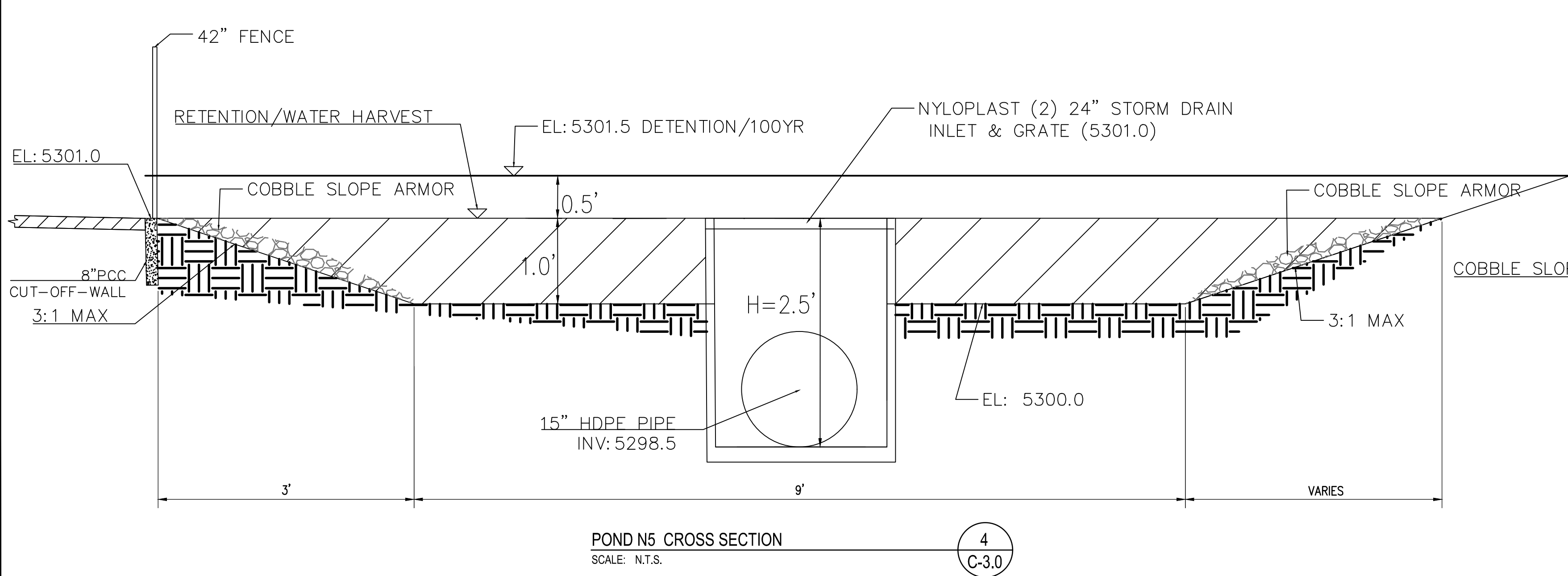
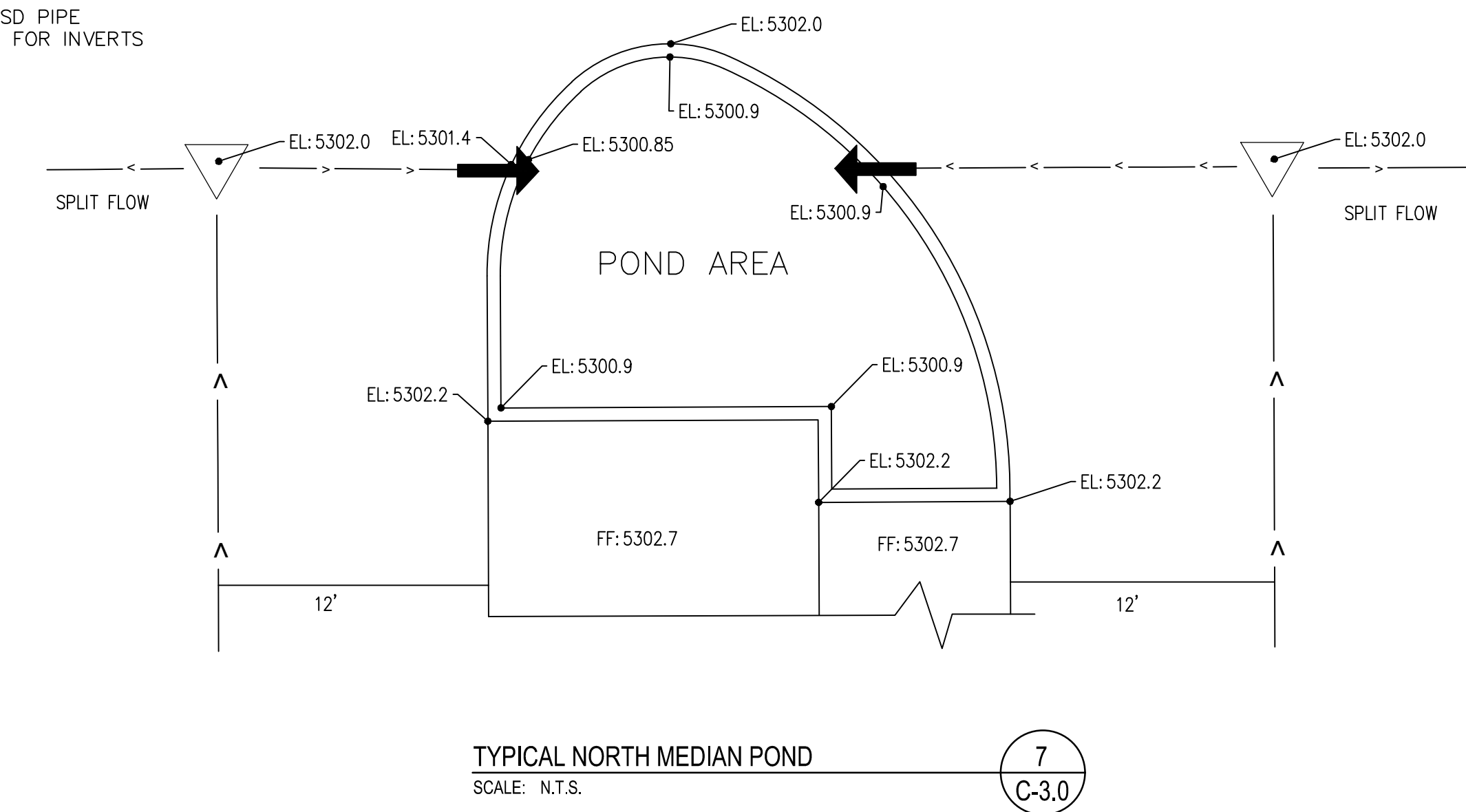
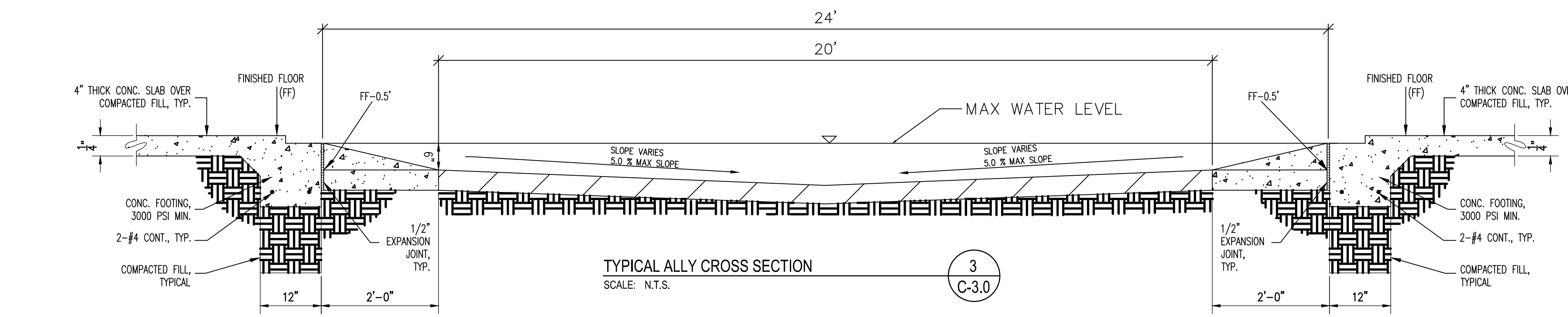
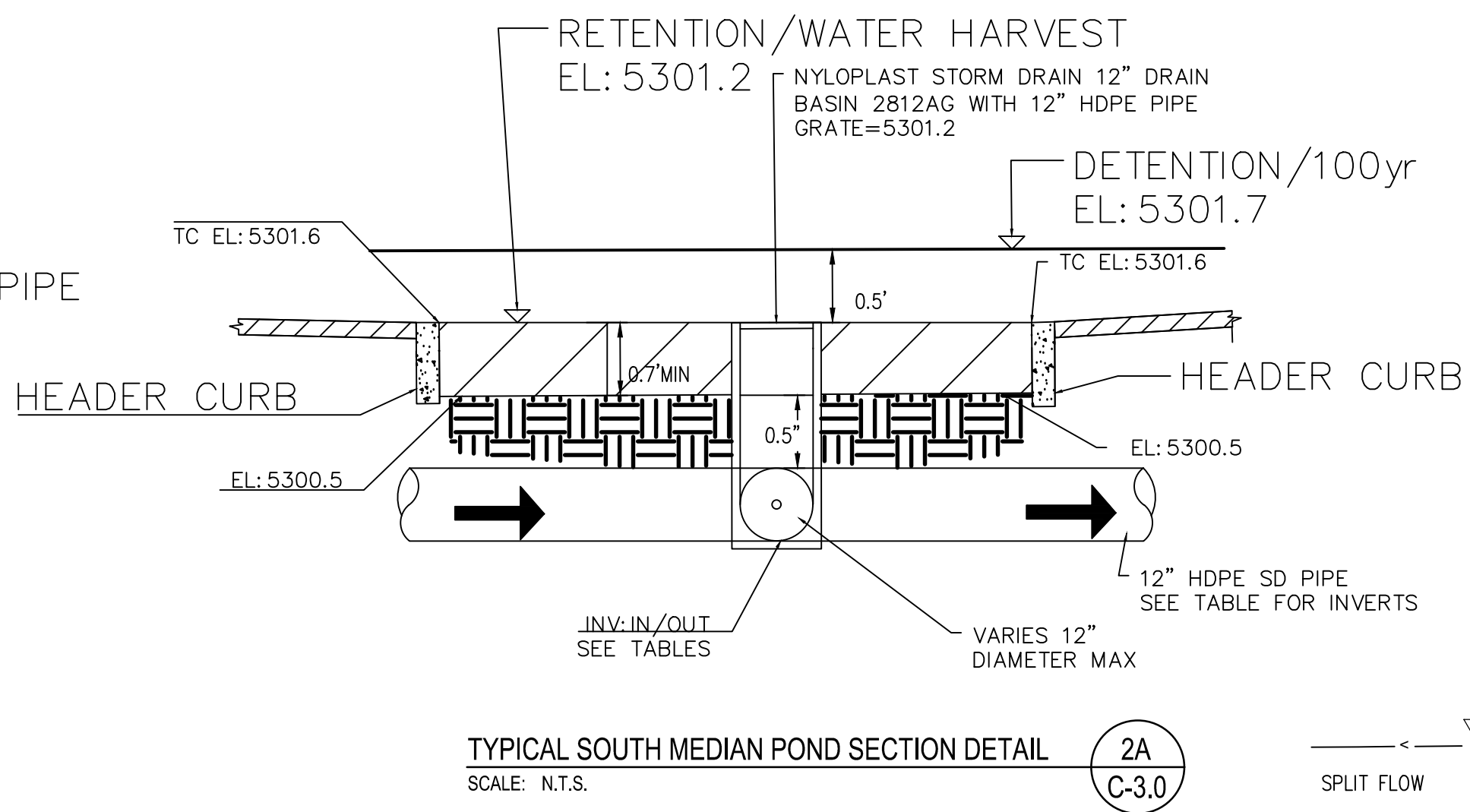
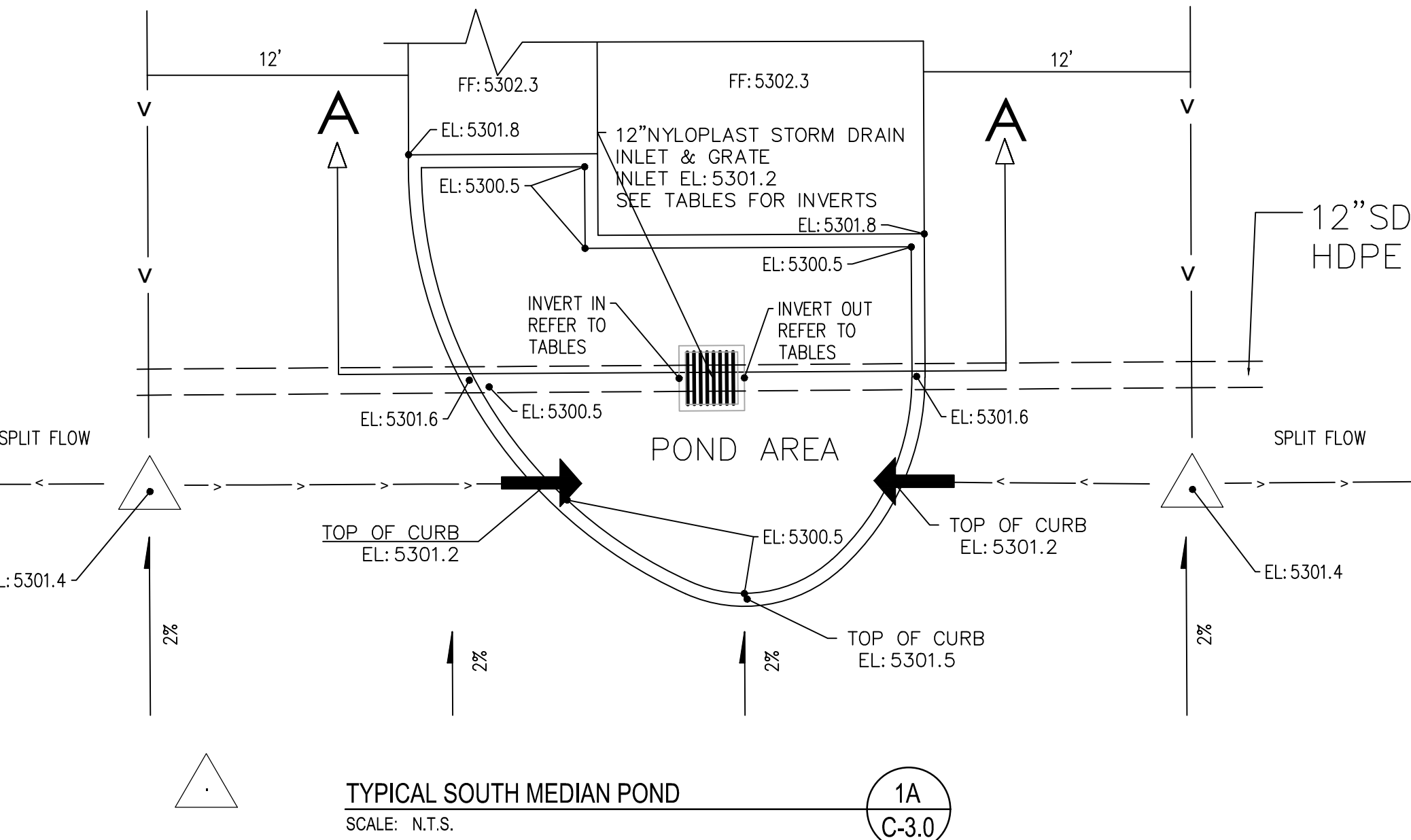
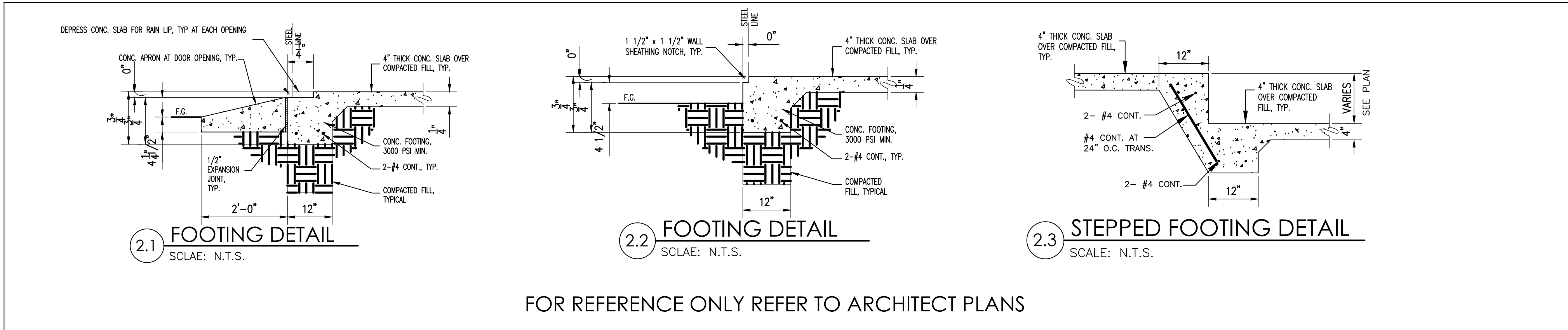


EXHIBIT C TRACT OS-3a REGIONAL POND LEGEND





[DATE: 5/7/2025 4:45 PM] [AUTHOR: jockylin] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [LAYOUT: C-3.0 CIVIL DETAILS] [PATH: P:\MDS Storage, LLC\229024-A000325.00\Execution\Drawings\Civil\WDS Storage, LLC PLAN SET\CIVIL DETAILS.dwg]



PIPE	DESIGN	COMBINED	INVERTS	
	Q(cfs)	Q(cfs)	UPSTREAM	DOWNSTREAM
PIPES1	0.5	0.5	5298.7	5298.5
PIPES2	1.0	1.5	5298.5	5298.2
PIPES3	1.0	2.5	5298.2	5297.7
PIPES4	1.1	3.6	5297.7	5296.6
PIPES5	1.0	4.6	5296.6	5294.7
PIPES6	1.1	5.7	5294.7	5293.1
PIPES7	0.6	6.3	5293.1	5286.35
PIPES8	4.5	4.5	5298.0	5288.35
PIPEN5	11.2	11.2	5298.0	5284.00

HDPE STORM DRAIN PIPE INVERT TABLE
SCALE: N.T.S.

6
C-3.0

REVISIONS	NO.	BY	DATE	REMARKS
	1	NV5	5/7/25	HYDROLOGY COMMENTS DATED 3/21/25

SHEET INFO	DRAWN	CHECKED	APPROVED	LAST EDIT	PLOT DATE	SUBMITTAL
				5/7/2025	5/7/2025	

CIVIL DETAILS.

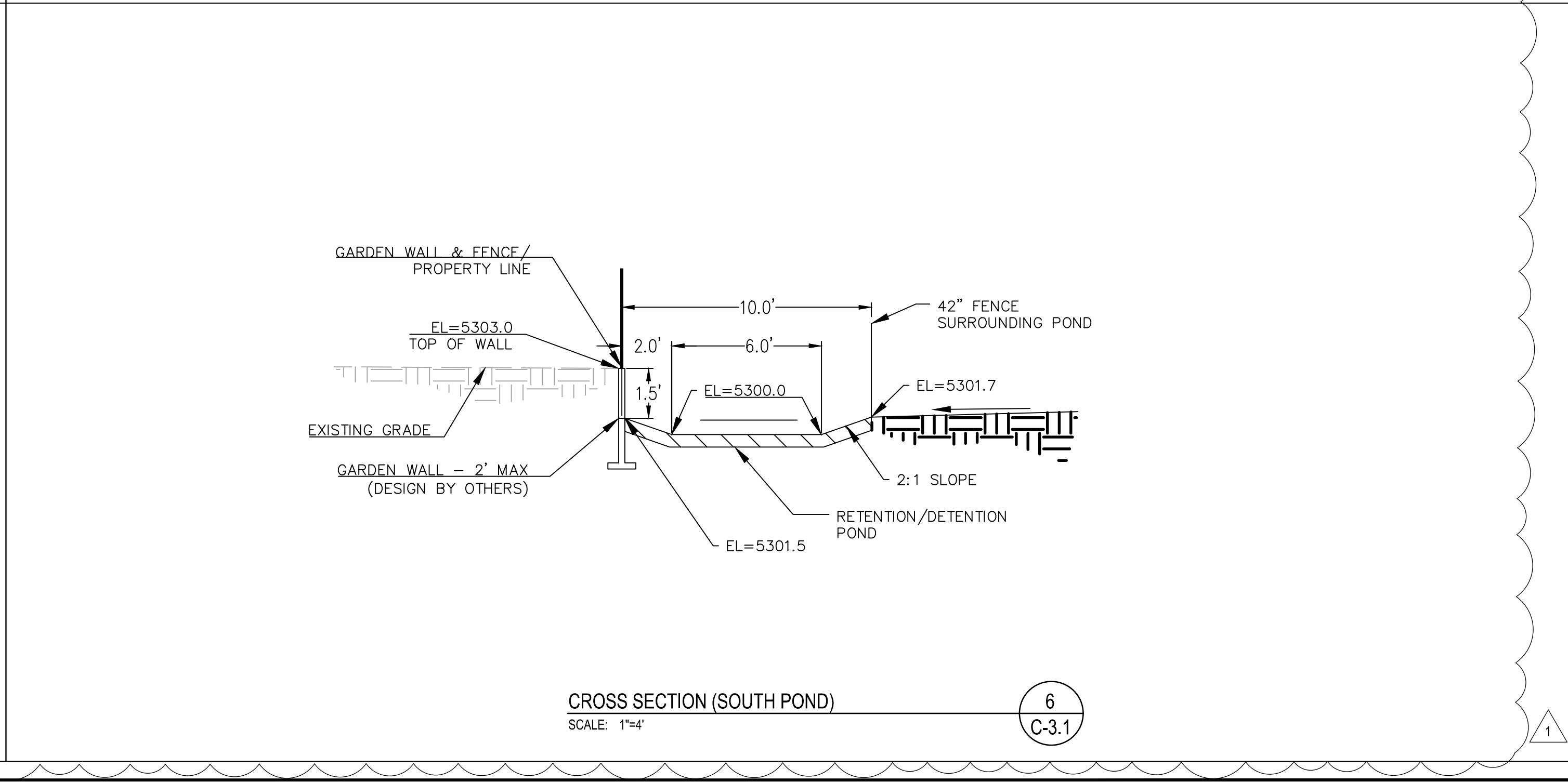
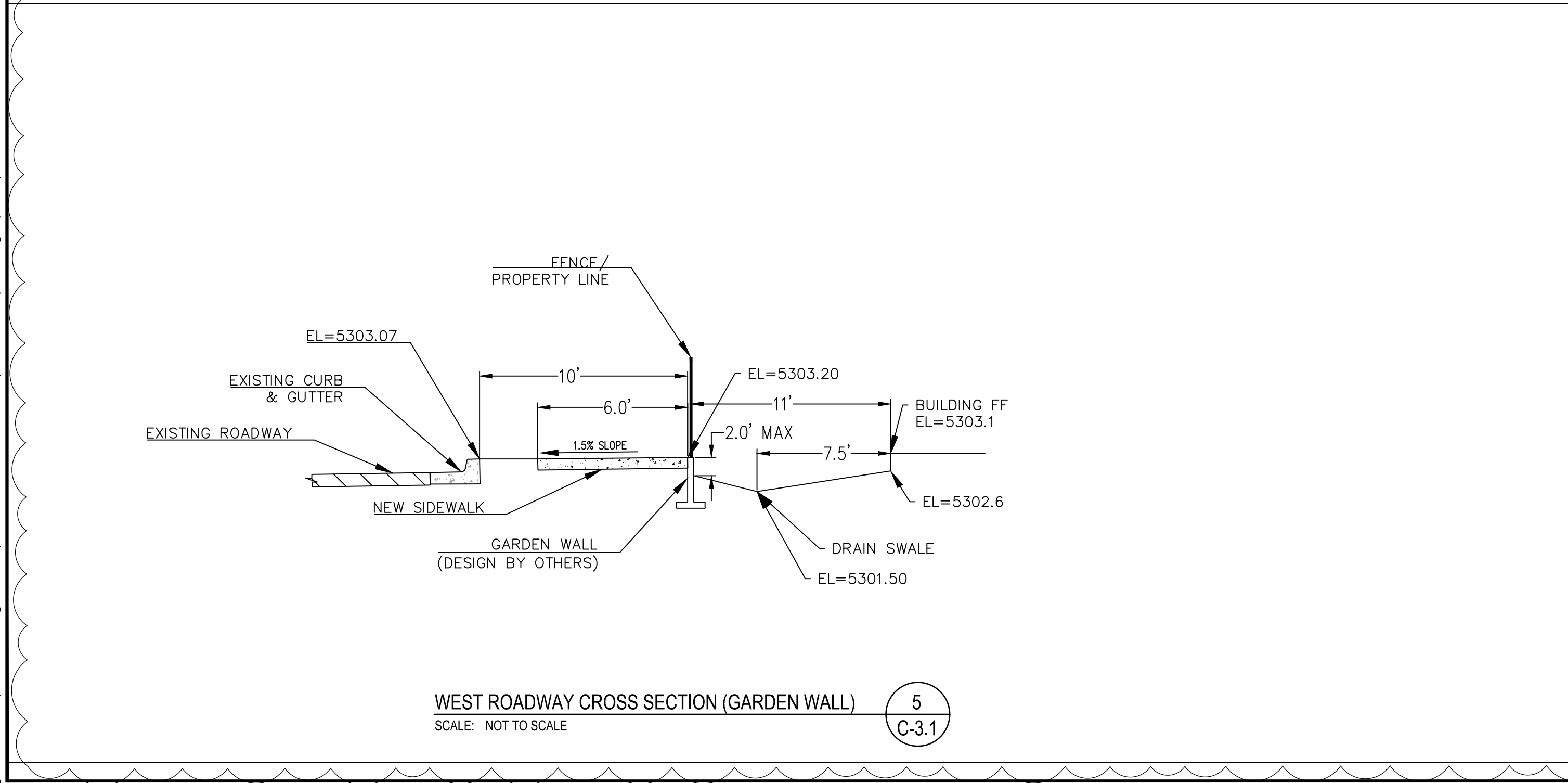
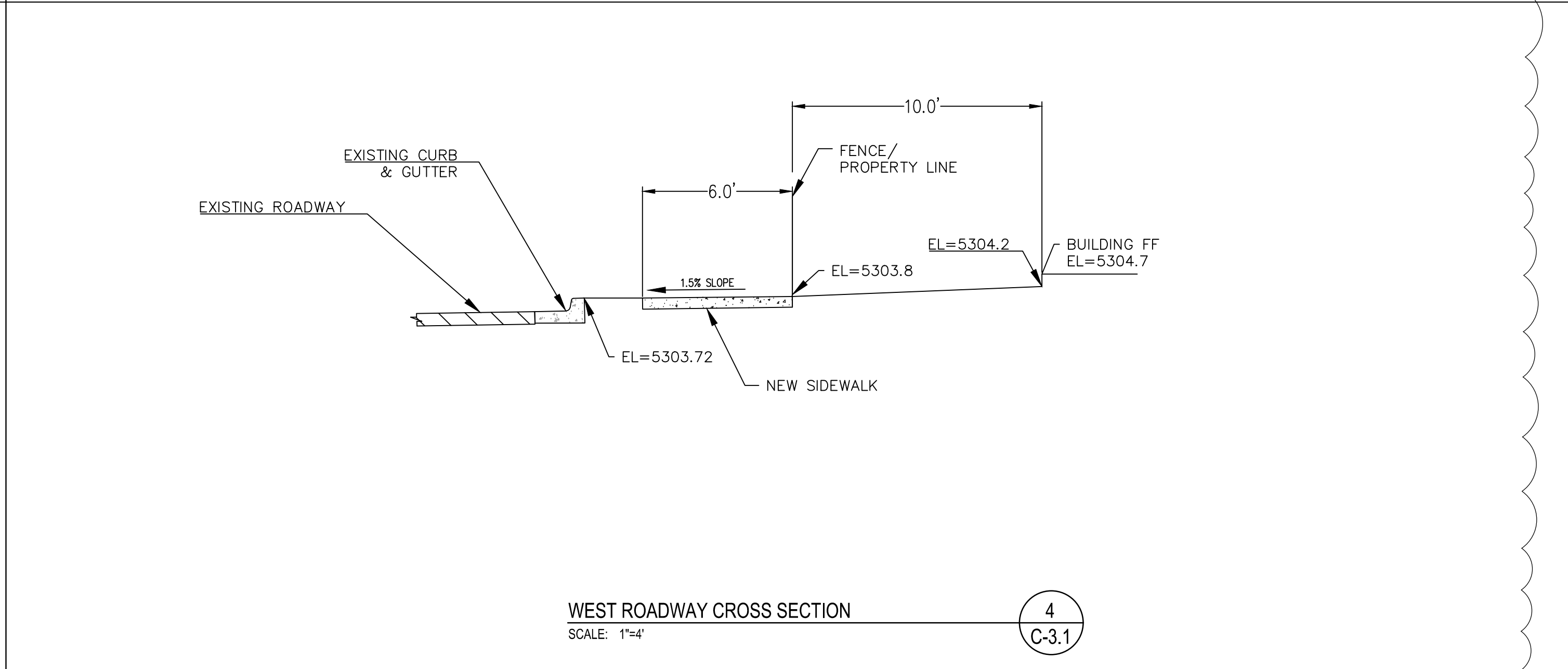
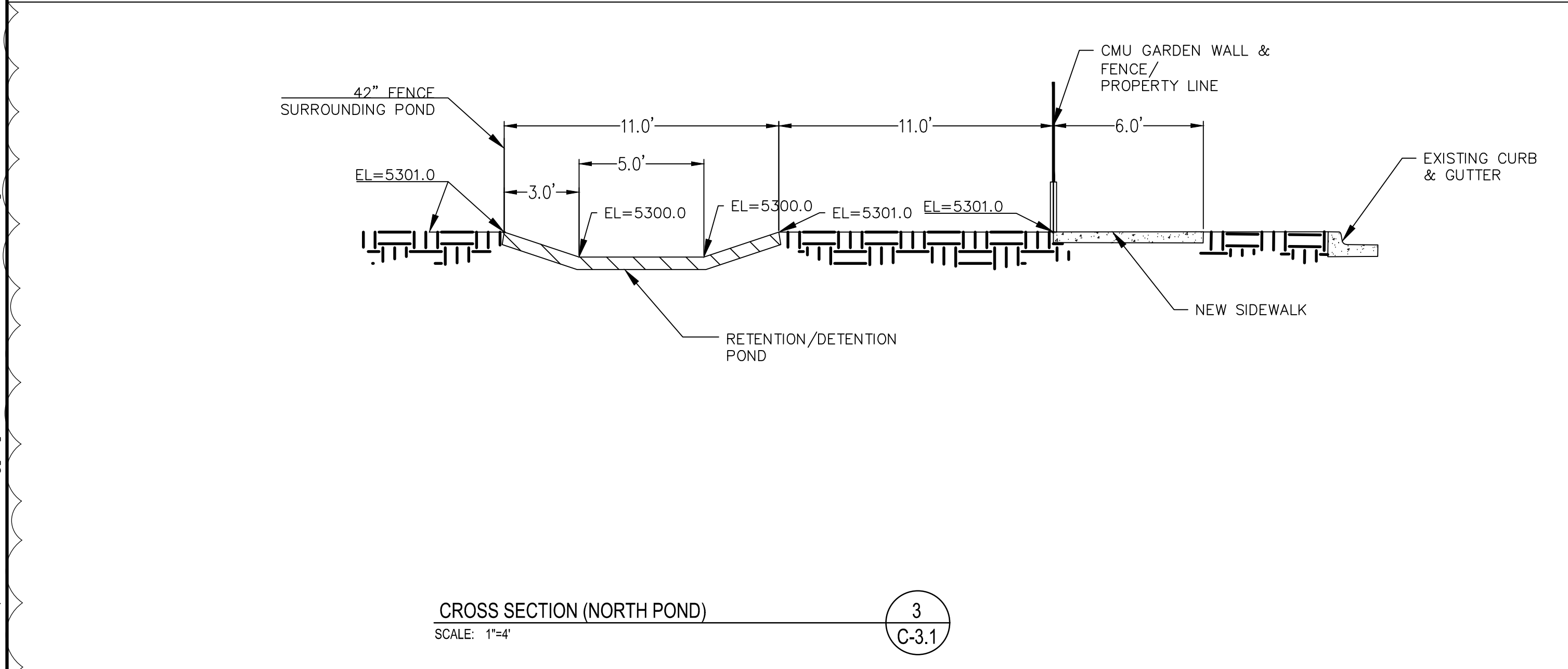
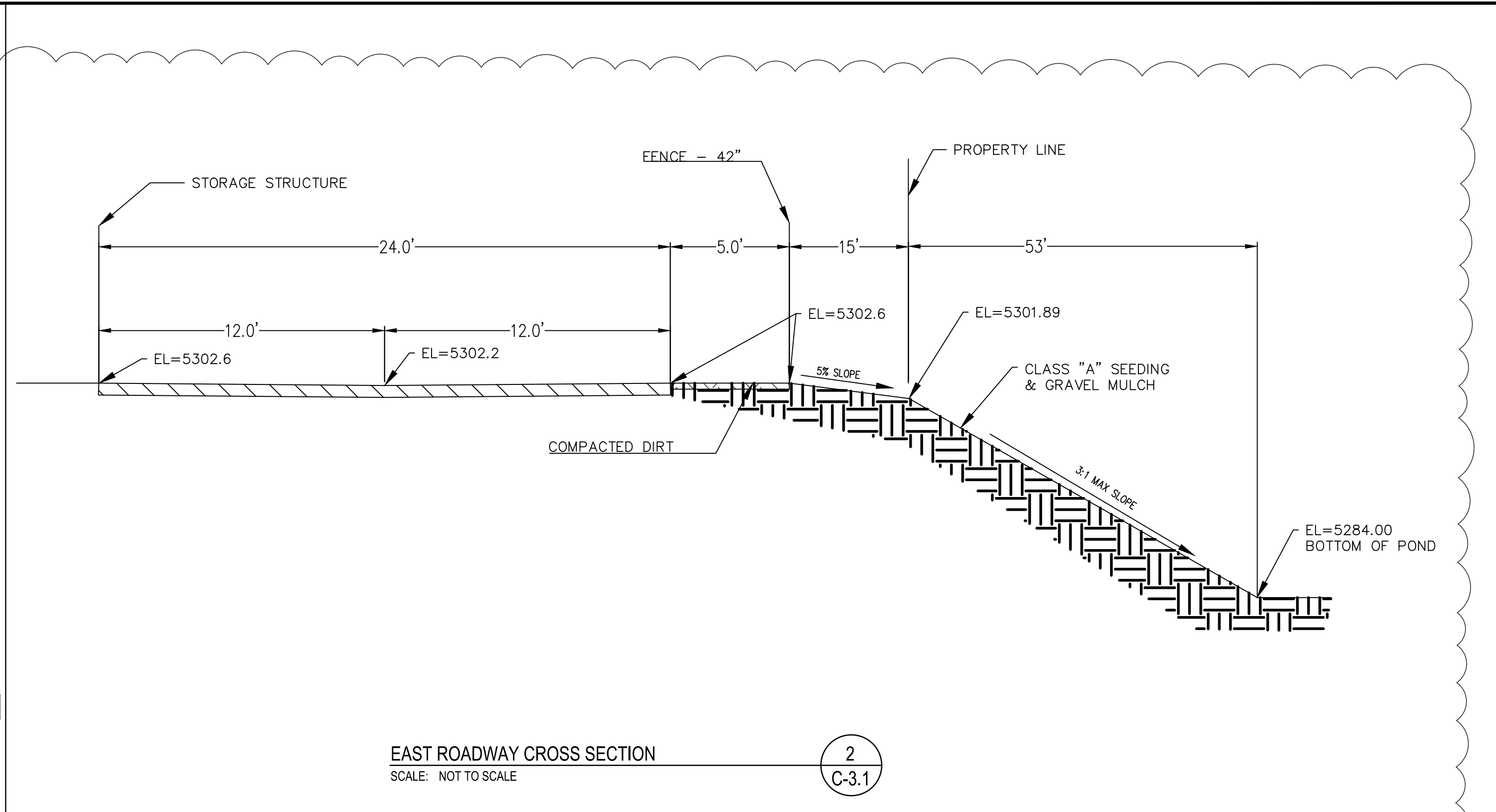
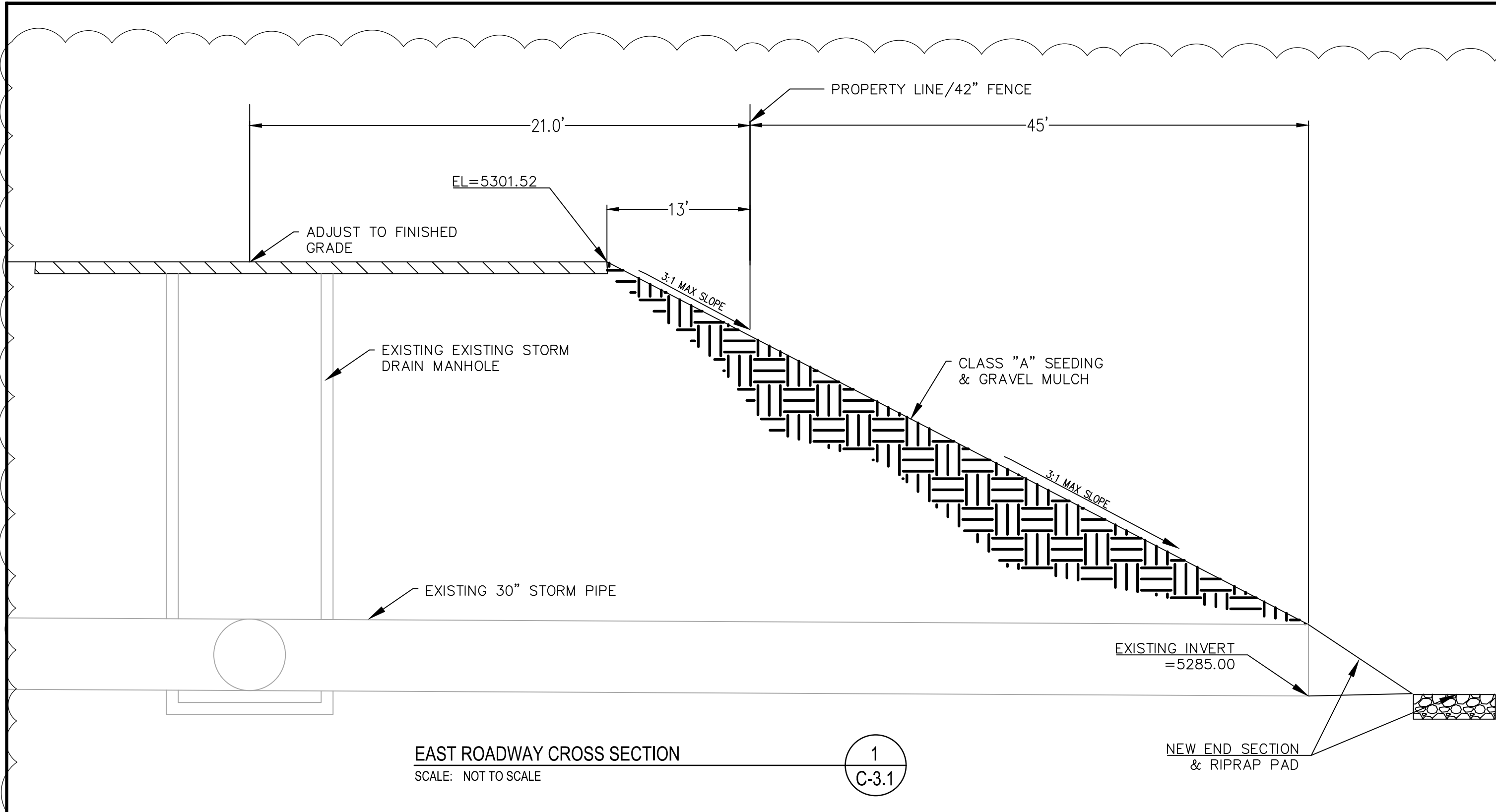
PROJECT NUMBER

DRAWING FILE NAME

SCALE

C-3.0

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5

M

N

MINXUAN LIN

NEW MEXICO

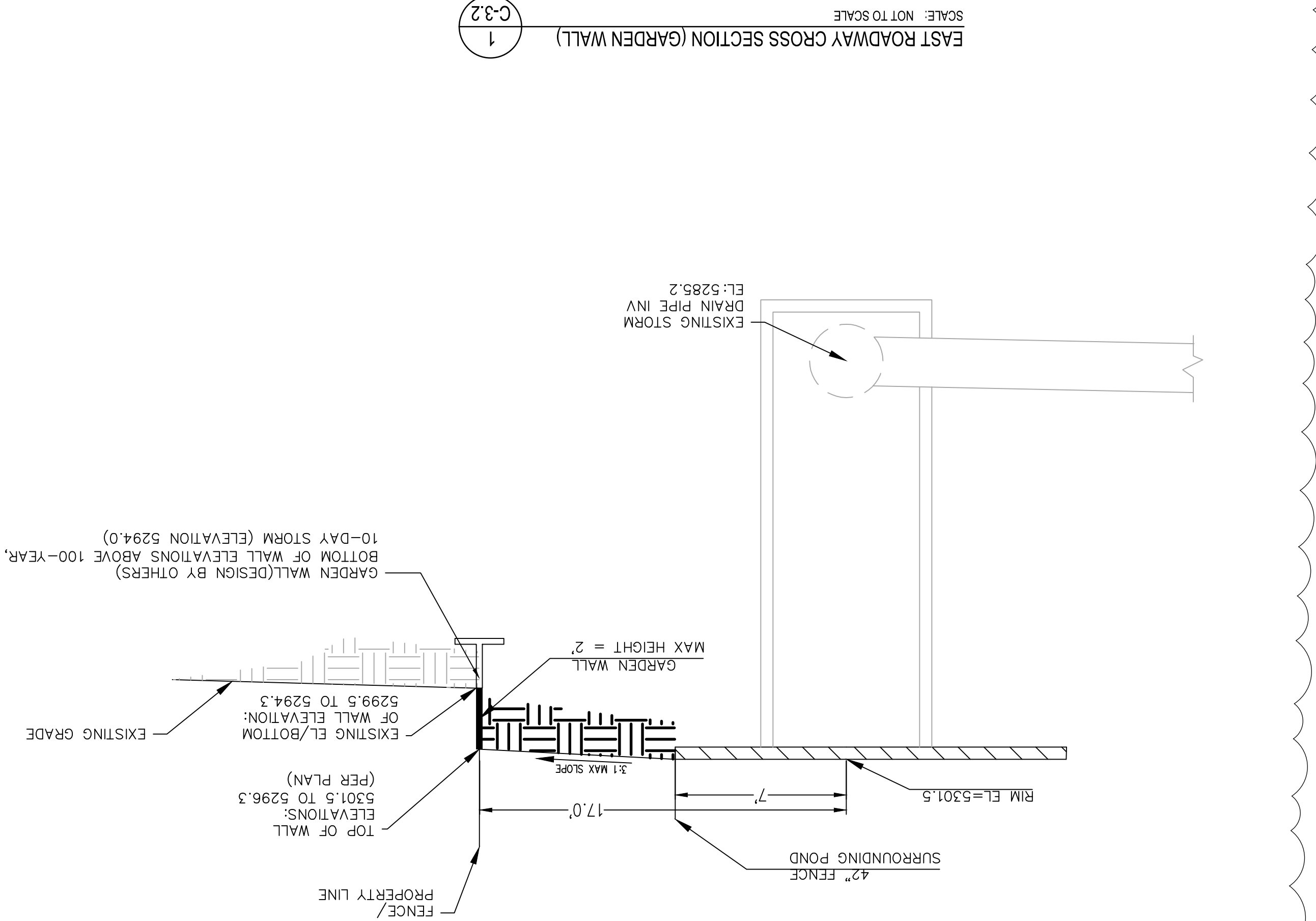
20068

PROFESSIONAL ENGINEER

REVISIONS		REMARKS	
NO.	DATE	BY	DATE
1	5/6/25	NV5	5/6/25

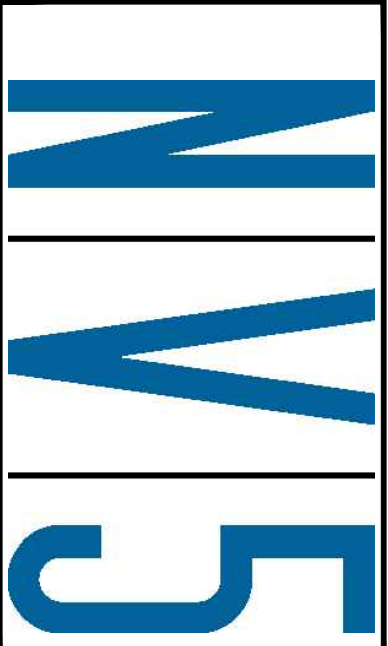
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			5/7/2025

CIVIL DETAILS.		CIVIL DETAILS	
PROJECT NUMBER	DRAWING FILE NAME	SCALE	SHEET NUMBER
			C-3.1



SHEET INFO		
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CHECKED		
APPROVED		
LAST EDIT	5/7/2025	
PLOT DATE	5/7/2025	
SUBMITTAL		

REVISIONS		
NO.	BY	DATE
1	NV5	5/6/25
REMARKS		
HYDROLOGY COMMENTS DATED 3/21/25		






CIVIL DETAILS.		
PROJECT NUMBER	DRAWING FILE NAME	
	CIVIL DETAILS	
		SCALE

C-3.2

SHEET NUMBER




	WOOD MULCH (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)	13,439 SF
	7/8" PUEBLO ROSE ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)	10,856 SF
	4"-6" COYOTE MIST COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)	4,994 SF

LS101

Mesa del Sol Proposed Project



Michael Wright

To  cmsandoval@cabq.gov

 This message was sent with High importance.



Good afternoon,

Dear Christina Sandoval, Planning Manager for Aviation,

The reason for this email is inform you and Sunport that a proposed project in Mesa del Sol at the intersection of Turing Drive and Crick Avenue. This project is in the development stages and the land use will be self-storage. I've provided a few renderings for you. As adjacent neighbor we want to provide transparency and provide you with correspondence.

If you have any questions about the process or the project, please, don't hesitate to contact me.

Michael Wright
Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102
Phone (505) 764-9801

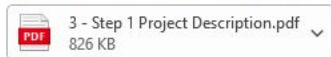
Mesa del Sol Proposed Project



Michael Wright

To  janet.cunningham-stephens.ctr@us.af.mil;  jcunningham-stephens@asrcfederal.com

 This message was sent with High importance.



Good afternoon,

Dear Janet Cunningham-Stephens, Lead Community Planner,

The reason for this email is inform you and Kirkland Air Force Base that a proposed project in Mesa del Sol at the intersection of Turing Drive and Crick Avenue. This project is in the development stages and the land use will be self-storage.

I've provided a few renderings for you.

As adjacent neighbor we want to provide transparency and provide you with correspondence.

If you have any questions about the process or the project, please, don't hesitate to contact me.

Michael Wright

Consensus Planning, Inc.

302 8th Street NW

Albuquerque, NM 87102

Phone (505) 764-9801

Mesa del Sol Architectural Review Committee
5700 University Blvd. SE Ste. 300
Albuquerque, New Mexico 87106

October 7th, 2024

Consensus Planning
302 8th Street NW
Albuquerque, NM 87102

**Re: Mesa del Sol Architectural Review Committee
Step 2 Submission Approval for Mesa del Sol Self Storage**

Dear Consensus Planning Team,

This letter serves as formal confirmation of the Mesa del Sol Architectural Review Committee's (MdS ARC) approval of the Mesa del Sol Self Storage Step 2 Submission. The submission, dated October 1st, 2024, underwent a review on October 7th, 2024. We are pleased to announce that the approval response has been finalized as of October 7th, 2024.

The MdS ARC grants approval for the Step 2 Submission, with the acknowledgments and responses outlined in the aforementioned correspondences. The submission of plans includes the following details:

- Project Title: MESA DEL SOL SELF STORAGE
- Project Address: 5500 TURING DR SE ALBUQUERQUE, NM 87106
- Project Number: 2322
- Project Dated: 09-19-2024

For additional information regarding this submission and its approval, please contact the Mesa del Sol Architectural Review Committee. We anticipate a collaborative effort in the development of Mesa del Sol Self Storage and look forward to working closely with you.

Sincerely,

Jerome Gonzales

Jerome Gonzales
Architectural Review Committee
Mesa del Sol

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: TR I-2 OF TRS I-1 & I-2 MESA DEL SOL INNOVATION PARK II (A REPL OF TR I MESA

DEL SOL INNOVATION PARK II) CONT 5.1099 AC. 2322 Mesa Del Sol SE

Request Description: _____

☐ **Hydrology:**

- | | | |
|-------------------------------------|-------------------|-------------|
| • Sensitive Lands Analysis (5-2(C)) | _____ Approved | <u>X</u> NA |
| • Grading and Drainage Plan | <u>X</u> Approved | _____ NA |
| • AMAFCA | _____ Approved | <u>X</u> NA |
| • Bernalillo County | _____ Approved | <u>X</u> NA |
| • NMDOT | _____ Approved | <u>X</u> NA |
| • MRGCD | _____ Approved | <u>X</u> NA |

Regina Chan
Hydrology Department

11/19/2024
Date

☐ **Transportation:**

- | | | |
|--------------------------------------|-------------------|-------------|
| • Traffic Circulations Layout (TCL) | <u>X</u> Approved | _____ NA |
| • Traffic Impact Study (TIS) | _____ Approved | <u>X</u> NA |
| • Neighborhood Impact Analysis (NIA) | _____ Approved | <u>X</u> NA |
| • Bernalillo County | _____ Approved | <u>X</u> NA |
| • MRCOG | _____ Approved | <u>X</u> NA |
| • NMDOT | _____ Approved | <u>X</u> NA |
| • MRGCD | _____ Approved | <u>X</u> NA |

Ernest Armijo
Transportation Department

10/10/2024
Date

☐ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted? ✓ Yes _____ No _____ NA
- Availability Statement/Serviceability Letter Number 240817
- Note: Commitment for service is required prior to application approval.

Renee C. Brissett
ABCWUA

11/27/24
Date

- | | | |
|---|-------------------|-------------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | <u>✓</u> Approved | <u>X</u> NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | <u>✓</u> Approved | _____ NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan | <u>✓</u> Approved | _____ NA |

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 9, 2025

Rick Beltramo/Jacky Lin
NV5 Engineering
6501 Americas Parkway NE, Suite 400
Albuquerque, NM 87110

**RE: Mesa Del Sol Self Storage
5500 Turing Dr. SE
Grading and Drainage Plan
Engineer's Stamp Date: 5/7/2025
Hydrology File: R16DA1004**

Dear Mr. Beltramo & Mr. Lin:

Based upon the information provided in your submittal received 5/7/2025, the Grading Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

May 7, 2025

Richard Martinez, P.E.
 Senior Engineer, Hydrology
 Planning Department, Development Review Services
 505-924-3362
richardmartinez@cabq.gov

**Re: Mesa Del Sol Self Storage
 5500 Turing Dr. SE
 Grading and Drainage Plan
 Engineer's Stamp Date: 01/15/2025
 Hydrology File: R16DA1004**

Dear Richard,

Here are the responses to the comments provided on March 21, 2025 in regards to an **Updated Grading & Drainage prior to continuing onsite grading and foundation work.**

Please let me know if you have further questions.

1. Removal of grading and fill material covering the outlet to an existing 36-inch pipe which is designated as roadway drainage from Touring Rd.
Response: Concur. See revised Grading Plan for call out.
2. Cease grading until all required onsite detention basins are completed, and cease placing fill materials along the southeastern property line encroaching into the existing retention pond without the required slope stabilization or required retaining wall.
Response: Owner to respond.
3. Most importantly, provide documentation allowing the use of and filling in the existing retention pond was promised months ago and has yet to be received by the CABQ, and include references to said documentation on the Updated Grading & Drainage Plan.
Response: There is no intend to use the existing retention pond material to use for filling of onsite construction, OS3 pond will be graded per revise Grading Plan C-1.0.
4. Provide the required onsite detention basin along the north side of the project.
Concur. Will notify contractor to complete onsite detention basins.
5. ESC measures are to be completed along the south and east property alignments.
Concur. Will notify contractor to complete required Erosion & Sediment Control measures.

6. Any and all proposals should be presented and demonstrated appropriately on an Updated Grading & Drainage Plan.
Concur. See revised Grading Plan and Details.
7. Prepare and provide Drainage Covenants for the retention ponds adjacent and to the east of the project and associated private storm drains discharging stormwater into said retention ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit on the 4th floor of Plaza de Sol. A \$25 fee will be required.
Concur. Currently in process from property owner/developer.
8. Due to the proposed retaining wall in Section 1 of C-3.1, provide an additional cross-section showing the existing storm drain manhole and pipe extension through the proposed retaining wall and into the retention basin at the southeast corner of the project.
Concur. Additional section has been added, see revised sheet C-3.1 & C-3.2. Retaining wall removed from revised design.
9. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5, part B. Grading and wall construction near the property line may not endanger or encroach upon adjacent property or constrain its use.
Concur. P
10. Show all portions of proposed retaining walls on the property of the project.
Concur. Please see revised grading plan for proposed garden wall locations, retaining wall eliminated per revised Grading Plan C-1.0.
11. The existing ponds should be completely developed for the 100-year 10-day storm and associated capacity, together with slope erosion protection and access barricades where needed.
Concur. See revised Grading Plan C-1.0 for existing pond improvement with pond capacity, erosion protection has been added to west side of pond per COA Section 1013 Slope Stabilization and Seeding on 3:1 slope.
12. Per follow up phone conversation on 4/29/2025, COA hydrology had requested to add access road to existing pond.
Concur. See revised Grading Plan C-1.0 for access road design into Tract OS-3 pond bottom.

Please contact me if you have any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'Minxuan Lin', with a stylized flourish at the end.

Minxuan(Jacky) Lin, PE
Director Land Development – NV5
6501 Americas Pkwy NE, Ste 400
Albuquerque, NM 87110

cc: Todd Coleman
Owner, Bottomline Construction
505-269-7481
todd@blcm.pro

Rick Beltramo
Senior Manager, Development Services – NV5
505-948-7194
rick.beltramo@nv5.com

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2024

Alejandro Sazo
RBA Architects, PC
1104 Park Ave SW
Albuquerque, NM 87102

alejandro@rba81.com

Re: Mesa Del Sol Self Storage
2322 Mesa del Sol SE
Traffic Circulation Layout
Engineer's Stamp Dated 9-19-24 (R16DA1004)

Dear Mr. Sazo,

The TCL submittal received 9-23-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

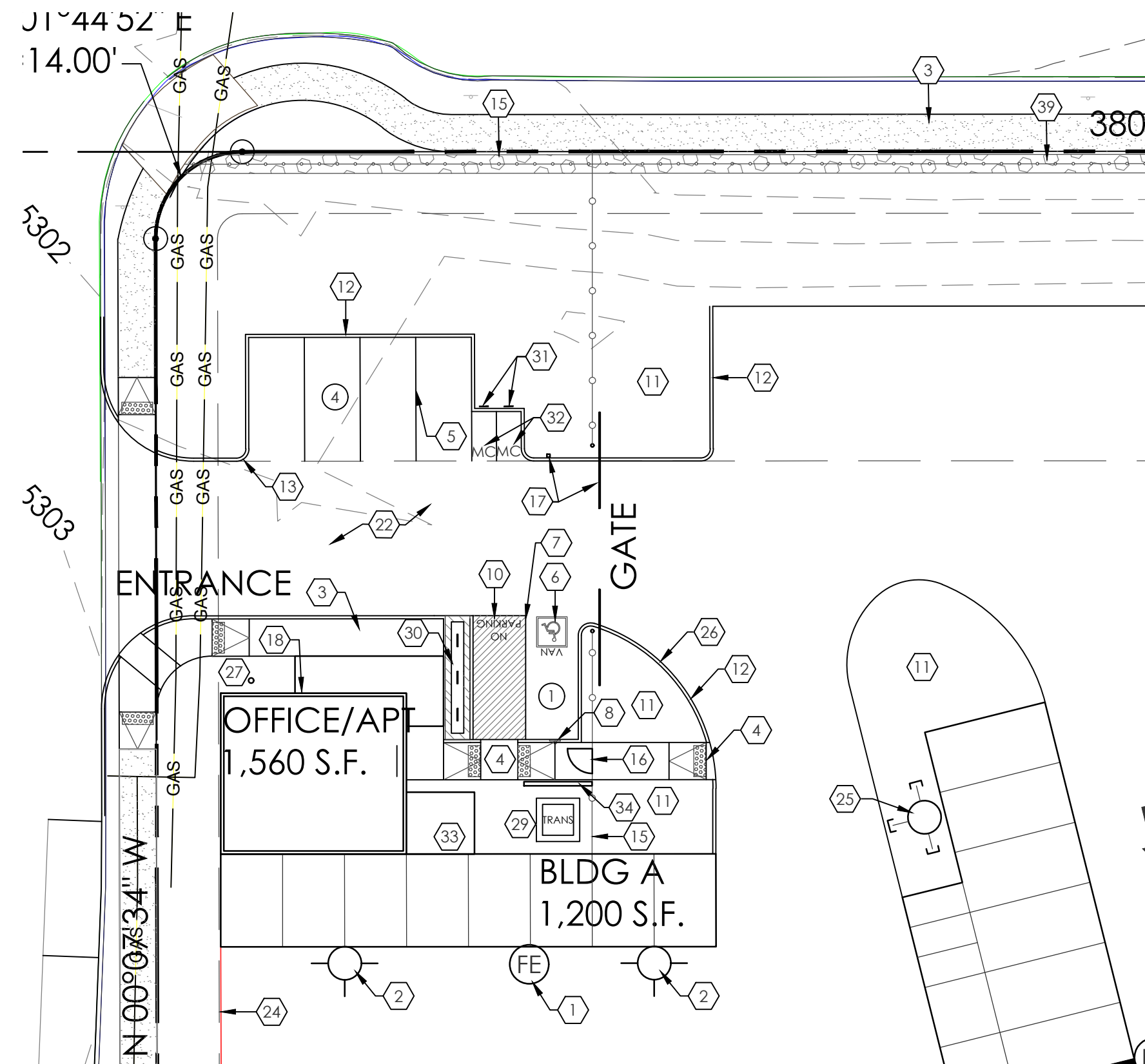
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



2 ENLARGED SITE PLAN
1"=20'-0"

PARKING REQUIREMENTS	
SELF-STORAGE:	1 SPACE / 3,000 S.F. GFA 71,560 S.F./3,000 = 23.85 SPACES (24)
REQUIRED PARKING:	24 SPACES
PROVIDED SPACES:	25 SPACES (1 H.C.) 2 MOTORCYCLE 1 BICYCLE PARKING

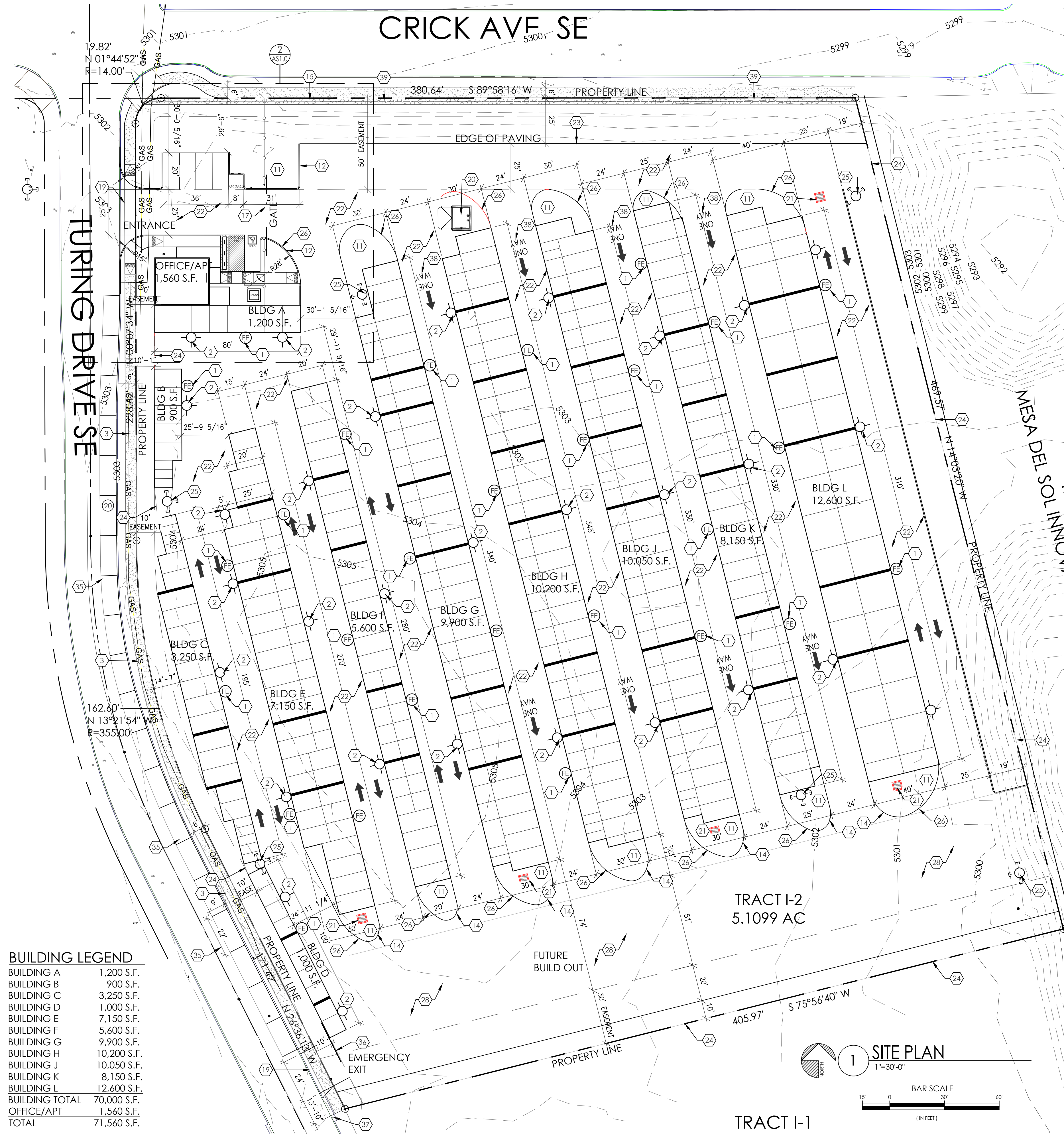
NOTE:
ALL BROKEN OR
CRACKED SIDEWALKS
MUST BE REPLACED WITH
SIDEWALK AND CURB &
GUTTER.

KEYED NOTES

1. WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
2. WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
3. 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
4. ADA ACCESSIBLE RAMP, REF: DETAIL A8/AS-2.0.
5. 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
6. HANDICAP SYMBOL, PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL A6/AS-2.0.
7. 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
8. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A5/AS-2.0.
9. 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
10. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978).
11. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
12. 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
13. 2'-0" RADIUS.
14. 15'-0" RADIUS.
15. NEW 3' HIGH GABION FENCE WITH 3' HIGH WELDED WIRE MESH FENCE ABOVE, AT PARKING ONLY.
16. NEW 36" w x 6" h MAN GATE WITH KEYS LOCKSET.
17. NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
18. KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
19. SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
20. DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
21. STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
22. ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
23. EDGE OF ASPHALT PAVING.
24. 6' HIGH WELDED WIRE MESH FENCE.
25. NEW FIRE HYDRANT.
26. 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
27. FLAGPOLE WITH LIGHT.
28. BASE COURSE.
29. ELECTRICAL TRANSFORMER, REF: ELECTRICAL PLANS.
30. BIKE RACK FOR (1) BICYCLE, REF DETAIL A14-A15/AS-2.0, BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE. A. 30" TALL x 18" WIDE.
31. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
32. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION, SEE THE IDO FOR ADDITIONAL INFORMATION.
33. D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
34. E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
35. F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
36. G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
37. MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
38. PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
39. COVERED PATIO W/ BENCH.
40. CMU WALL 4" TALL.
41. 20' x 22' ON STREET PARKING.
42. EMERGENCY ACCESS CRASH GATE W/ KNOX BOX.
43. EXISTING DROPPED INLET.
44. PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
45. NEW 2' HIGH GABION FENCE WITH 4' HIGH WELDED WIRE MESH FENCE ABOVE.

BUILDING LEGEND

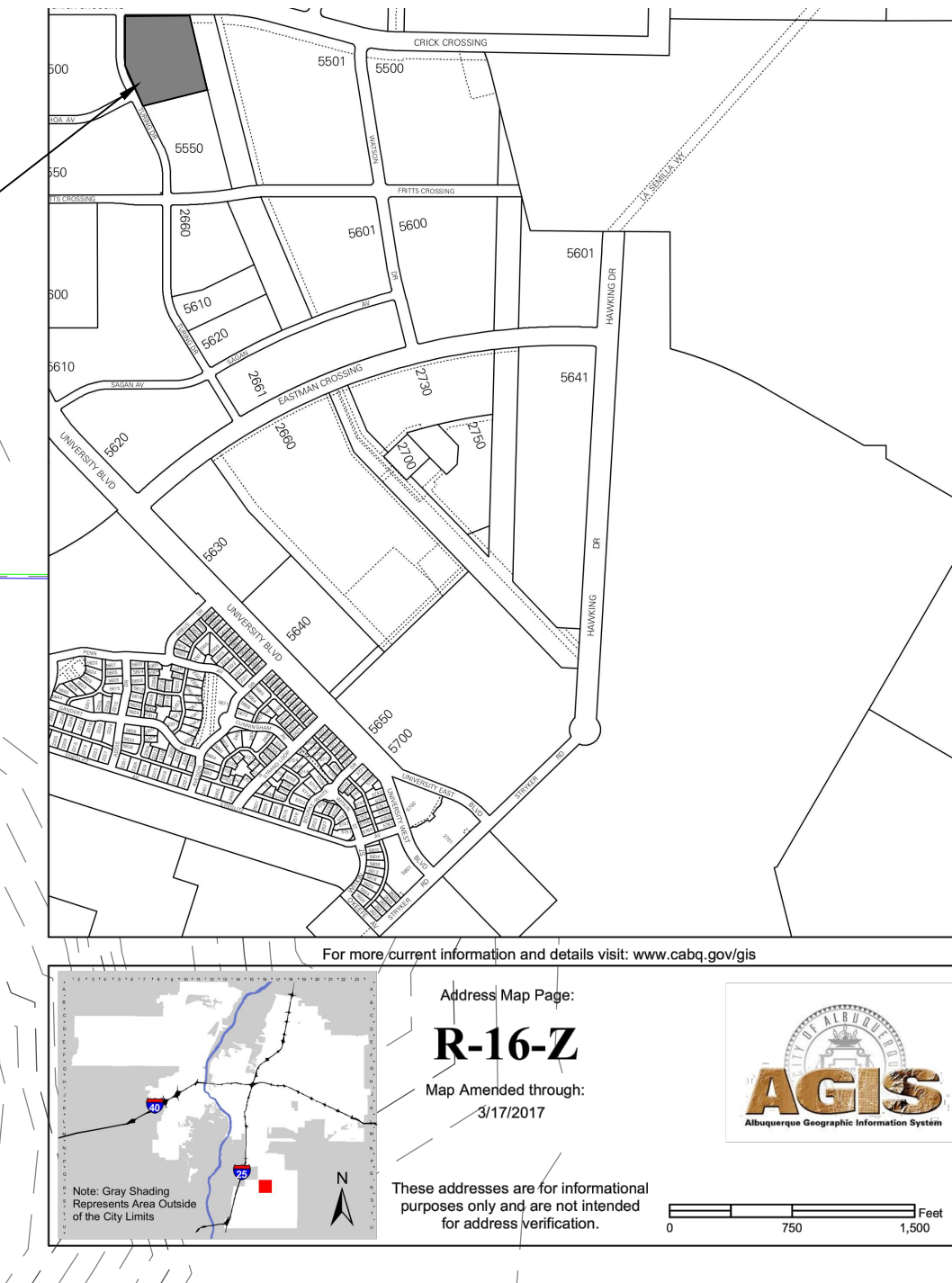
BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.



1 SITE PLAN
1"=30'-0"



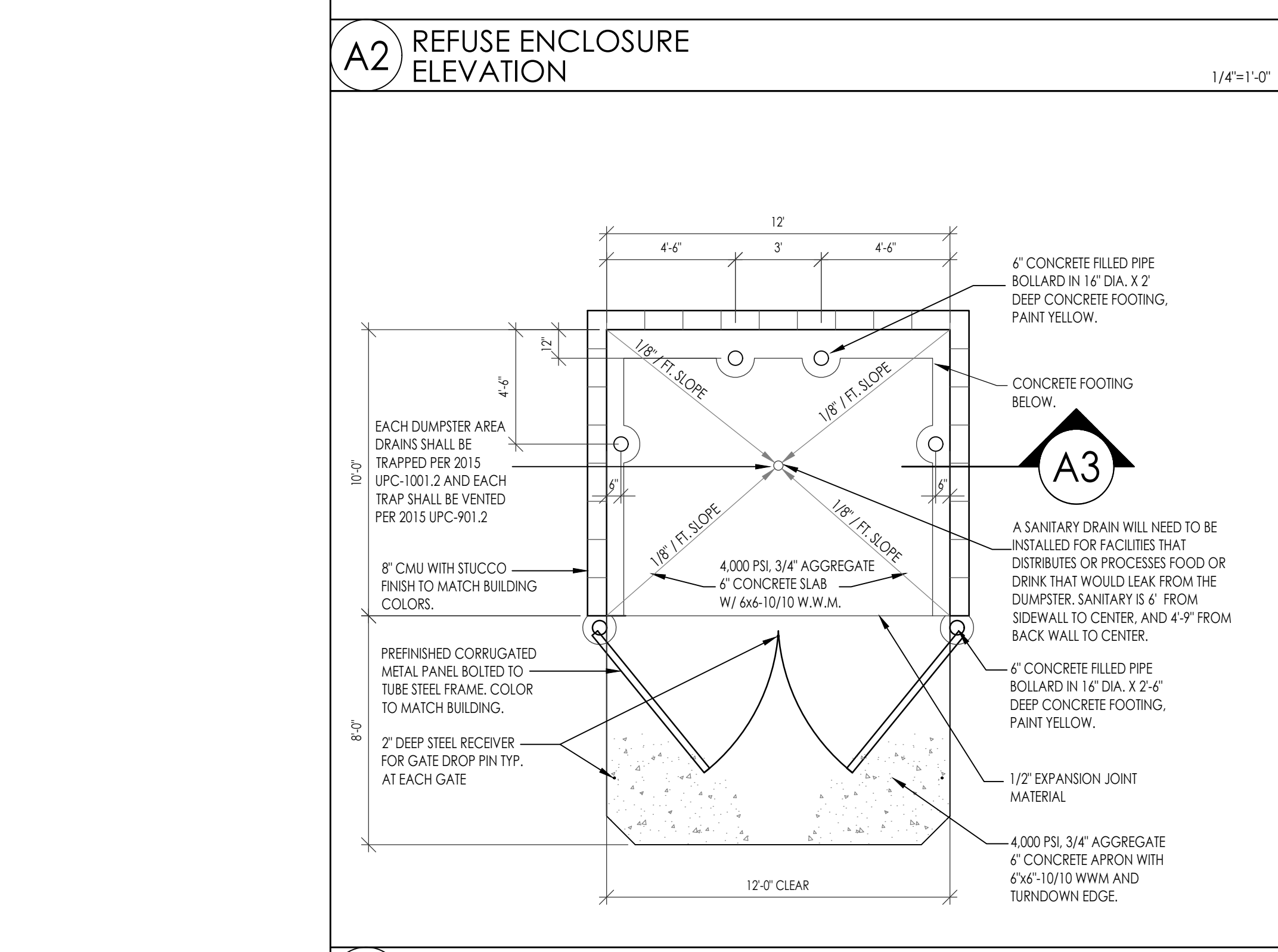
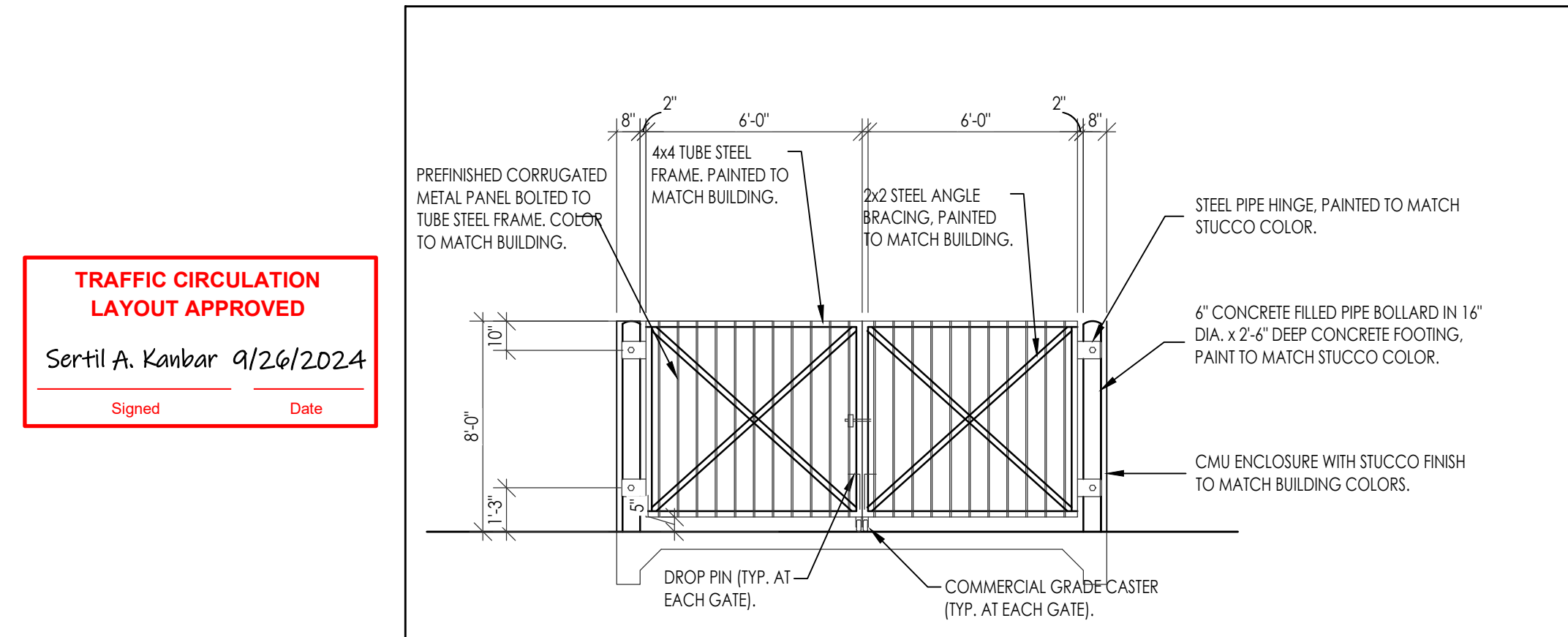
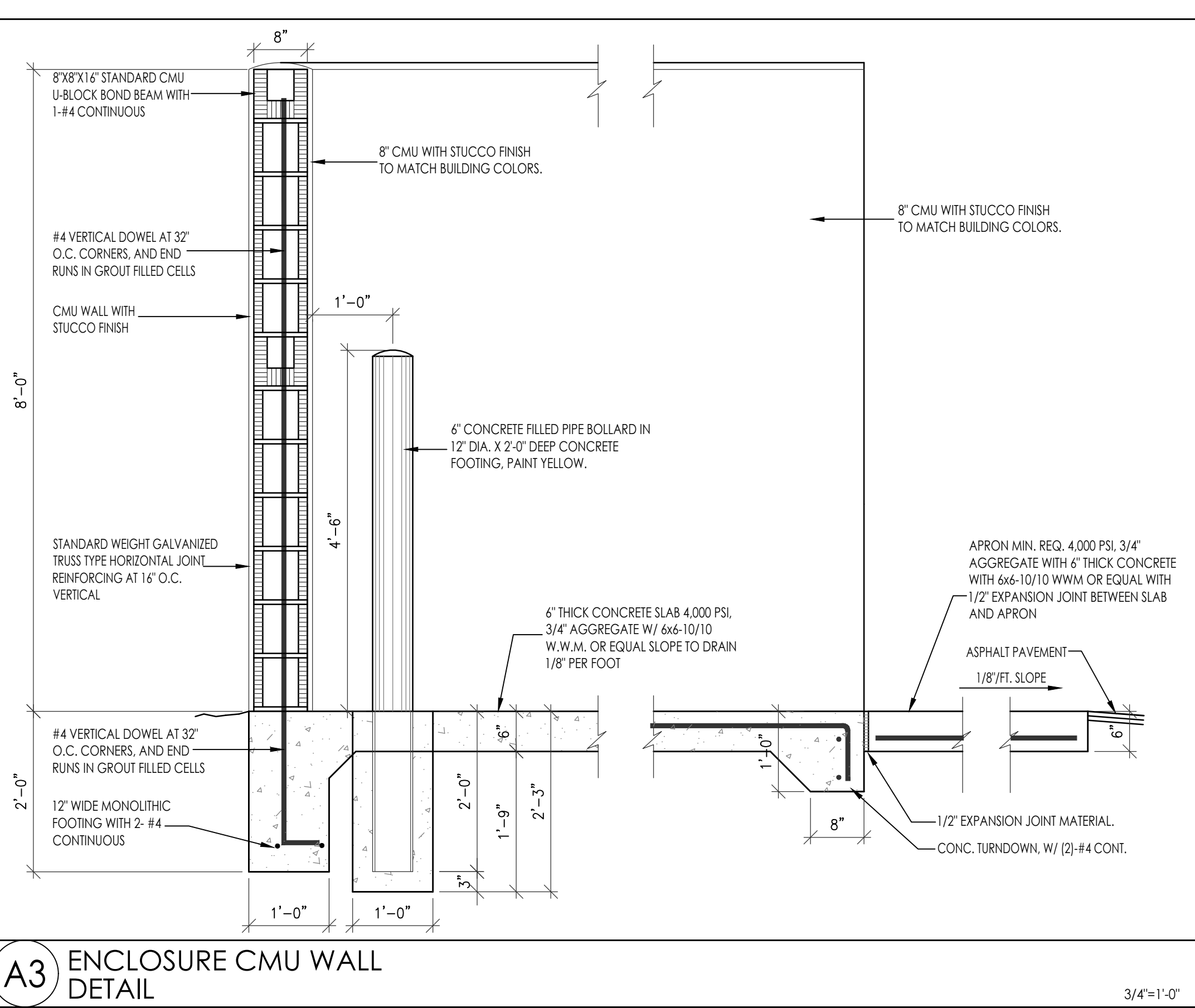
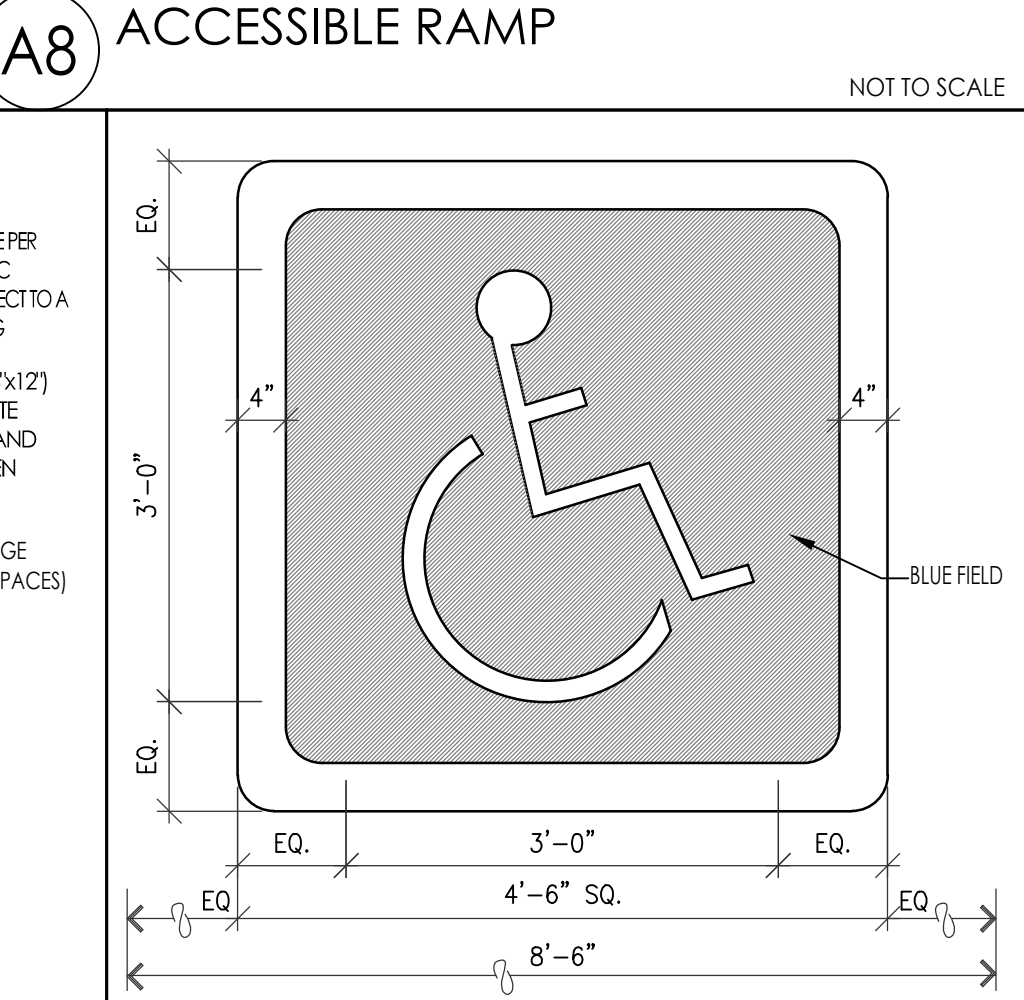
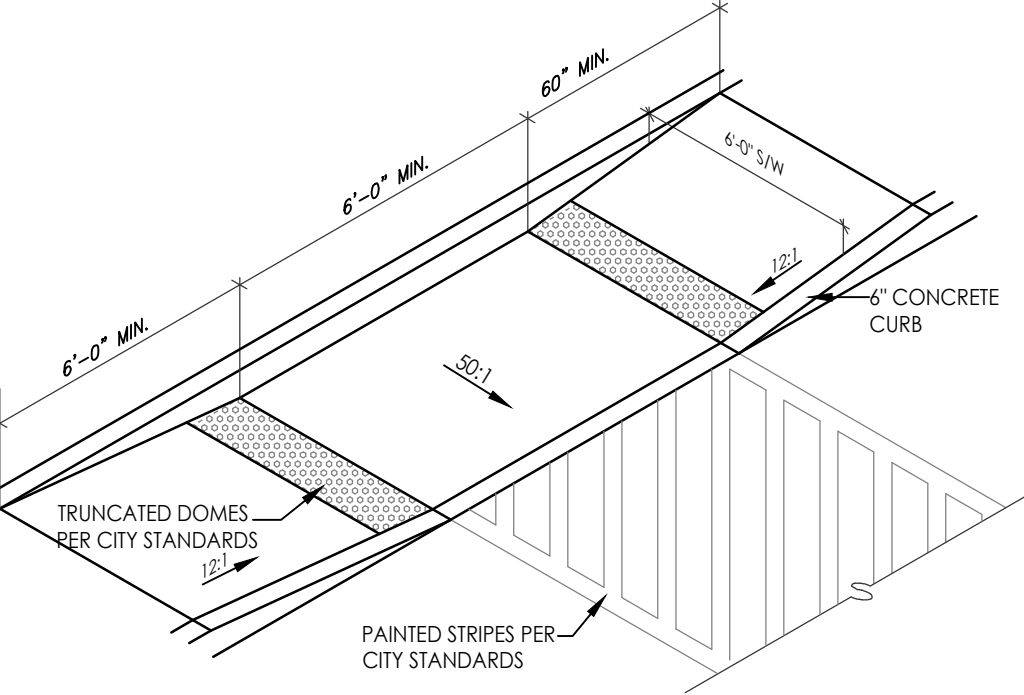
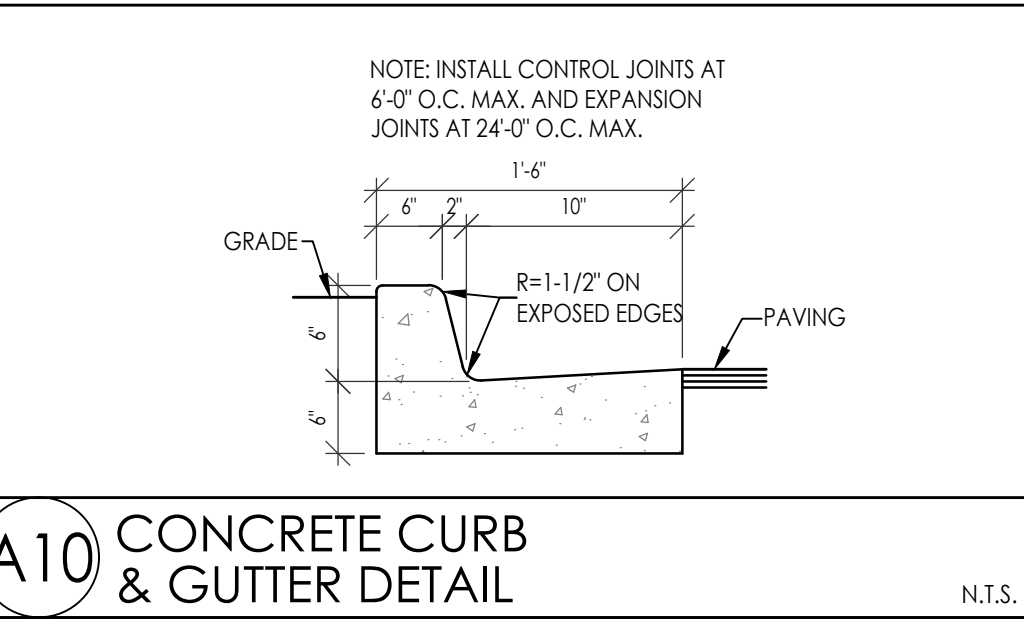
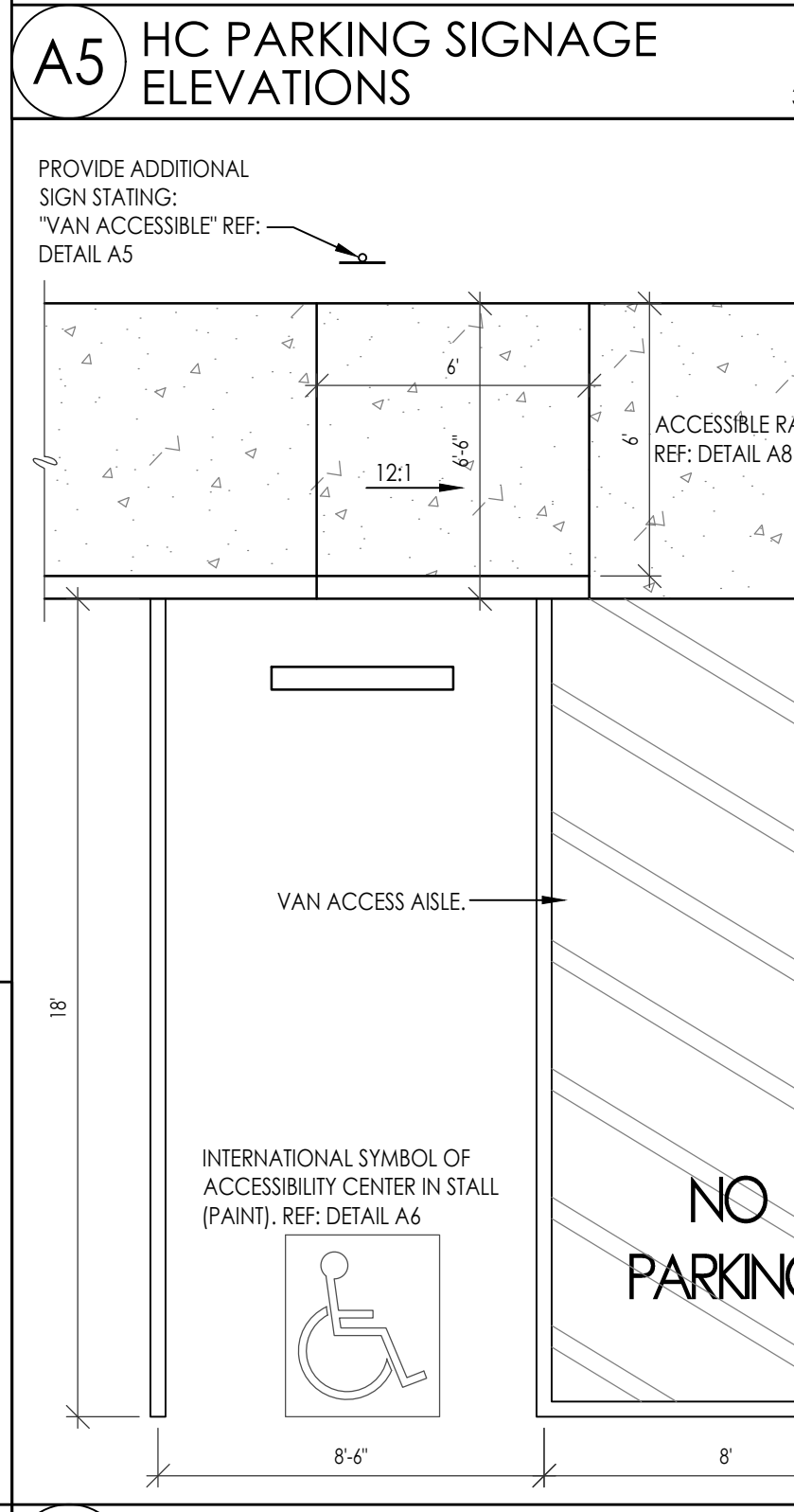
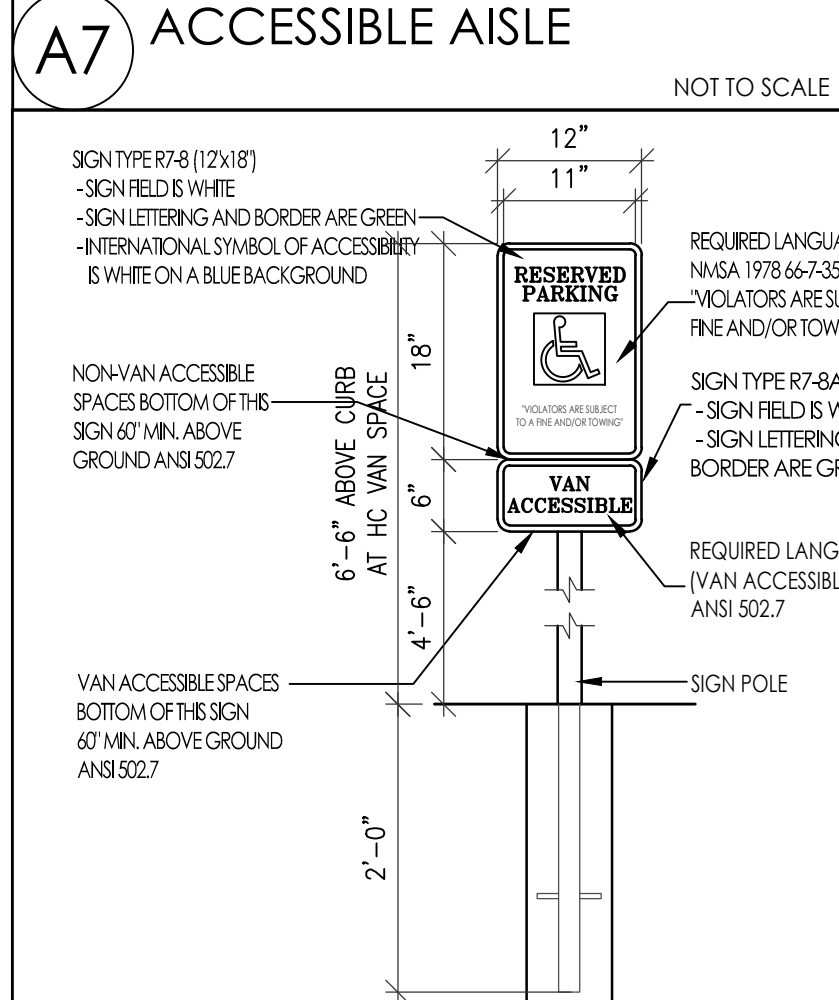
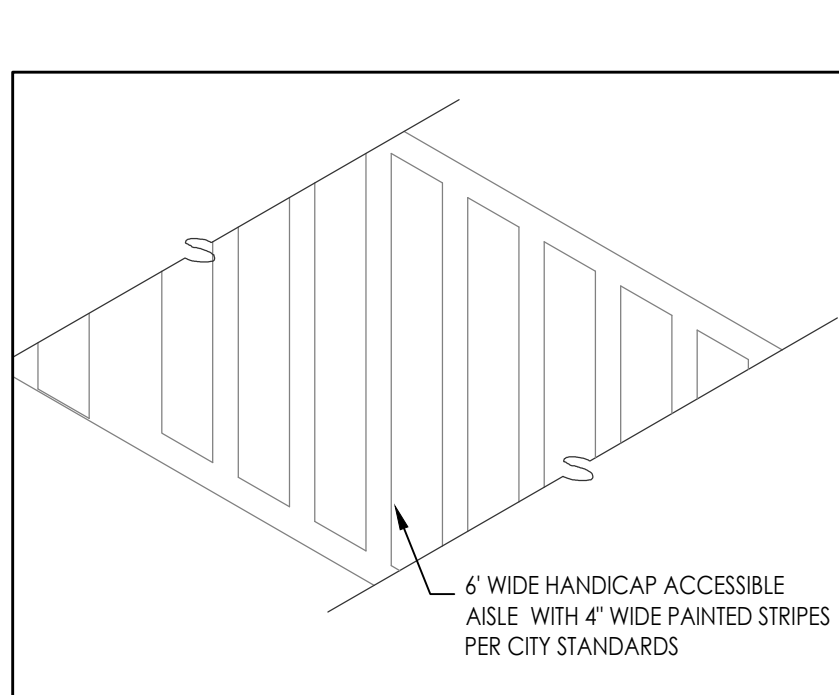
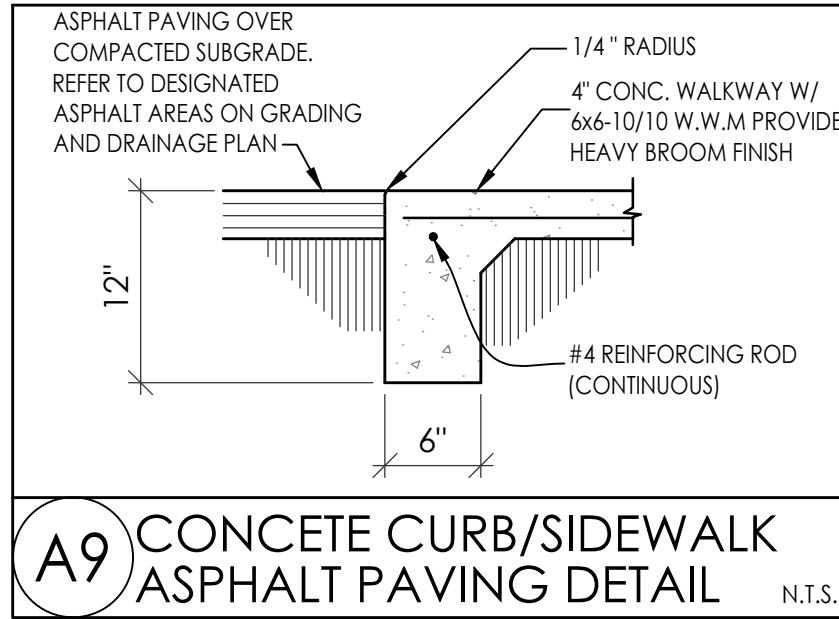
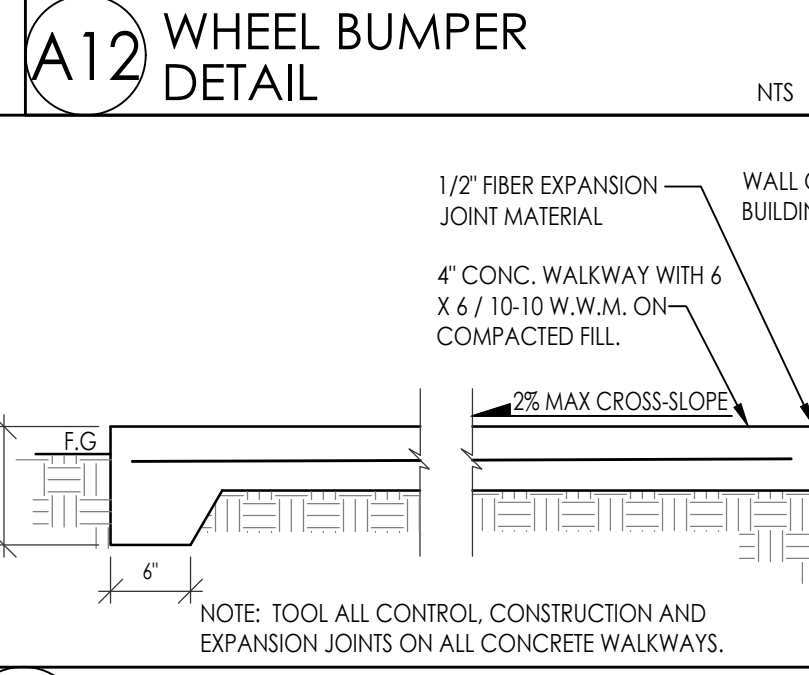
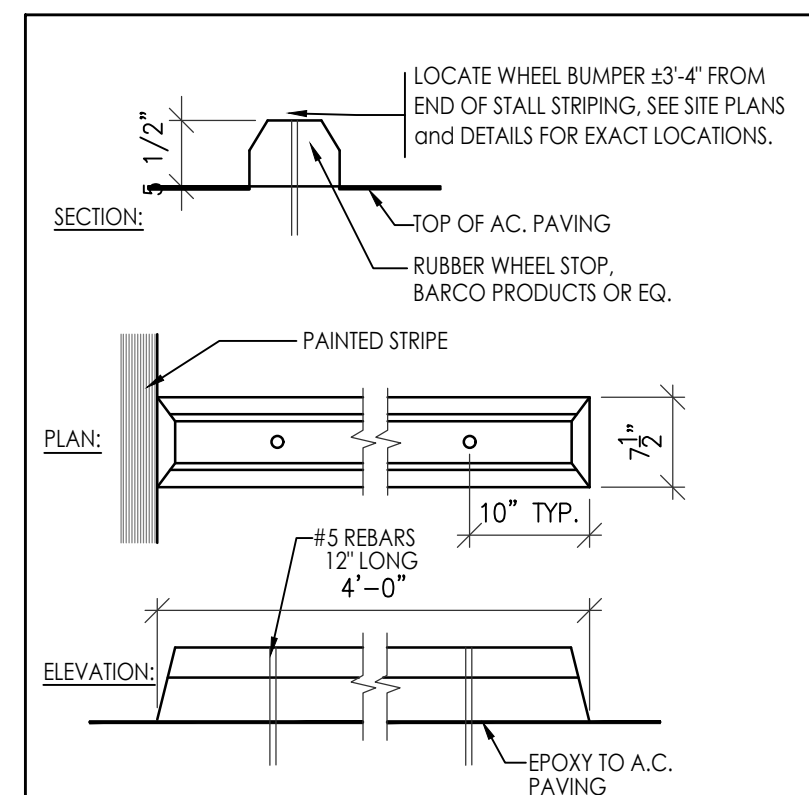
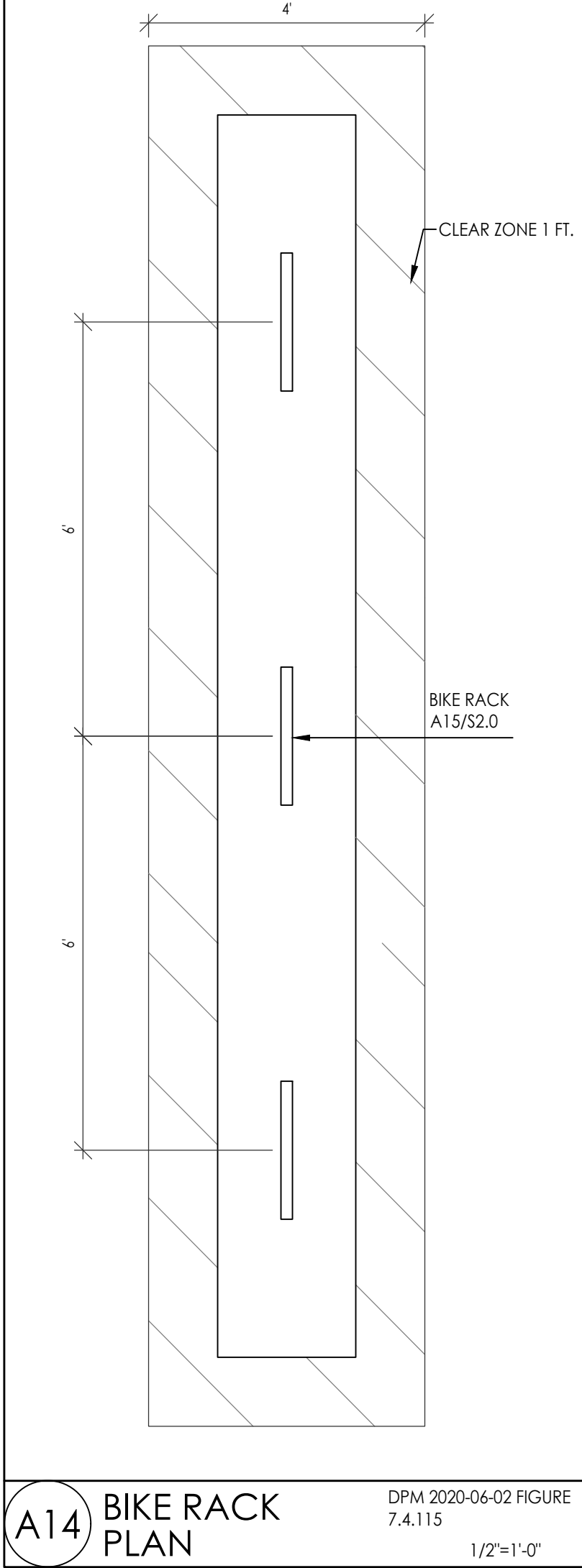
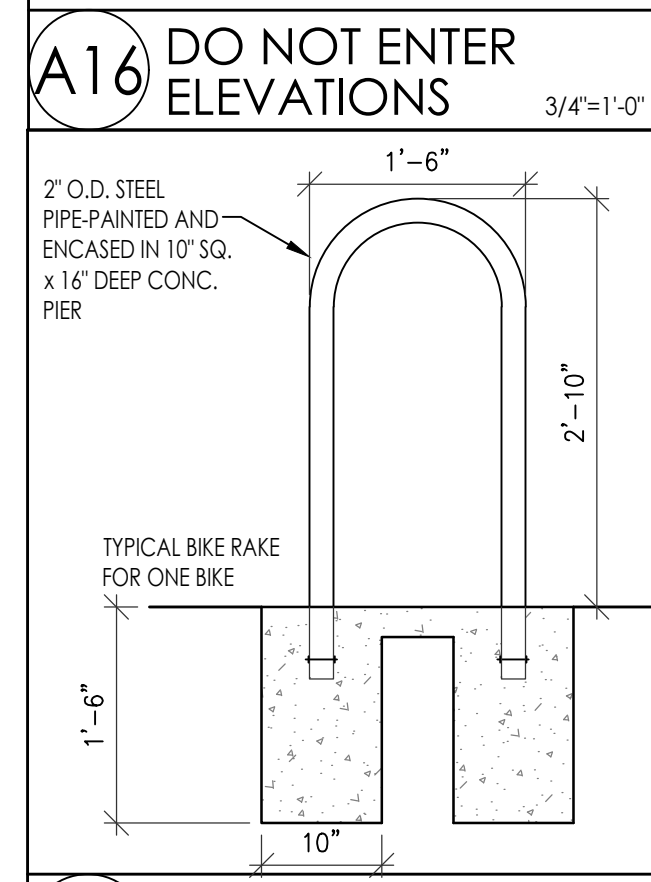
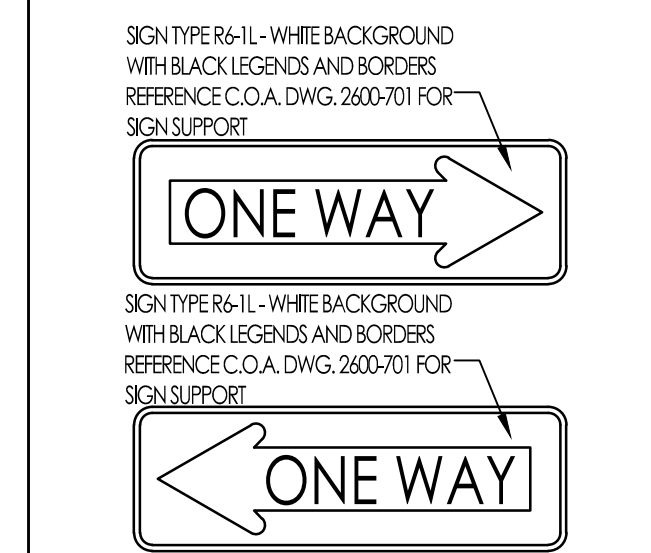
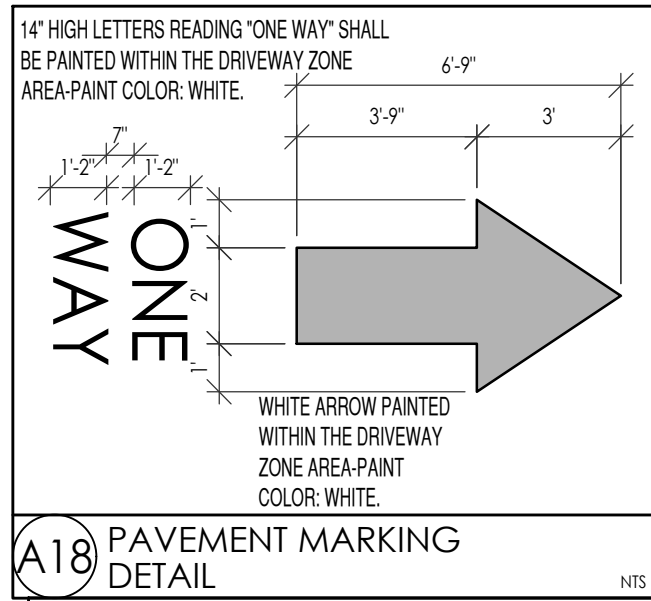
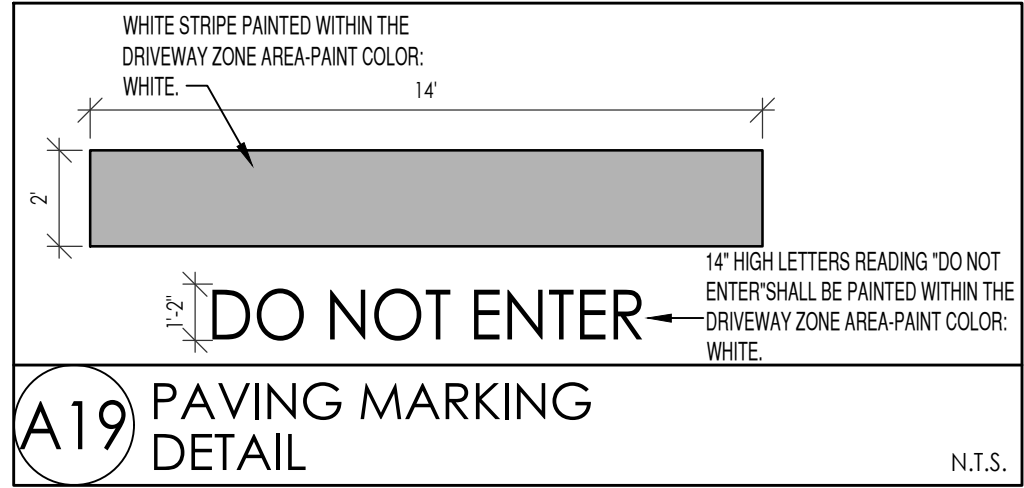
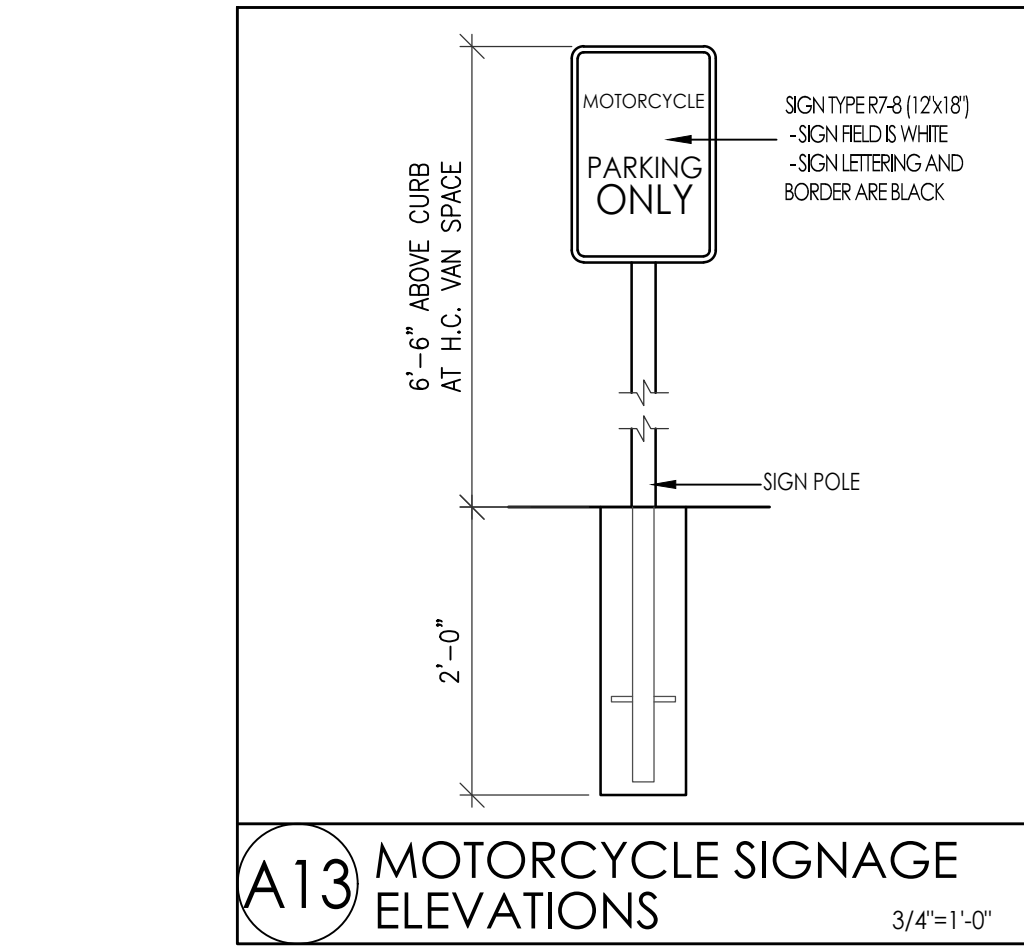
SITE LOCATION



TRAFFIC CIRCULATION
LAYOUT APPROVED
Sortil A. Kawbar 9/26/2024
Signed Date

MESA DEL SOL SELF STORAGE
SITE PLAN
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE	
DATE	09-19-2024
SHEET NUMBER	AS-1.0



MESA DEL SOL SELF STORAGE
SITE DETAILS
5500 TURING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION	DATE
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November 19, 2024

Chair
Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair
Louie Sanchez
City of Albuquerque
Councilor, District 1

Barbara Baca
County of Bernalillo
Commissioner, District 1

Joaquin Baca
City of Albuquerque
Councilor, District 2

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Klarissa Peña
City of Albuquerque
Councilor, District 3

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Alejandro Sazo
RBA Architecture
1104 Park Avenue SW. 87102

RE: Water and Sanitary Sewer Availability Statement #240817

Project Name: Mesa del Sol Self Storage

Project Address: 5500 Turing Dr SE

Legal Description: Tr I-2 Plat of Tr I-2 Mesa Del Sol Innovation Park II (A Replat of Tr I Mesa DelSol Innovation Park II)

UPC: 101605108150320612

Zone Atlas Map: R-Q-16

Dear Mr. Sazo

Project Description: The subject site is located on the southeast corner of Crick Crossing Avenue and Turing Drive, within the City of Albuquerque. The proposed development consists of approximately 5.1 acres and the property is currently zoned PC for Planned Community. The property lies within the Pressure Zone 3E in the Hubbell Trunk.

The Request for Availability indicates plans to build commercial self-storage units.

Existing Availability Statement: Availability Statement number 181120 has been issued and has expired.

Existing Development Agreement: This property is outside of the Water Authority's Established Service Area. Pursuant to the System Expansion Ordinance, service to this property shall be subject to a Development Agreement approved by the Water Authority Board which will establish the conditions for service; however, since an approved Development Agreement currently exists for the R-07-32, WATER AND SANITARY SEWER SERVICE TO SERVE THE MESA AND FCC 4 PROPERTIES AT MESA DEL SOL property, Board approval is not required. This Availability Statement establishes the conditions of service in addition to those stated in the existing Development Agreement.

Existing Conditions:

Water infrastructure in the area consists of the following:

- 12-inch PVC distribution line (project #26-7754.81-09) along Crick Avenue (A.K.A. Crick Crossing).
- Ten-inch PVC distribution line (project #26-7754.81-09) extending from the 12-inch line into the northeastern quadrant of the property.
- 12-inch PVC distribution line (project #26-7754.81-09) along Turning Drive.
- Eight-inch PVC distribution line (project #26-7754.76-12) extending from the 12-inch line along Turning Drive into the southwesterly quadrant of the property.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector (project #26-7754.76-12) along Turning Drive.
- Six-inch PVC sanitary sewer collector (project #26-7754.76-12) extending from the eight-inch line along Turning Drive into the property near the midpoint of the western boundary.

Water Service: New metered water service to the property can be provided via routine connection to the existing 12-inch distribution line along Crick Crossing, the ten-inch stub out into the northeastern quadrant of the property, the 12-inch line in Turning Drive, or the eight-inch stub out into the property along the western boundary. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Turning Drive, or the six-inch stub out into the western boundary of the property. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2250 gallons per minute. Two fire hydrants are required. There are no existing hydrants available and six new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at fire hydrants proposed in the northeast and southeast corners of the property and connected to the existing ten-inch stub out into the northeastern quadrant of the property or the 12-inch line in Turning Drive.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Pretreatment – Fats, Oils, and Greases: The development is for commercial use and has the potential to discharge Fats, Oils, Grease, and/or Solids (FOGS) to the sanitary sewer and/or falls under one of the applicable users in the SUO:

FOGS Applicability SUO Section 3-3-2 A.:

Users "...such as food service establishments, commercial food processors, automotive shops, auto wash racks, car washes, vehicle fueling stations, septic tank pumpers, grease rendering facilities,

breweries/distilleries, bottling plants, commercial and industrial laundries, slaughterhouses & meat packing establishments (fish, fowl, meat, curing, hide curing), oil tank firms and transporters...”

Such Users must comply with all FOGS discharge requirements defined in SUO Section 3-3-2 and FOGS Policy including but not limited to:

1. Installation of an adequately sized Grease Interceptor (GI) approved by the appropriate code enforcement authority (City of Albuquerque, and/or Bernalillo County)
 - a. Interceptors and/or Separators are required for dumpster pads, outdoor pools, and outdoor washdown areas that have the potential to discharge grease, sand, solids, and flammable liquids to the sanitary sewer. The pad shall be installed at an elevation higher than the surrounding grade. It is not required for dumpster pads to have a sewer connection.
 - b. Placement of Interceptors in drive-thru or traffic lanes is not allowed.
2. All FOGS sources within the facility are plumbed to the GI as required by the appropriate plumbing code.
3. Long-term Best Management Practices (BMP), and GI maintenance such as pumping and manifest requirements.
4. Unobstructed access to inspections of the facility and records.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or pretreatment@abcwua.org for coordination or clarification of any of the above requirements.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of application for service. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Resource Charge (WRC): Any expansion of water service outside of the Water Authority's Established Service Area will be assessed a Water Resource Charge(s) (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights, and supplies necessary to serve the development. Properties that receive only sewer service will not be charged a WRC.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,

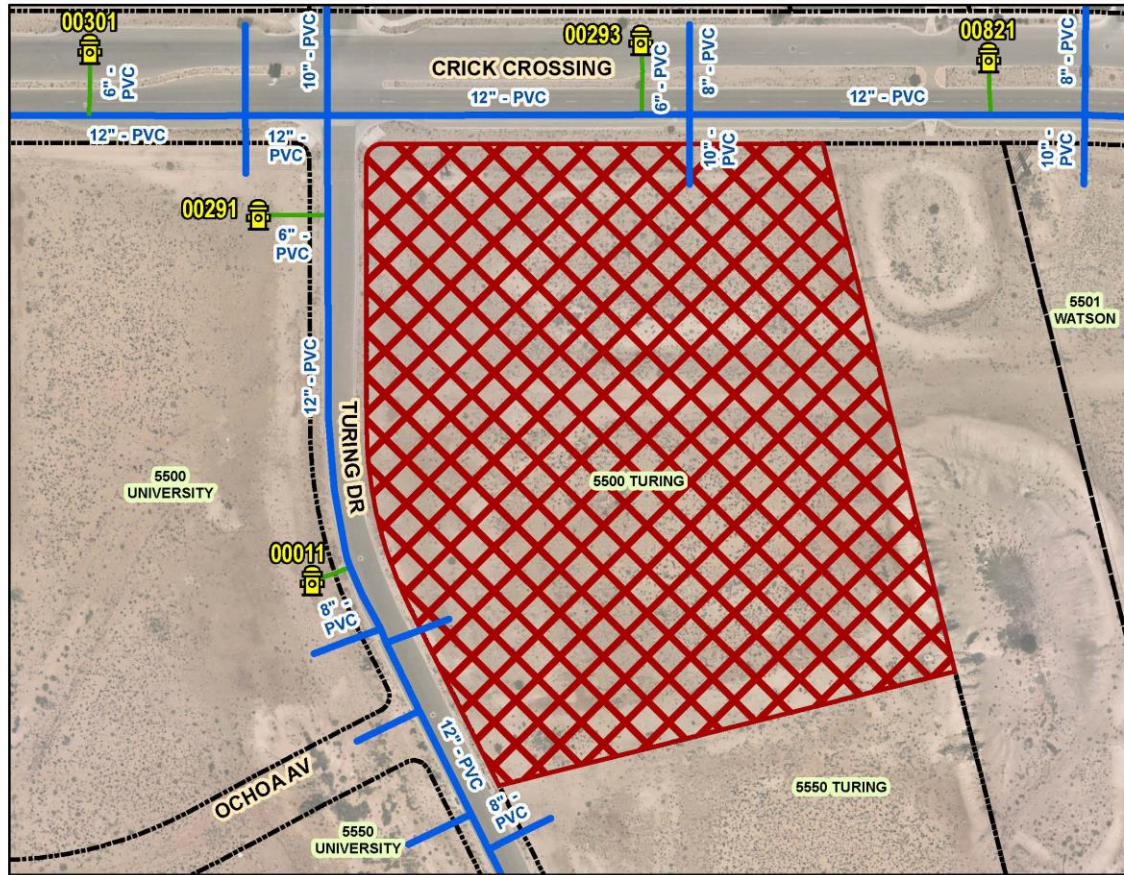


Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #240817**

240817 - Water



0 250 500 Feet



Legend



Hydrant




Project Location

Water Pipe

Subtype

 Distribution Line

 Hydrant Leg



240817 - Sanitary Sewer



Legend

-  Sewer Manhole
-  Project Location

Sewer Pipe

Subtype

-  COLLECTOR
-  INTERCEPTOR

