

SITE DATA

LEGAL DESCRIPTION: TR 3 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT

SITE AREA: 5.8729 AC

ZONING: MX-L

PROPOSED LAND USE: COMMERCIAL

SETBACKS: AS SHOWN, SEE SITE PLAN.

SIGNAGE: AS SHOWN, SEE SITE PLAN.

WALLS AND FENCES: AS SHOWN, SEE SITE PLAN.

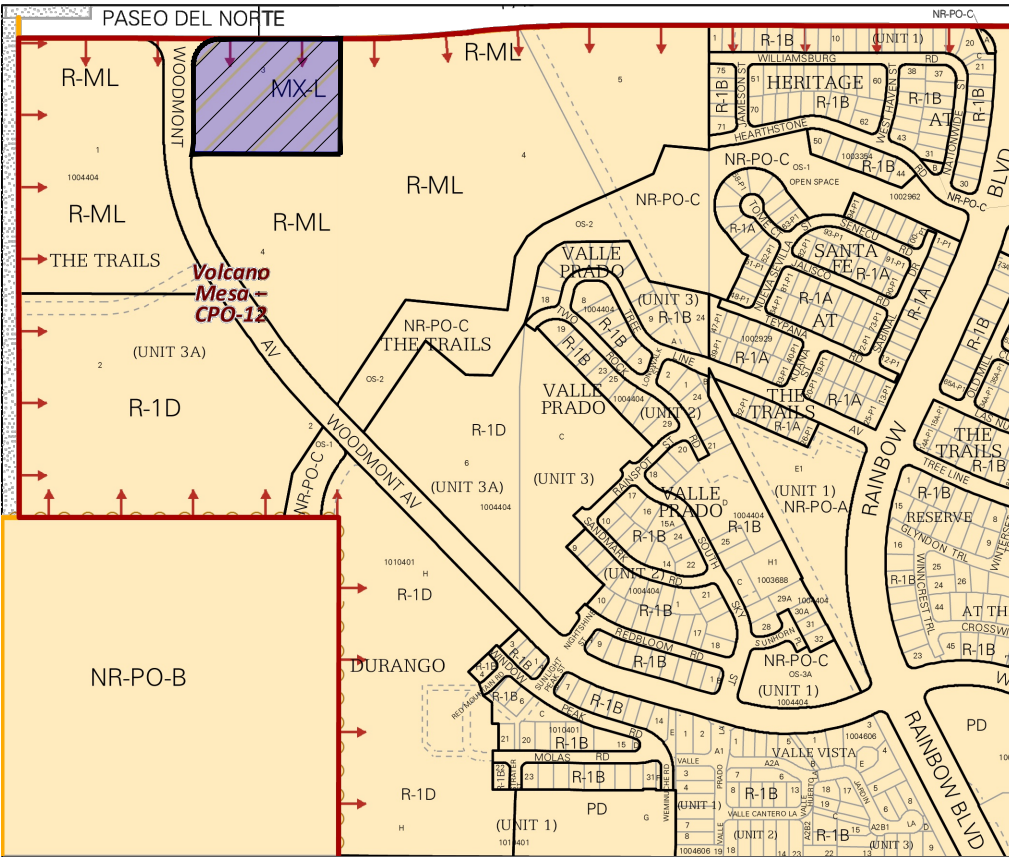
SETBACK STANDARDS		
	REQUIRED	PROVIDED
FRONT, MINIMUM (PASEO DEL NORTE)	5FT.	75FT.
SIDE, MINIMUM (WOODMONT)	5FT.	90FT.
REAR, MINIMUM	15FT.	135FT.

SHEET KEYED NOTES

- 6" STANDARD CURB AND GUTTER PER COA STD. DWG. 24015A.
- MEDIAN CURB AND GUTTER PER COA STD. DWG. 24015A.
- CONCRETE SIDEWALK, WIDTH VARIES; SEE PLAN FOR DIMENSIONS. SEE DETAIL SHEET C-002
- ADA ACCESSIBLE CONCRETE PERPENDICULAR CURB RAMP PER COA STD. DTL. 2442.
- ADA ACCESSIBLE CONCRETE PARALLEL CURB RAMP PER COA STD. DTL. 2443.
- STANDARD PARKING, 9' X 18' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
- PROPERTY LINE
- INSTALL STOP SIGN SEE DETAIL SHEET C-002.
- PAINT CURB RED WITH "FIRE LANE" TEXT.
- 5' TRANSITION BETWEEN CURB TYPES.
- MOUNTABLE CURB PER COA STD. DWG. 2415A.
- 20' PUBLIC UTILITY EASEMENT
- ADA ACCESSIBLE AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS A AND B, SHEET C-002
- BICYCLE RACK. SEE DETAIL C, SHEET C-002
- INSTALL 2' WIDE CURB CUT PER DETAIL D, SHEET C-002
- MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN. SEE DETAILS G AND H, SHEET C-002.

GENERAL NOTES

- ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
- CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE IS BASED OFF OF FIGURE 7.4.94 IN THE DPM.
- STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
- TRASH ENCLOSURE HAS BEEN LOCATED ON SITE. APPROVAL OF LOCATION HAS BEEN RECEIVED FROM SOLID WASTE.

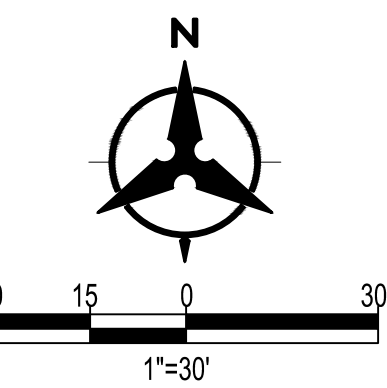


VICINITY MAP

ZONE ATLAS PAGE: C-09-Z

LEGEND

- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL E, SHEET C-002
- LIGHT DUTY ASPHALT PAVEMENT PER DETAIL F, SHEET C-002
- CONCRETE SIDEWALK
- DUMPSTER PAD
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE
- SIGHT TRIANGLE



PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____

SITE PLAN EXHIBIT

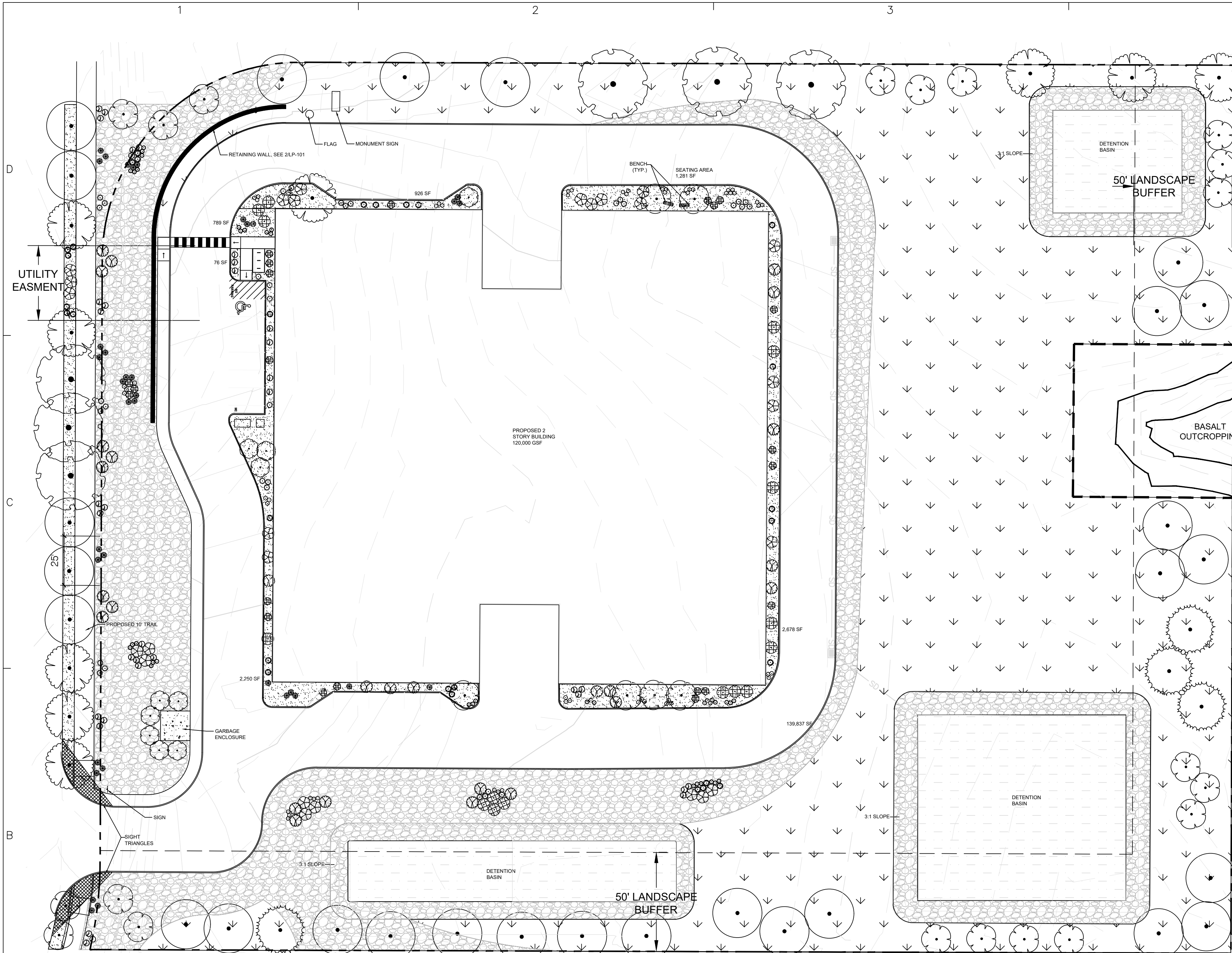
WEST ABQ SELF STORAGE

DRAWN BY: JCM	DATE: 08/2025
CHECKED BY: NP	BH PROJECT NO: 20250389 SHEET NO: C-001

SITE PARKING

REQUIRED:	13* PS
PROVIDED:	13 PS
ACCESSIBLE PARKING:	1 PS
REQUIRED PER ADAAG:	1 (VAN ACCESSIBLE) PS
PROVIDED:	
MOTORCYCLE PARKING:	1 PS
REQUIRED:	1 PS
PROVIDED:	
BICYCLE PARKING:	3 PS
REQUIRED:	3 PS
PROVIDED:	

* APPROVED PARKING REDUCTION REQUEST HAS BEEN RECEIVED FROM COA



1 LANDSCAPE PLAN

LANDSCAPE CALCULATIONS	
TOTAL SITE AREA:	255,883 SF
BUILDING AREA:	56,800 SF
NET AREA	199,083 SF
REQUIRED / PROVIDED LANDSCAPE	
29,862 SF (15%) / 147,762 SF (74%)	COMPLIANT
COVERAGE: IDO 5-6(C)(2)(C)	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED/PROVIDED LIVE VEGETATIVE COVERAGE	
110,822 SF (75%) / 127,603 (86%)	COMPLIANT
REQUIRED/PROVIDED GROUND-LEVEL COVERAGE	
47,627 SF (25%) / 96,308 (75%)	COMPLIANT
PARKING LOT INTERIOR, TREE REQUIREMENTS 5-6(F)(2)	
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES AND NO PARKING SPACE MAY BE MORE THAN 100FT FROM A TREE TRUNK.	
PARKING LOT SPACES PROVIDED:	13
REQUIRED/PROVIDED PARKING LOT TREES:	2/4
	COMPLIANT

STREET TREES ID05-6 (E) (2)	
WOODMONT: 380' FRONTAGE	
REQUIRED/PROVIDED STREET TREES = 15/15	
GRAVEL MULCH COVERAGE	
LANDSCAPE SHALL APPLY PURSUANT TO 5-6(C)(5)(C) THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA	
REQUIRED:	110,822 OR LESS SF (75% OR LESS)
PROVIDED ON PROPERTY:	53,808 SF; LESS THAN MAXIMUM SF
	COMPLIANT
PLANT MATERIALS	
ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.	

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUB PLANTINGS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

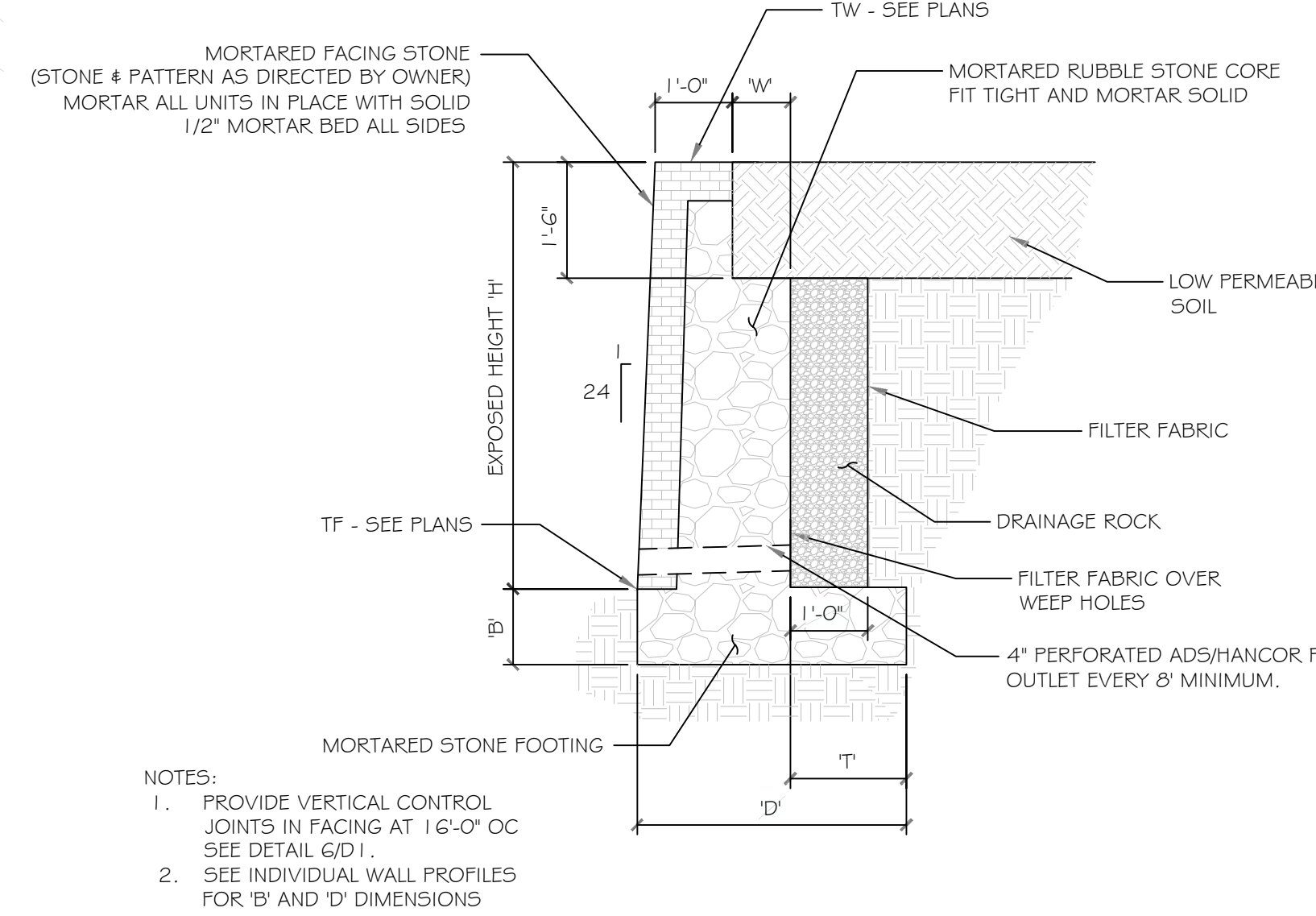
5-6(C)(10) PLANTING NEAR UTILITIES
TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.

1013.2.3 AGGREGATE MULCH ON SLOPES BETWEEN 3:1 AND 2:1
AGGREGATE MULCH SHALL CONSIST OF 2" TO 8" SIZE ANGULAR MATERIAL. PUMICE AND BLACK AGGREGATE NOT ACCEPTABLE.

14-16-4-3(D)(29)(c) SELF-STORAGE
ABUTTING ANY RESIDENTIAL ZONE DISTRICT OR LOT CONTAINING A RESIDENTIAL USE IN ANY MIXED-USE ZONE DISTRICT, AN OPAQUE WALL OR FENCE AT LEAST 6 FEET AND NO MORE THAN 8 FEET HIGH OR A LANDSCAPE BUFFER AT LEAST 50 FEET WIDE SHALL BE PROVIDED ALONG THE ABUTTING LOT LINE.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
TREES					
	9	Celtis reticulata / Nettleleaf Hackberry	2.5" cal.	25' x 25'	Medium
	26	Chilopsis linearis / Desert Willow	2" cal.	15' x 15'	Low
	6	Gleditsia triacanthos inermis 'Impcole' / Imperial® Honey Locust	2.5" cal.	35' X 35'	Medium
	10	Juniperus deppeana / Alligator Juniper	6'-8' HT	20' x 10'	Low
	4	Pinus nigra / Austrian Pine	6'-8' HT	35' x 25'	Low
	28	Quercus fusiformis / Texas Live Oak	2.5" cal.	25' x 25'	Medium
SHRUBS					
	22	Chamaebatiaria millefolium / Fernbush	5 gal.	4' x 4'	Low
	29	Ericameria nauseosa / Rubber Rabbitbrush	5 gal.	3' x 3'	Low
	27	Larrea tridentata / Creosote Bush	5 gal.	5'x6'	Low
	16	Rhus trilobata / Skunkbush Sumac	5 gal.	4' x 6'	Low
	26	Ribes aureum / Golden Currant	5 gal.	6' ht. x 6' spd.	Low
DESERT ACCENT					
	36	Echinocereus triglochidiatus / Claret Cup Cactus	1 gal.	1' X 3'	Low
	34	Opuntia phaeacantha / Tulip Prickly Pear	5 gal.	3' x 3'	Low
	36	Yucca gloriosa / Spanish Dagger	5 gal.	3' x 3'	Low
PERENNIALS					
	38	Abronia villosa / Desert Sand Verbena	1 gal.	2' x 2'	Low
	19	Gaillardia x grandiflora / Blanketflower	1 gal.	2' x 2'	Medium
	35	Ratibida columnifera 'Mexican Hat' / Prairie Coneflower	1 gal.	2' x 2'	Medium
MULCH					
	46,273 SF	1" TO 4" ANGULAR BASALT COBBLE (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL). TO THE EXTENT POSSIBLE, USE BASALT FROM EXCAVATION DURING GRADING			
	18,467 SF	SEED MIX			
	74,403 SF	SANDY SOIL STABILIZER MIX			
	10,133 SF	GRAVEL (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL OR EQUAL)			



2 GRAVITY WALL SECTION

SCALE: N.T.S.



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WEST ABQ SELF
STORAGE
ALBUQUERQUE, NM
SEPTEMBER 8, 2025

SUBMITTAL: SEPTEMBER 8, 2025

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: X
CAD DWG FILE:
DESIGNED BY: VK DATE: 9/8/25
DRAWN BY: VK DATE: 9/8/25
CHECKED BY: KR DATE: 9/8/25

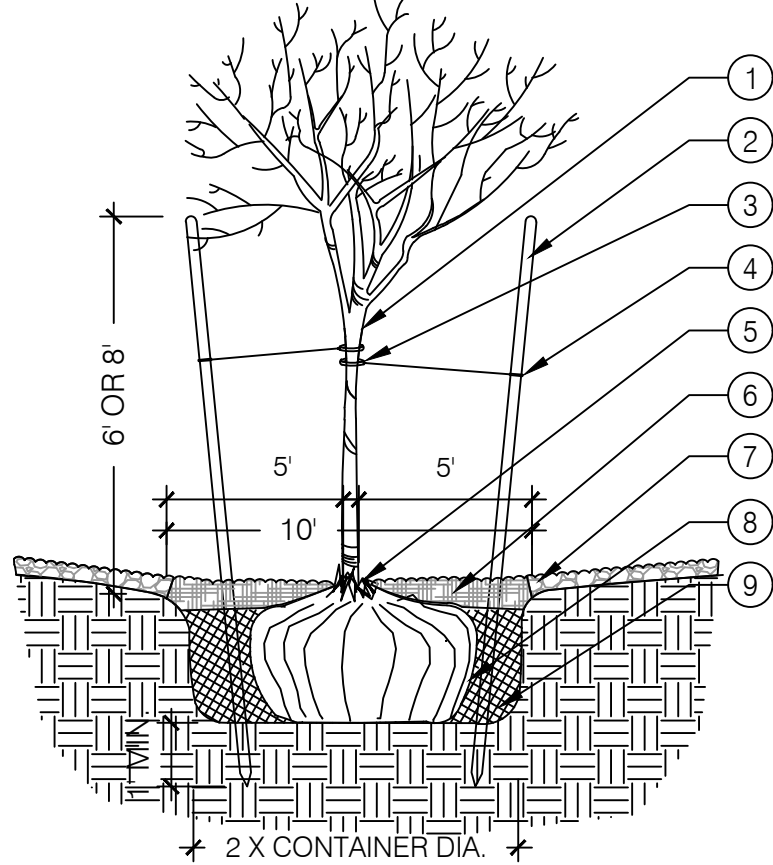
SHEET TITLE

LANDSCAPE
PLAN

DRAWING SHEET

LP-101

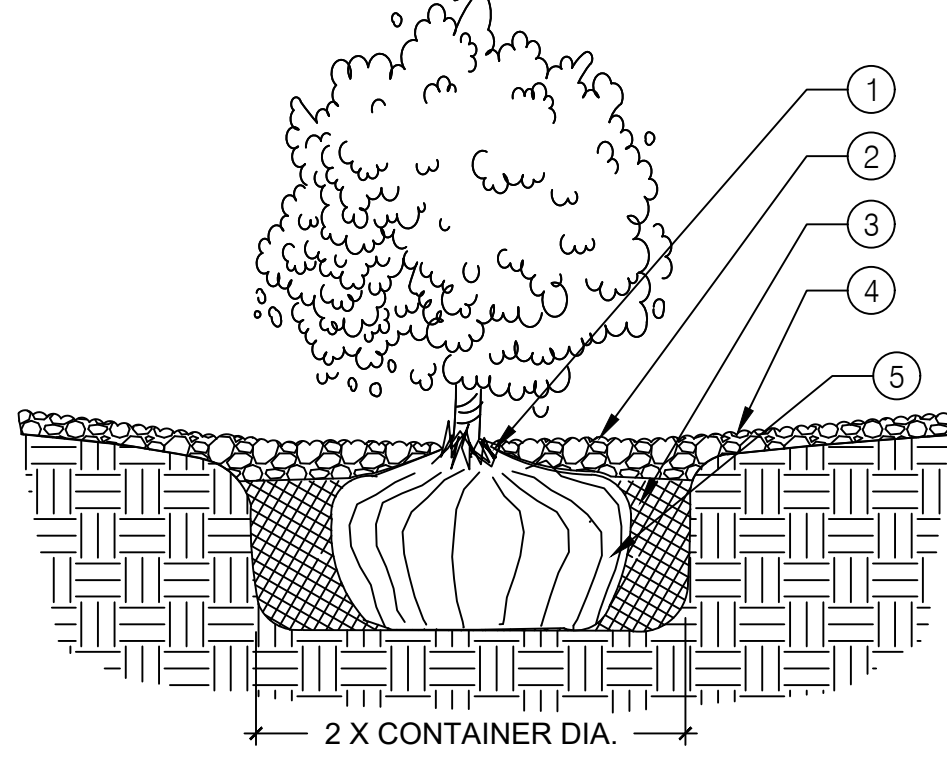
1. STRESS POINT OF TREE
2. 8' OR 10' LODGEPOLE STAKES DRIVEN AT ANGLE (8' FOR MULTI OR CANOPY, 10' FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - ORGANIC MULCH SHALL BE PROVIDED WITHIN A 10'-0" DIAMETER OF NEWLY PLANTED TREES, AT A DEPTH OF 3". THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS



1 TREE PLANTING

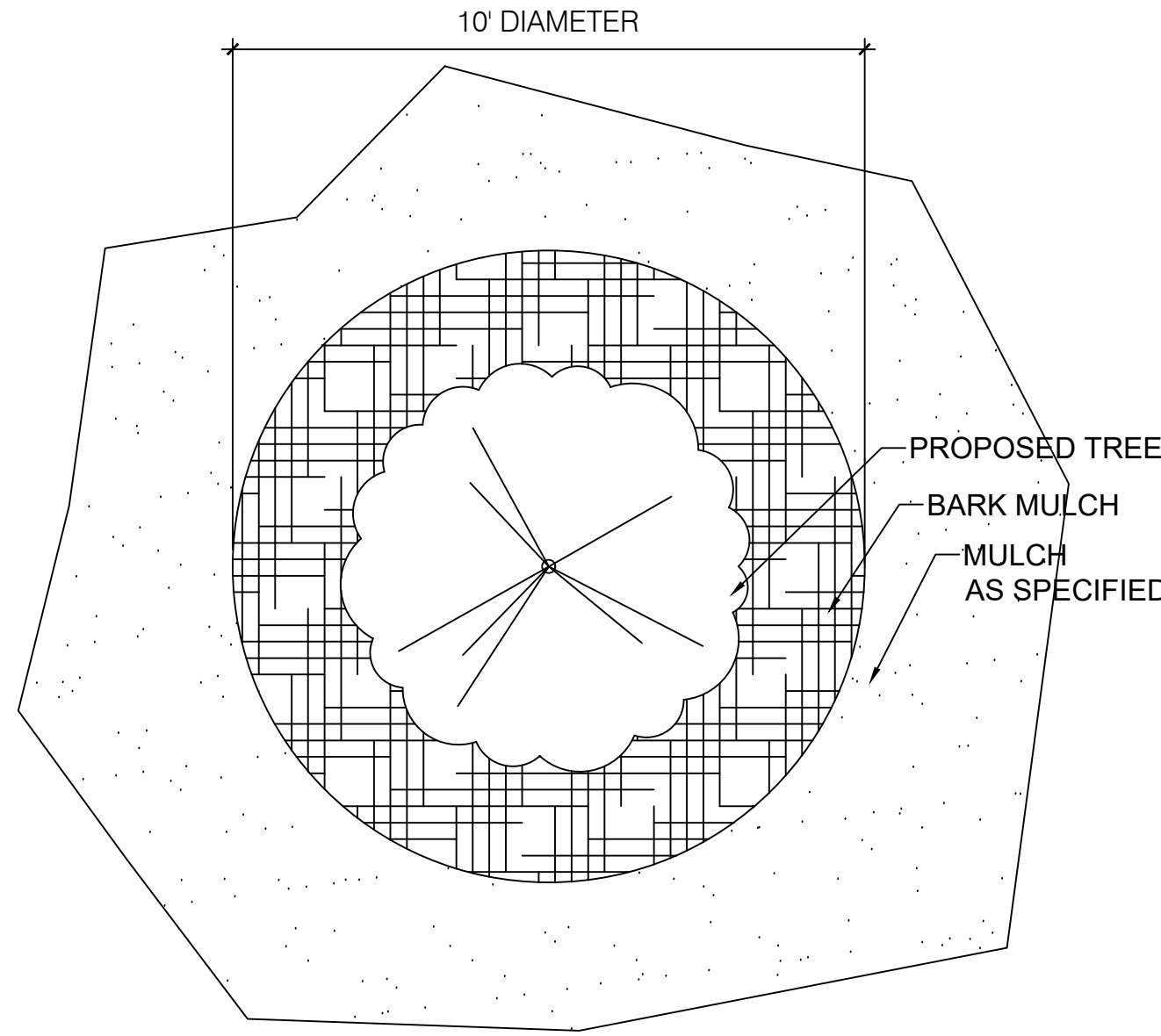
SCALE: N.T.S.

1. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
2. WATER RETENTION BASIN - 3" LAYER OF ORGANIC BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTUSIVE EDGES.
3. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
4. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
5. ROOTBALL



2 SHRUB PLANTING

SCALE: N.T.S.



3 BARK MULCH DETAIL

SCALE: N.T.S.

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING, PURSUANT OF IDO 5-6(C)(14)(C).

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED ORGANIC MULCH AT TREES
3" DEPTH SHREDDED ORGANIC MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 10' DIAMETER CIRCLE.

IDO STANDARDS

THE FOLLOWING REGULATIONS SHALL WARRANT THE RELOCATION OF PLANT MATERIAL IF UTILITY CLEARANCE REQUIREMENTS WARRANT

PER 5-6(C)(4)(I) ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1994 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE

PER 5-6(C)(4)(J) ALL REQUIRED PLANT MATERIALS SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION

SOIL CONDITION AND PLANTING BEDS
PER 5-6(C)(5)(A), ALL VEGETATIVE MATERIAL REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE PLANTED IN UNCOMPACTED SOIL

PER 5-6(C)(5)(B) IF USED, WEED BARRIERS SHALL BE PERMEABLE TO OPTIMIZE STORMWATER INFILTRATION AND PREVENT RUNOFF

CLEARANCE
PER 5-6(C)(7)(A), VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.

PLANTING IN OR OVER THE PUBLIC RIGHT OF WAY
PER 5-6(C)(9)(A) ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.

PER 5-6(C)(9)(B) ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8-FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9-FOOT CLEARANCE OVER THE STREET SURFACE.

PER 5-6(C)(9)(C) WHERE LANDSCAPING IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL INSTALL AN ADEQUATE IRRIGATION SYSTEM THAT MEETS THE MINIMUM TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994 (TREES, VEGETATION AND LANDSCAPING) AND THE DPM, WITH A SEPARATE METER FOR THE LANDSCAPE AREA IN THE PUBLIC RIGHT-OF-WAY, OR A SEPARATE VALVE(S) AT THE PROPERTY LINE ALLOWING ISOLATION OF THE IRRIGATION TO THE LANDSCAPE WITHIN THE PUBLIC RIGHT-OF-WAY. DRIP IRRIGATION SYSTEMS AND ARTIFICIAL TURF SHALL NOT BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY

PER 5-6(C)(10)(A) TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS.

PER 5-6(C)(10)(B) TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.

PER 5-6(C)(10)(E) ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS MUST ALLOW 10 FEET OF CLEARANCE FOR ACCESS AND TO ENSURE THE SAFETY OF THE WORK CREWS AND PUBLIC DURING MAINTENANCE AND REPAIR.

PER 5-6(C)(10)(F) TREES SHALL NOT BE PLANTED NEAR EXISTING OR PROPOSED STREET LIGHT POLES.

IRRIGATION SYSTEMS
PER 5-6(C)(14)(A) IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE)

PER 5-6(C)(14)(B) ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER

PER 5-6(C)(14)(C) ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVER WATERING

PER 5-6(C)(14)(D) THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS

INSTALLATION
PER 5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT

MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT OF WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THESE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.

PER 5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT OF WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT OF WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING

LANDSCAPING, BUFFERING, AND SCREENING
PER 5-13(B)(7)(A) LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1994 (TREES, VEGETATION, AND LANDSCAPING AND WEEDS, LITTER, AND SNOW) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE)

PER 5-13(B)(7)(B) ALL LANDSCAPED AREAS SHALL BE MAINTAINED WITH A NEAT AND ORDERLY APPEARANCE, WHICH INCLUDES PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED PLANTS AND TREES, DISPOSAL OF LITTER, REPAIR OF DAMAGED WALLS AND HARD SURFACE AREAS, AND UPKEEP OF IRRIGATION SYSTEMS

PER 5-13(B)(7)(D) WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACED ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL

PER 5-13(B)(7)(E) TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 CALENDAR DAYS AFTER NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

PER 5-13(B)(7)(F) STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT OF WAY ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.

COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454

Non-woven Silt Fence

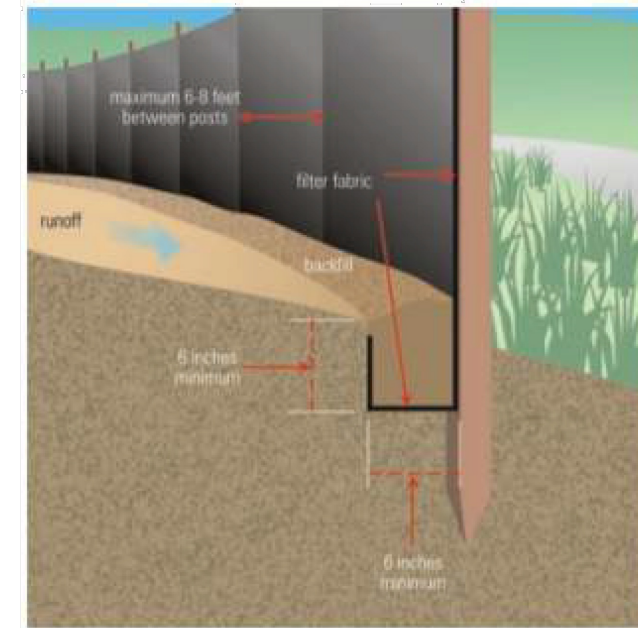
A silt fence is a temporary sediment barrier consisting of a geotextile attached to supporting posts and trenched into the ground. Intended to retain sediment that has been dislodged by stormwater.

Use silt fence as a perimeter control particularly at lower or down slope edge of a disturbed area. Leave space for maintenance between slope and silt fence or roll. Trench in the silt fence on the uphill side (6 in deep by 6 in wide). Install stakes on the downhill side of the fence. Curve silt fence up-gradient to help it contain runoff.

To maintain remove sediment when it reaches one-third of the height of the fence. Replace the silt fence where it is worn, torn, or otherwise damaged. Retrench or replace any silt fence that is not properly anchored to the ground. If the silt fence cannot be toed in properly due to existing hard surface, place mulch filter sock at base to prevent sediment from leaving site.

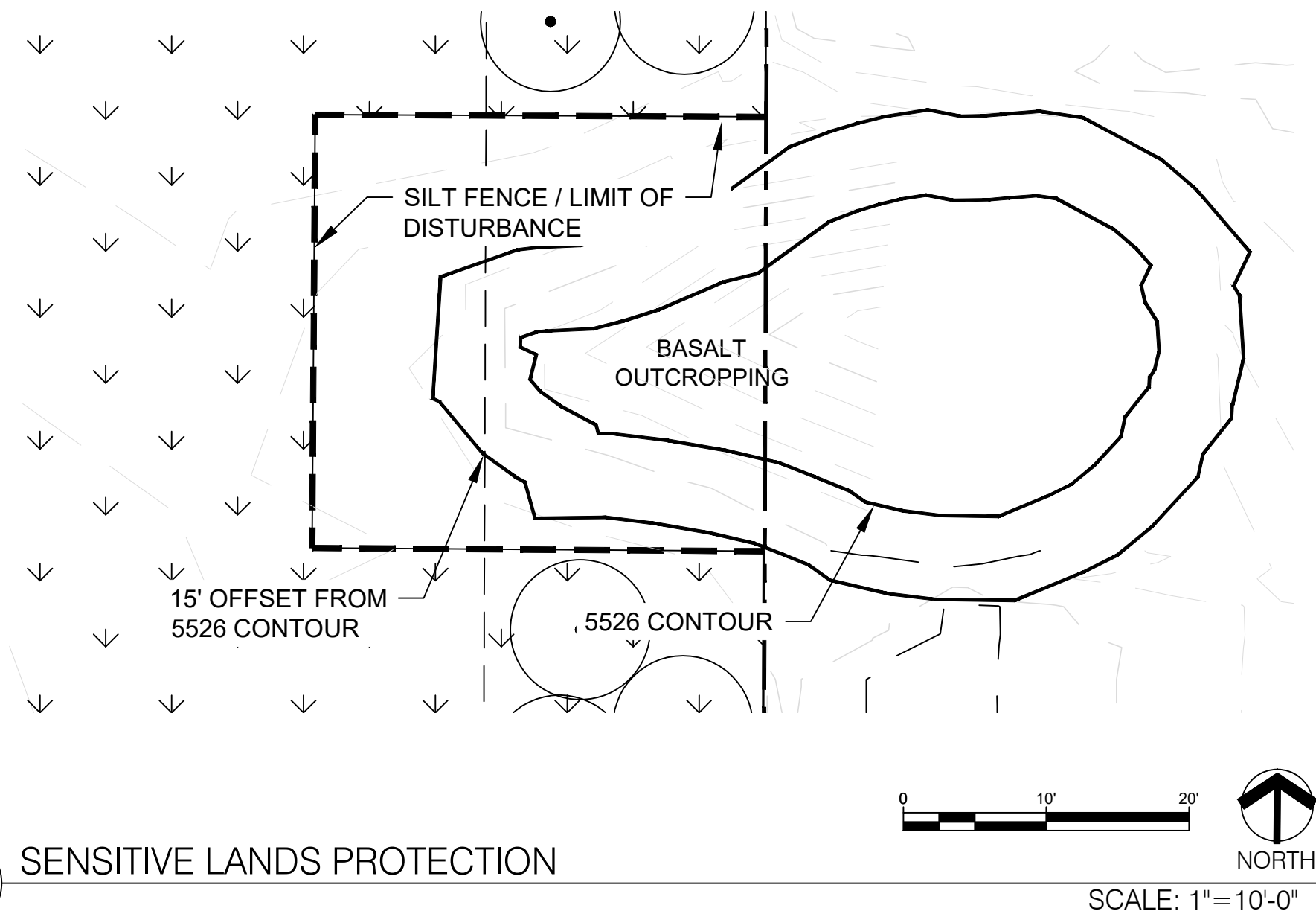
8' max wood stake spacing and 10' max spacing for steel T-post.

Silt Fence Installation



Source: USEPA Guide for Construction Site

NOTE: NO STORAGE OF MATERIALS AND/OR EQUIPMENT IS ALLOWED OUTSIDE OF THE LIMITS OF CONSTRUCTION. ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT STABILIZED BY PERMANENT IMPROVEMENTS SHALL BE REVEGETATED USING THE SEED MIX IN STANDARD SPECIFICATION 1013". IF DAMAGE OCCURS DURING CONSTRUCTION WITHIN THE BUFFER PROTECTION ZONE, RESTORATION SHALL FOLLOW STANDARD SPECIFICATION 1014.3.6."



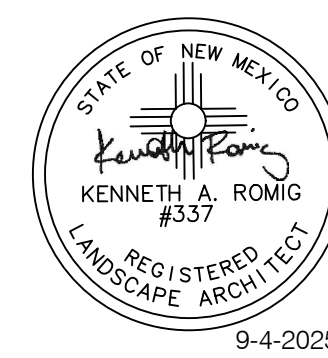
4 SENSITIVE LANDS PROTECTION

SCALE: 1"=10'-0"



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Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail:cp@consensusplanning.com

CONSULTANTS



WEST ABQ SELF
STORAGE
ALBUQUERQUE, NM
SEPTEMBER 8, 2025

SUBMITTAL: SEPTEMBER 8, 2025

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: X

CAD DWG FILE:

DESIGNED BY: VK DATE: 9/8/25

DRAWN BY: VK DATE: 9/8/25

CHECKED BY: KR DATE: 9/8/25

SHEET TITLE

NOTES/
SENSITIVE LANDS

DRAWING SHEET

LP-102

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 5, 2025
Noah Pierce, PE
Bohannon Huston Inc.
7500 Jefferson St. NE
Albuquerque NM, 87109

npierce@bhinc.com

**Re: West ABQ Self Storage
99999 Woodmont NW (Paseo Del Norte & Woodmont)
Conceptual Traffic Circulation Layout for DFT Approval
Engineer's Stamp 8-1-25 (C09D022) TRANS-2025-00212**

Dear Pierce,

The conceptual TCL submittal received 8-1-2025 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **When submitting TCL for building permit approval, please ensure that:**

1-A 6 ft sidewalk, and 5-6 ft Landscape/Buffer along Paseo Del Norte is shown on the TCL plan

2- A 5 ft sidewalk, and 4-6 ft Landscape/Buffer along Woodmonte is shown on the TCL plan
3- A 5 ft sidewalk, and 4-6 ft Landscape/Buffer along Unnamed road on the south is shown on the TCL plan.

4-All the above infrastructures should be added to the IIA list and financially guaranteed.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL, to [ABQ-PLAN](#) for log in and evaluation by Transportation.

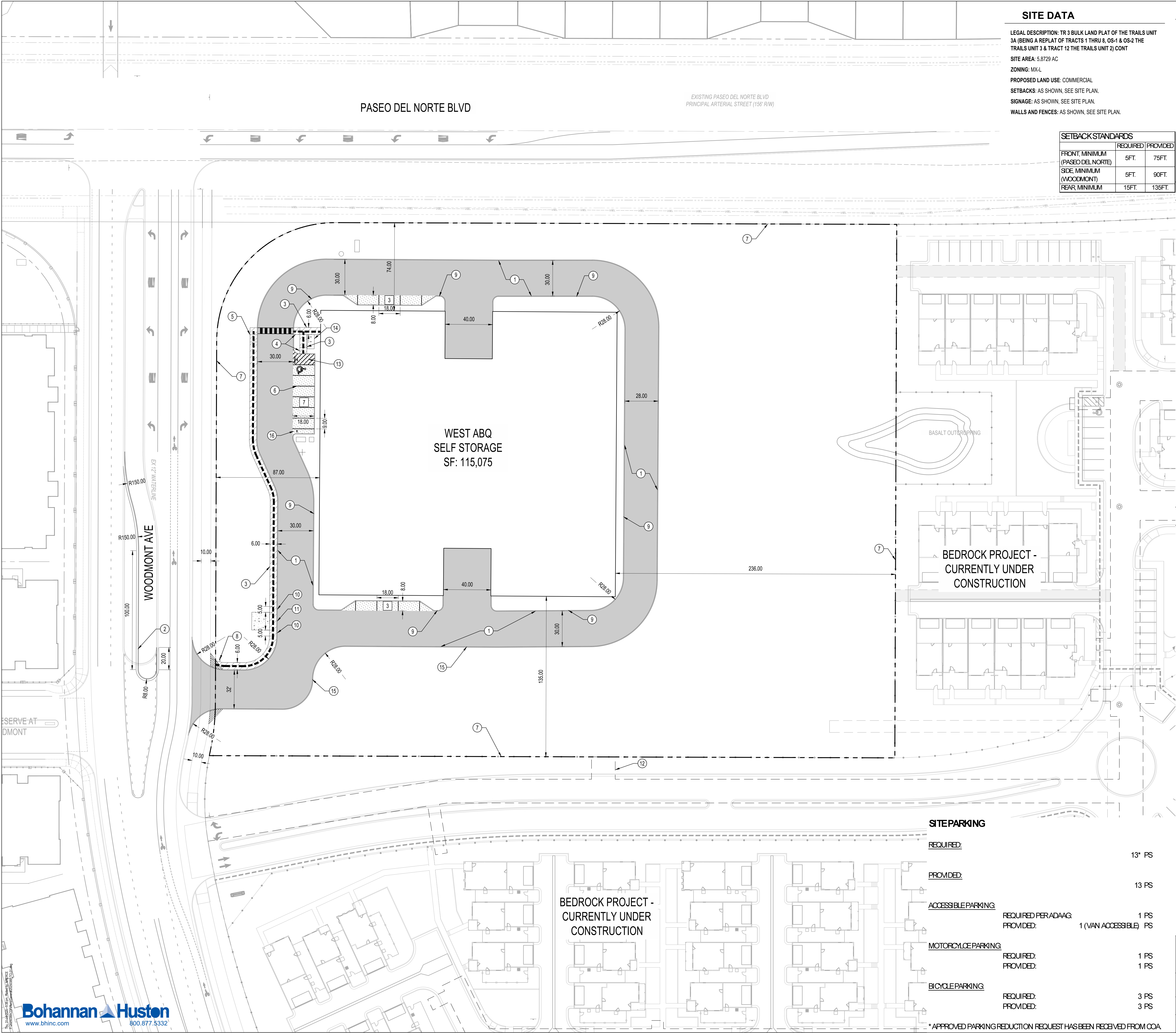
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: File



SITE DATA

LEGAL DESCRIPTION: TR 3 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT

SITE AREA: 5.8729 AC

ZONING: MX-L

PROPOSED LAND USE: COMMERCIAL

SETBACKS: AS SHOWN, SEE SITE PLAN.

SIGNAGE: AS SHOWN, SEE SITE PLAN.

WALLS AND FENCES: AS SHOWN, SEE SITE PLAN.

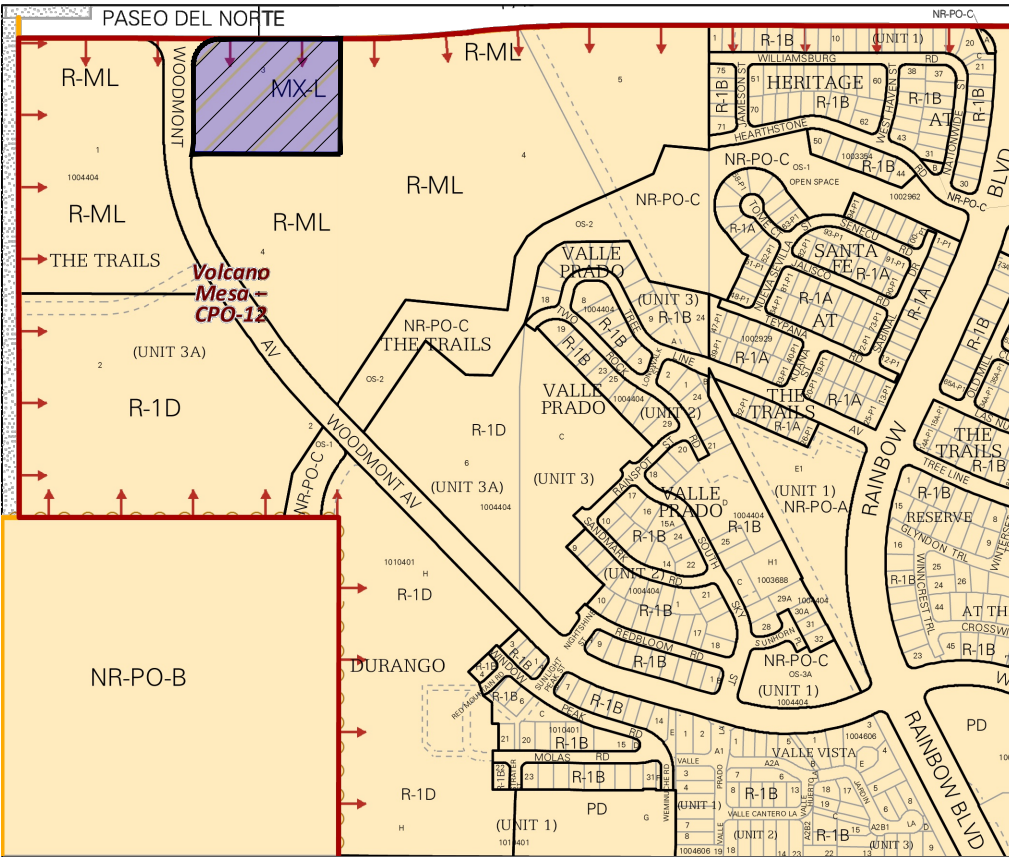
SETBACK STANDARDS		
	REQUIRED	PROVIDED
FRONT, MINIMUM (PASEO DEL NORTE)	5FT.	75FT.
SIDE, MINIMUM (WOODMONT)	5FT.	90FT.
REAR, MINIMUM	15FT.	135FT.

SHEET KEYED NOTES

- 6" STANDARD CURB AND GUTTER PER COA STD. DWG. 24015A.
- MEDIAN CURB AND GUTTER PER COA STD. DWG. 24015A.
- CONCRETE SIDEWALK, WIDTH VARIES; SEE PLAN FOR DIMENSIONS. SEE DETAIL SHEET C-002
- ADA ACCESSIBLE CONCRETE PERPENDICULAR CURB RAMP PER COA STD. DTL. 2442.
- ADA ACCESSIBLE CONCRETE PARALLEL CURB RAMP PER COA STD. DTL. 2443.
- STANDARD PARKING, 9' X 18' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
- PROPERTY LINE
- INSTALL STOP SIGN SEE DETAIL SHEET C-002.
- PAINT CURB RED WITH "FIRE LANE" TEXT.
- 5' TRANSITION BETWEEN CURB TYPES.
- MOUNTABLE CURB PER COA STD. DWG. 2415A.
- 20' PUBLIC UTILITY EASEMENT
- ADA ACCESSIBLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS A AND B, SHEET C-002
- BICYCLE RACK. SEE DETAIL C, SHEET C-002
- INSTALL 2' WIDE CURB CUT PER DETAIL D, SHEET C-002
- MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN. SEE DETAILS G AND H, SHEET C-002.

GENERAL NOTES

- ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
- CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE IS BASED OFF OF FIGURE 7.4.94 IN THE DPM.
- STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
- TRASH ENCLOSURE HAS BEEN LOCATED ON SITE. APPROVAL OF LOCATION HAS BEEN RECEIVED FROM SOLID WASTE.

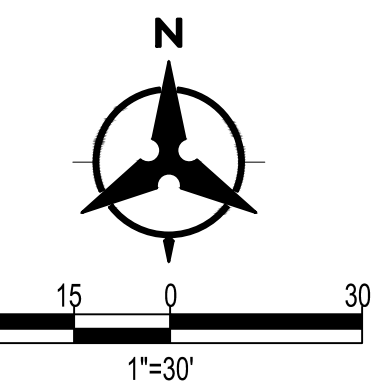


VICINITY MAP

ZONE ATLAS PAGE: C-09-Z

LEGEND

- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL E, SHEET C-002
- LIGHT DUTY ASPHALT PAVEMENT PER DETAIL F, SHEET C-002
- CONCRETE SIDEWALK
- DUMPSTER PAD
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE
- SIGHT TRIANGLE



PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____

SITE PLAN EXHIBIT

WEST ABQ SELF STORAGE

DRAWN BY: JCM	DATE: 08/2025
CHECKED BY: NP	BH PROJECT NO: 20250389 SHEET NO: C-001

SITE PARKING

REQUIRED:	13* PS
PROVIDED:	13 PS
ACCESSIBLE PARKING:	1 PS
REQUIRED PER ADAAG:	1 (VAN ACCESSIBLE) PS
PROVIDED:	
MOTORCYCLE PARKING:	1 PS
REQUIRED:	1 PS
PROVIDED:	
BICYCLE PARKING:	3 PS
REQUIRED:	3 PS
PROVIDED:	

* APPROVED PARKING REDUCTION REQUEST HAS BEEN RECEIVED FROM COA

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 5, 2025

Noah Pierce, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**RE: West ABQ Self Storage
99999 Woodmont Ave NW
Conceptual Grading Plans
Engineer's Stamp Date: 8/1/25
Hydrology File: C09D022
Case # HYDR-2025-00273**

Dear Mr. Pierce:

Based upon the information provided in your submittal received 08/01/2025, the Conceptual Grading Plans are preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

PO Box 1293

PRIOR TO BUILDING PERMIT:

Albuquerque

1. Please submit the Grading Plans to Hydrology for review and approval.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol.

NM 87103

www.cabq.gov

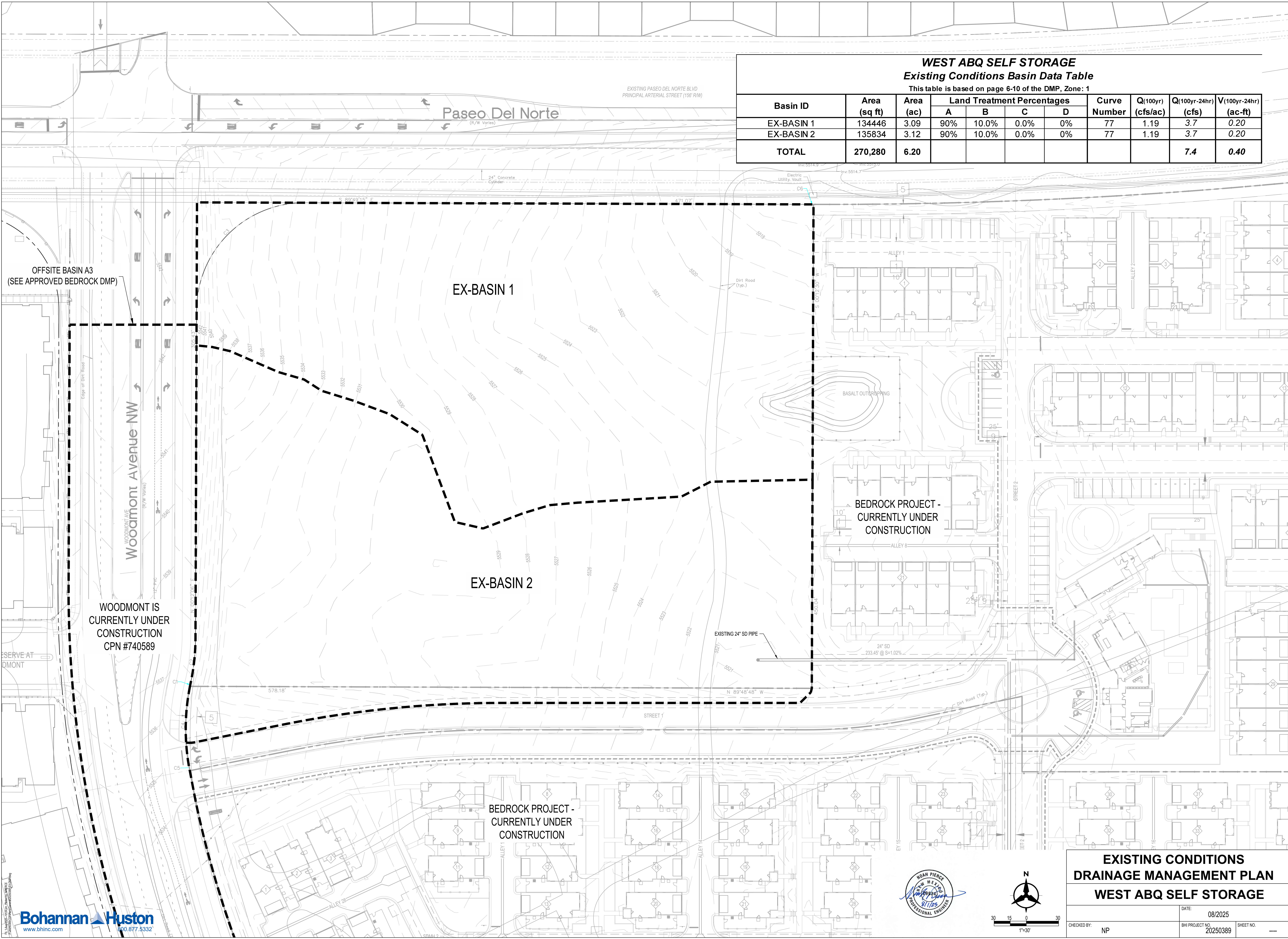
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E. CFM

Senior Engineer,
Planning Department, Development Review Services



WEST ABQ SELF STORAGE										
Existing Conditions Basin Data Table										
This table is based on page 6-10 of the DMP, Zone: 1										
Basin ID	Area (sq ft)	Area (ac)	Land Treatment Percentages				Curve Number	Q(100yr) (cfs/ac)	Q(100yr-24hr) (cfs)	V(100yr-24hr) (ac-ft)
			A	B	C	D				
EX-BASIN 1	134446	3.09	90%	10.0%	0.0%	0%	77	1.19	3.7	0.20
EX-BASIN 2	135834	3.12	90%	10.0%	0.0%	0%	77	1.19	3.7	0.20
TOTAL	270,280	6.20							7.4	0.40

OFFSITE BASIN A3
(SEE APPROVED BEDROCK DMP)

WOODMONT AVE
Woodmont Avenue NW

WOODMONT IS
CURRENTLY UNDER
CONSTRUCTION
CPN #740589

EX-BASIN 1

EX-BASIN 2

BEDROCK PROJECT -
CURRENTLY UNDER
CONSTRUCTION

BEDROCK PROJECT -
CURRENTLY UNDER
CONSTRUCTION

DRAINAGE NARRATIVE

INTRODUCTION:
THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF PASEO DEL NORTE AND WOODMONT AVE. THE SITE WILL CONSIST OF A SELF STORAGE FACILITY WITH ASSOCIATED PARKING, LANDSCAPING, AND SITE AMENITIES. PER FEMA COMMUNITY MAP PANEL #3500100111G, THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN. THE SITE IS IN RAINFALL ZONE 1 AS DEFINED BY THE DPM.

EXISTING CONDITIONS:
TRACT 3 OF THE TRAILS UNIT 3A IS CURRENTLY UNDEVELOPED. EXISTING BASIN 1 SLOPES FROM WEST TO EAST. THE STORMWATER GENERATED BY THIS BASIN ARE CONVEYED VIA SHEET FLOW WHERE IT ULTIMATELY DISCHARGES OFFSITE TO THE NORTHEAST. ADDITIONALLY, EXISTING BASIN 2 SLOPES FROM WEST TO EAST. THE STORMWATER GENERATED BY THIS BASIN ARE CONVEYED VIA SHEET FLOW WHERE IT ULTIMATELY DISCHARGES OFFSITE AT THE SOUTHEAST CORNER OF THE SITE.

METHODOLOGY:
THE HYDRAULIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 6.2 OF THE CITY OF ALBUQUERQUE DPM. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED CONDITIONS BASIN DATA TABLE" ON THIS SHEET. THIS SITE WAS ANALYZED FOR THE 100-YEAR, 24-HOUR STORM EVENT. THIS PLAN DEMONSTRATES THE PROPOSED GRADING AND DRAINAGE CONCEPTS.

PROPOSED:
BASIN 1 IS DEFINED AS A LARGE PART OF THE NORTHERN AREA OF THE SITE. FLOWS GENERATED IN THIS BASIN ARE CONVEYED VIA SHEET FLOW THAT IS COLLECTED IN CURB AND GUTTER FLOWLINES. THIS FLOW ULTIMATELY MAKES ITS WAY TO THE EASTERN PORTION OF THE BASIN WHERE IT IS COLLECTED INTO A STORM DRAIN INLET AND IS THEN ROUTED VIA STORM DRAIN PIPE WHERE IT ULTIMATELY OUTFALLS TO POND 2. BASIN 2 IS DEFINED AS THE SOUTHWESTERN PORTION OF THE SITE. FLOW GENERATED IN THIS BASIN ARE CONVEYED VIA SHEET FLOW THAT IS COLLECTED IN CURB AND GUTTER FLOWLINES. BASIN 3 IS DEFINED AS THE AREA TO THE SOUTHEAST OF THE BUILDING. FLOWS GENERATED IN THIS BASIN ARE CONVEYED VIA SHEET FLOW THAT IS COLLECTED IN CURB AND GUTTER FLOWLINES. THIS FLOW ULTIMATELY MAKES ITS WAY TO THE EASTERN PORTION OF THE BASIN WHERE IT IS COLLECTED INTO A STORM DRAIN INLET AND IS THEN ROUTED VIA STORM DRAIN PIPE WHERE IT ULTIMATELY OUTFALLS INTO POND 2. BASIN 4 IS DEFINED THE NORTHEASTERN AREA OF THE SITE. THIS BASIN WILL REMAIN LARGELY UNTOUCHED AND THE FLOWS GENERATED IN THIS BASIN DRAIN VIA SHEET FLOW WHERE THEY ULTIMATELY DISCHARGE INTO POND 2. BASIN 5 IS DEFINED AS THE SOUTHEASTERN PORTION OF THE SITE. THIS BASIN WILL REMAIN LARGELY UNTOUCHED SAVE THE ADDITION OF POND 2. FLOWS GENERATED BY THIS BASIN WILL DRAIN VIA SHEET FLOW WHERE THEY ULTIMATELY DISCHARGE INTO POND 2. ROOF BASINS 1 AND TWO DRAIN TO THE NORTH AND SOUTH OF THE SITE RESPECTIVELY. THESE FLOWS ARE THEN CAPTURED VIA STORM DRAIN INLETS WHICH THEN ROUTE VIA STORM DRAIN PIPE WHERE THEY ULTIMATELY DISCHARGE INTO POND 2. POND 1 HAS BEEN SIZED TO ACCOMMODATE FLOWS BEING ROUTED FROM BASIN 2. POND 1 IS DESIGNED TO FILL UP AND OVERTOP A SPILLWAY. ONCE THE FLOWS EXIT POND 1, THEY ARE ROUTED VIA SHEET FLOW WHERE THEY ARE ULTIMATELY CAPTURED IN POND 2. POND 2 RECEIVES FLOWS FROM ALL BASINS ONSITE EXCEPT BASIN 4. POND 2 HAS BEEN LOCATED IN CONJUNCTION WITH THE EXISTING 24" STORM DRAIN PIPE STUBBED TO THIS SITE FROM THE ADJACENT BEDROCK PROJECT. IN REFERENCING THE APPROVED DRAINAGE MANAGEMENT PLAN FOR THE BEDROCK DEVELOPMENT, THIS PIPE HAS BEEN SIZED TO BE ABLE TO ACCOMMODATE UP TO 22.8 CFS. POND 2 WILL HAVE AN ELEMENT OF DEAD STORAGE, BUT WILL FILL UP UNTIL A POINT AT WHICH THE FLOWS WILL BE ROUTED OFFSITE VIA THE EXISTING 24" STORM DRAIN PIPE. SEEING AS THE TOTAL AMOUNT OF FLOW BEING ROUTED TO POND 2 IS ONLY 11.5 CFS, THIS STORM DRAIN PIPE HAS AMPLE CAPACITY TO ACCOMMODATE THESE FLOWS. POND 3, AS REFERENCED ABOVE, HAS BEEN SIZED TO FULLY RETAIN ALL FLOWS ASSOCIATED WITH BASIN 4. POND 3 WILL NOT DISCHARGE OFFSITE.

CONCLUSION:
THE CALCULATED PEAK DISCHARGE FROM THE SITE IS IN COMPLIANCE WITH THE ALLOWABLE STORM DRAIN CAPACITY PROVIDED IN STORM DRAIN PIPE CONSTRUCTED AS A PART OF THE ADJACENT BEDROCK DEVELOPMENT AND STUBBED TO THIS SITE. THE GRADING AND DRAINAGE PLAN AS PRESENTED IS IN CONFORMANCE WITH THE APPROVED MASTER DRAINAGE REPORT AND CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS. PLEASE ACCEPT THIS SUBMITTAL AS A FORMAL REQUEST FOR CONCEPTUAL PLAN APPROVAL.

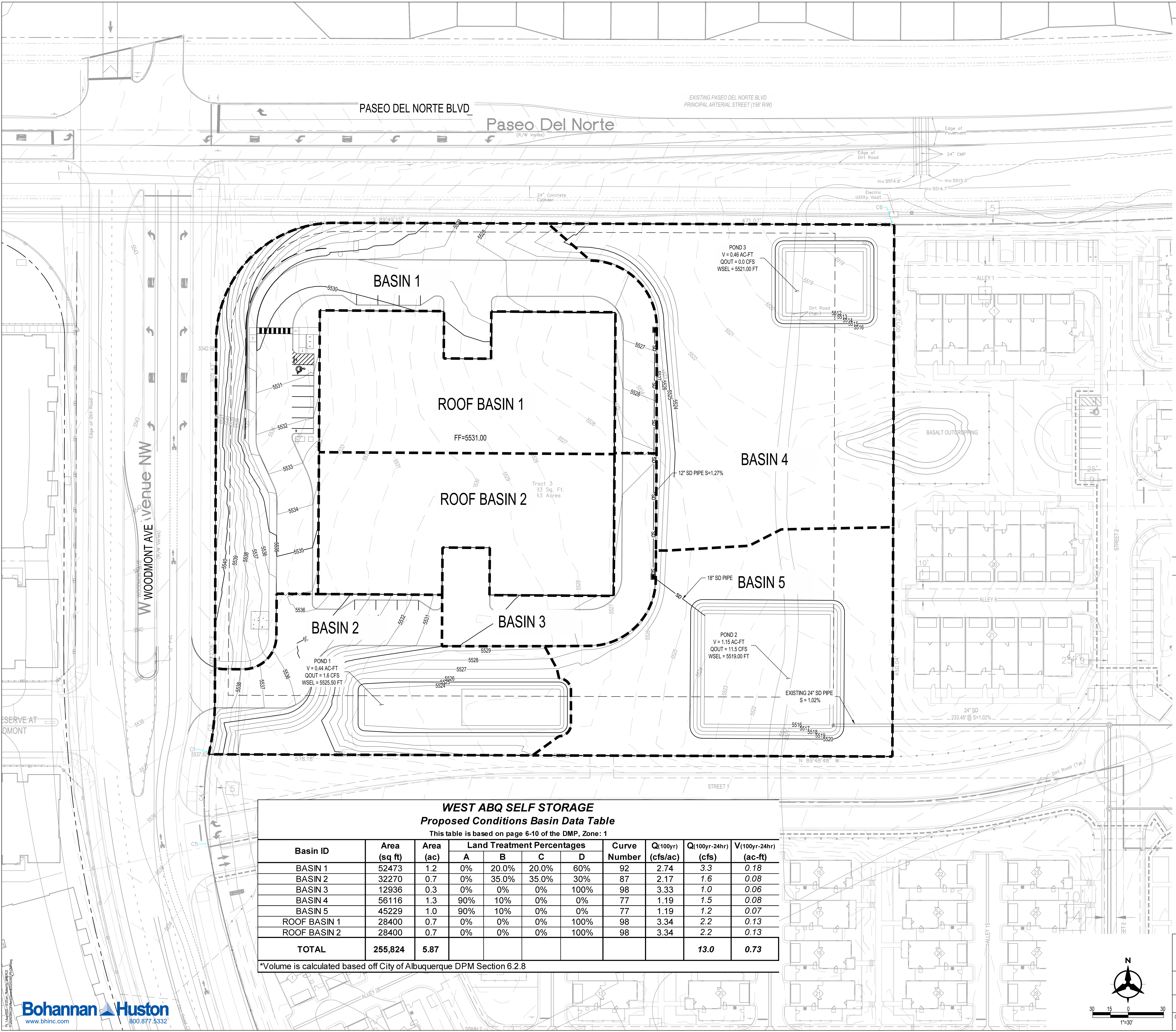
LEGEND

- BASIN BOUNDARY
- RETAINING WALL
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN PIPE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS



PROPOSED CONDITIONS
DRAINAGE MANAGEMENT PLAN
WEST ABQ SELF STORAGE

	DATE: 08/2025	
CHECKED BY: NP	BHI PROJECT NO. 20250389	SHEET NO. ---



WEST ABQ SELF STORAGE
Proposed Conditions Basin Data Table

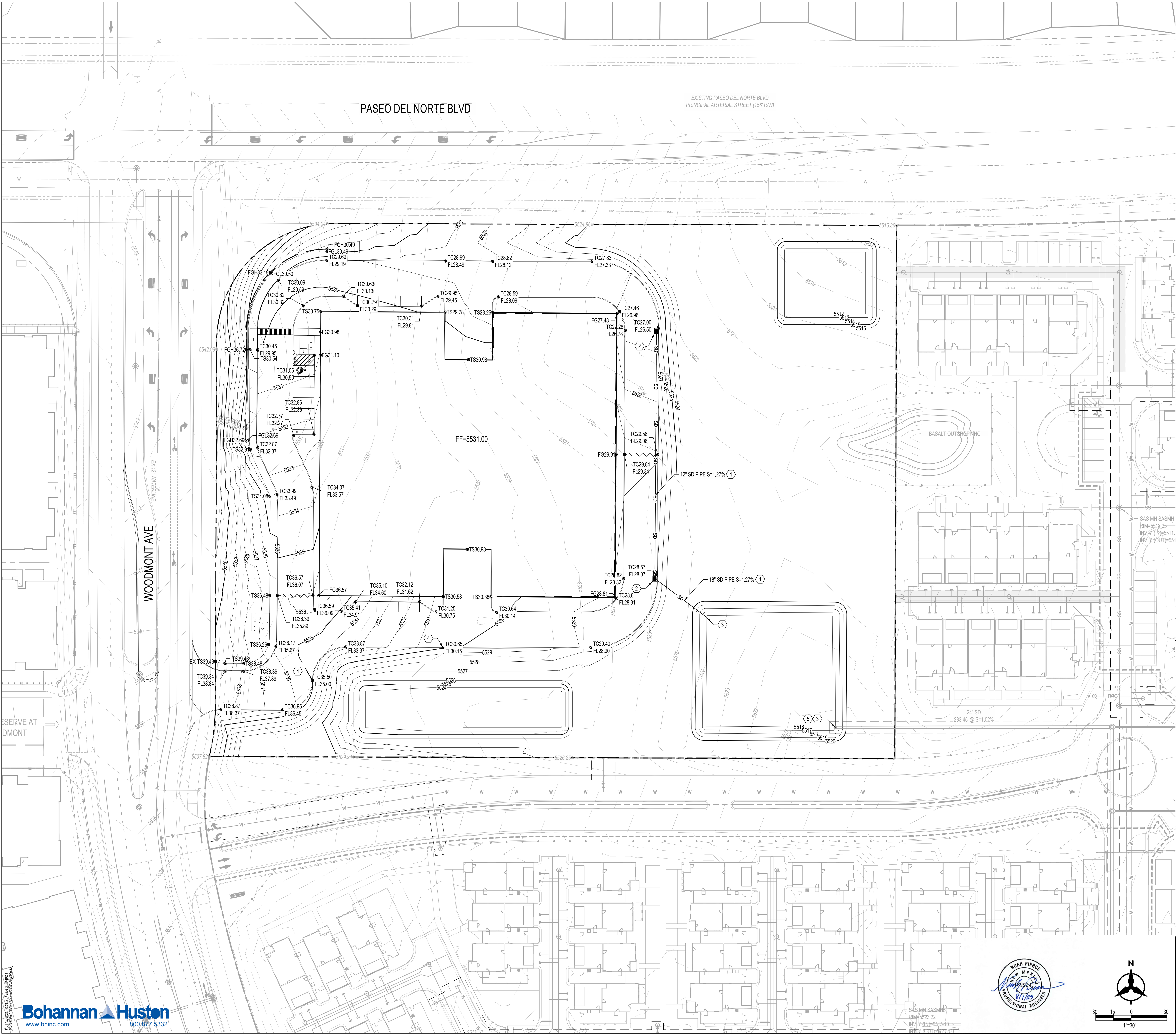
This table is based on page 6-10 of the DMP, Zone: 1

Basin ID	Area (sq ft)	Area (ac)	Land Treatment Percentages				Curve Number	Q(100yr) (cfs/ac)	Q(100yr-24hr) (cfs)	V(100yr-24hr) (ac-ft)
			A	B	C	D				
BASIN 1	52473	1.2	0%	20.0%	20.0%	60%	92	2.74	3.3	0.18
BASIN 2	32270	0.7	0%	35.0%	35.0%	30%	87	2.17	1.6	0.08
BASIN 3	12936	0.3	0%	0%	0%	100%	98	3.33	1.0	0.06
BASIN 4	56116	1.3	90%	10%	0%	0%	77	1.19	1.5	0.08
BASIN 5	45229	1.0	90%	10%	0%	0%	77	1.19	1.2	0.07
ROOF BASIN 1	28400	0.7	0%	0%	0%	100%	98	3.34	2.2	0.13
ROOF BASIN 2	28400	0.7	0%	0%	0%	100%	98	3.34	2.2	0.13
TOTAL	255,824	5.87							13.0	0.73

*Volume is calculated based off City of Albuquerque DPM Section 6.2.8

GRADING KEYED NOTES

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. INSTALL 2X2 NYLOPLAST CURB INLET.
3. INSTALL STORM DRAIN CMP FLARED END SECTION. SIZE PER PLANS.
4. INSTALL 2' CONCRETE CURB OPENING.
5. CONNECT TO EXISTING INFRASTRUCTURE. CONTRACTOR TO VERIFY ELEVATION.



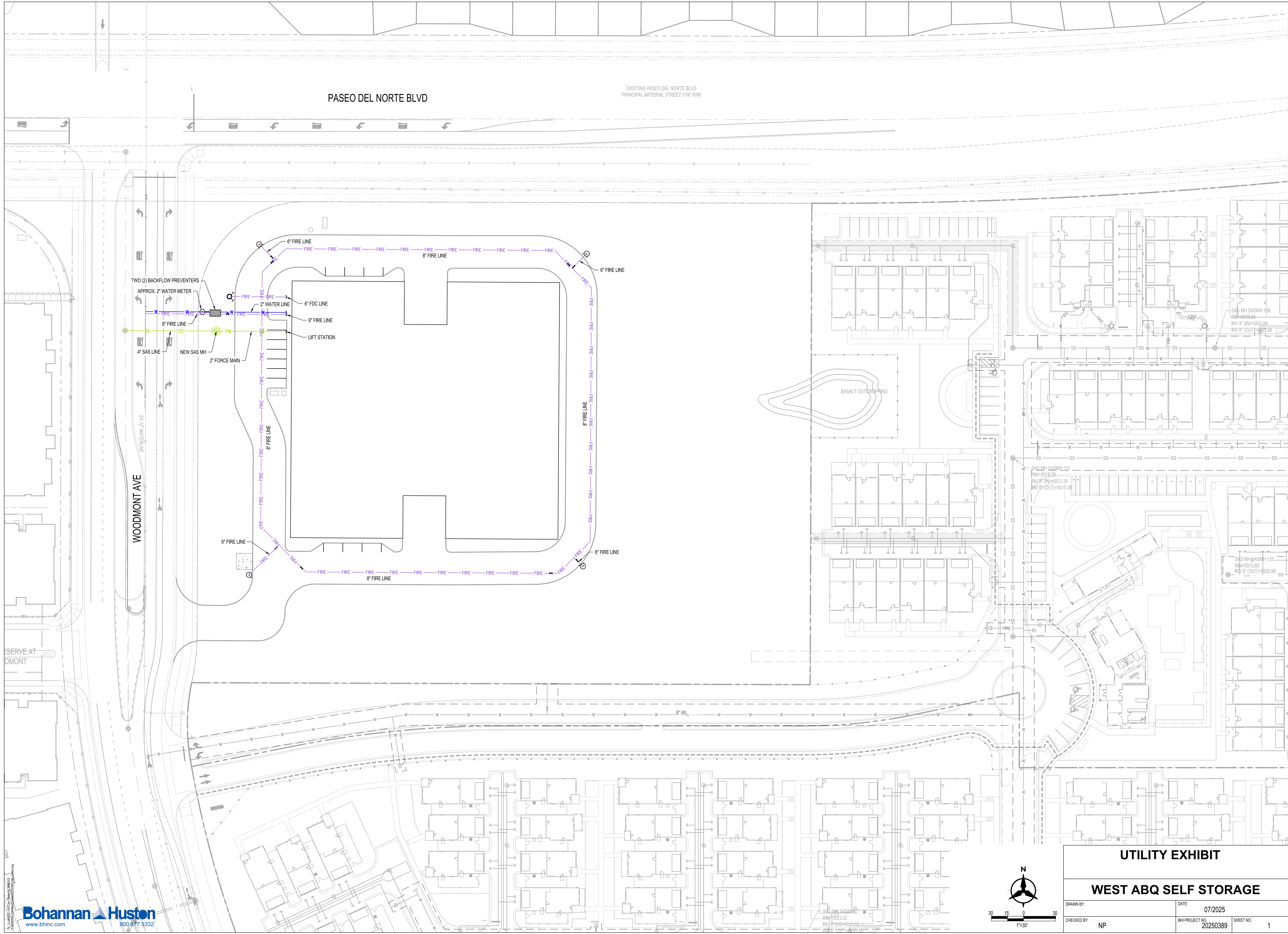
LEGEND

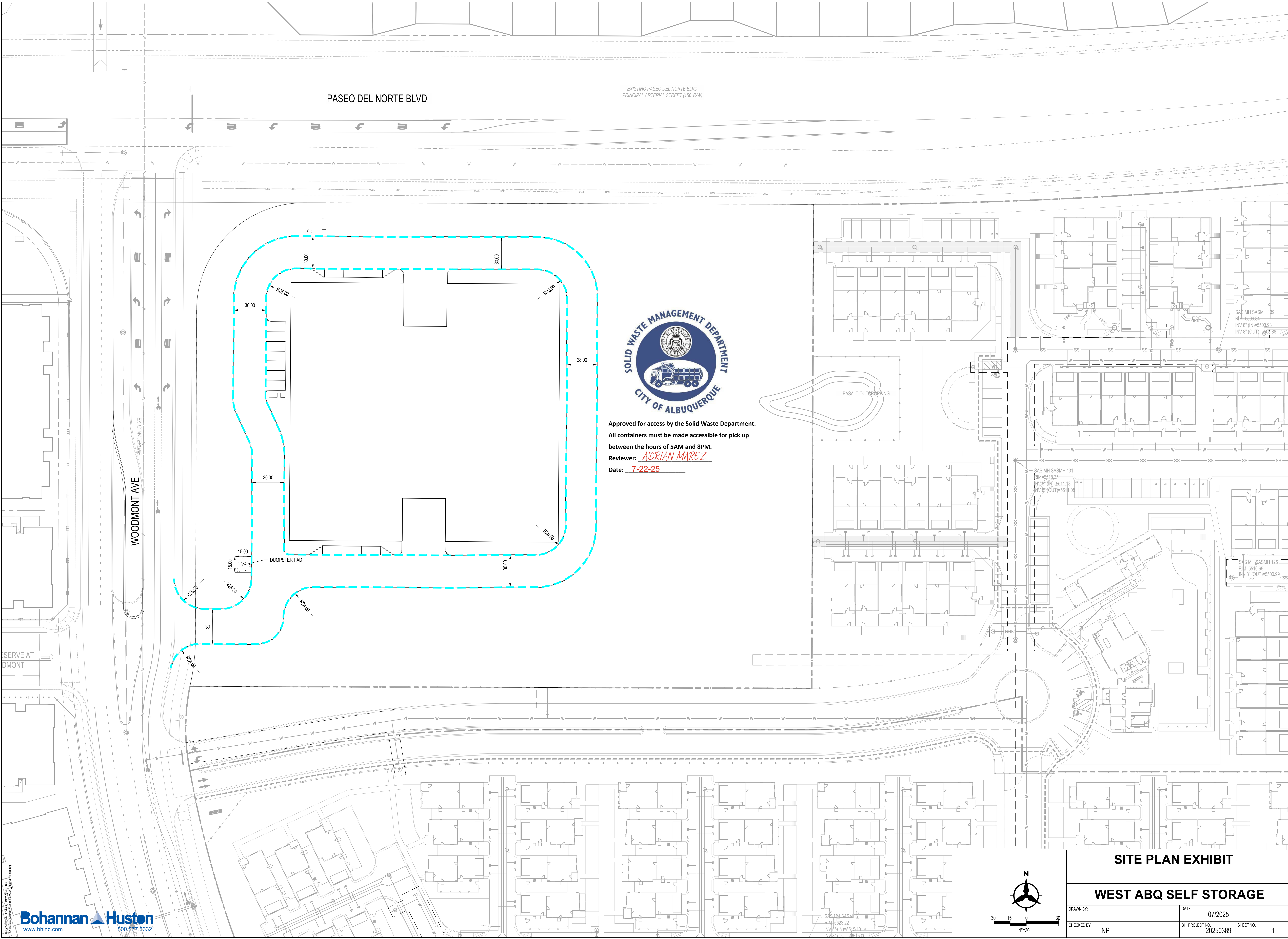
- PROPERTY LINE
- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WUA EASEMENT
- SLOPE BREAK
- RETAINING WALL
- BUILDING NUMBER

GRADING EXHIBIT

WEST ABQ SELF STORAGE

DRAWN BY:	DATE:	08/2025
CHECKED BY:	BHI PROJECT NO:	20250389
NP	SHEET NO.	C-100



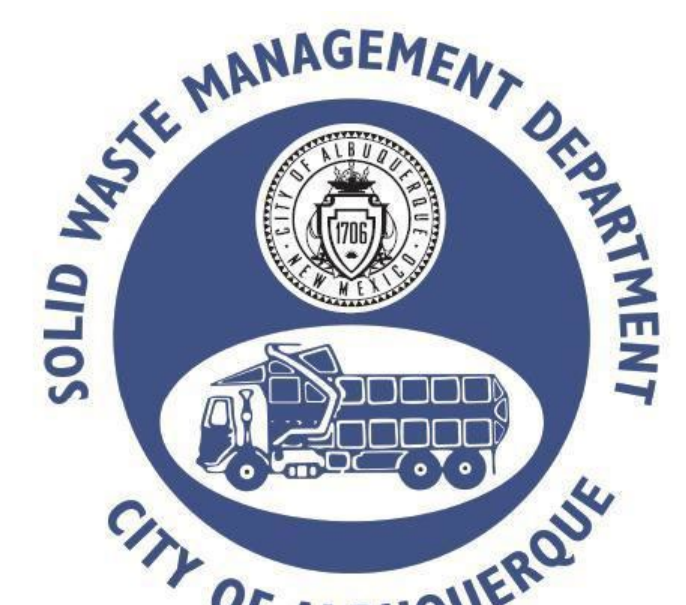


PASEO DEL NORTE BLVD

EXISTING PASEO DEL NORTE BLVD
PRINCIPAL ARTERIAL STREET (156' RW)

WOODMONT AVE

EX 12" WATERLINE



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: ADRIAN MAREZ
Date: 7-22-25

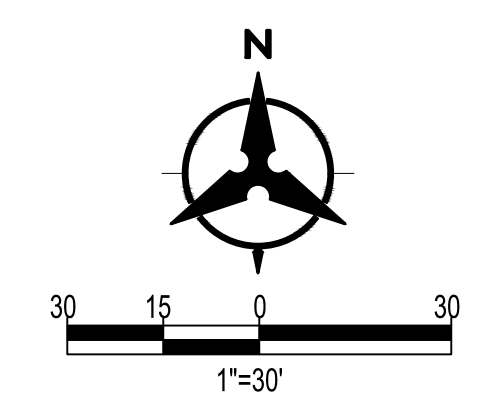
BASALT OUTCROPPING

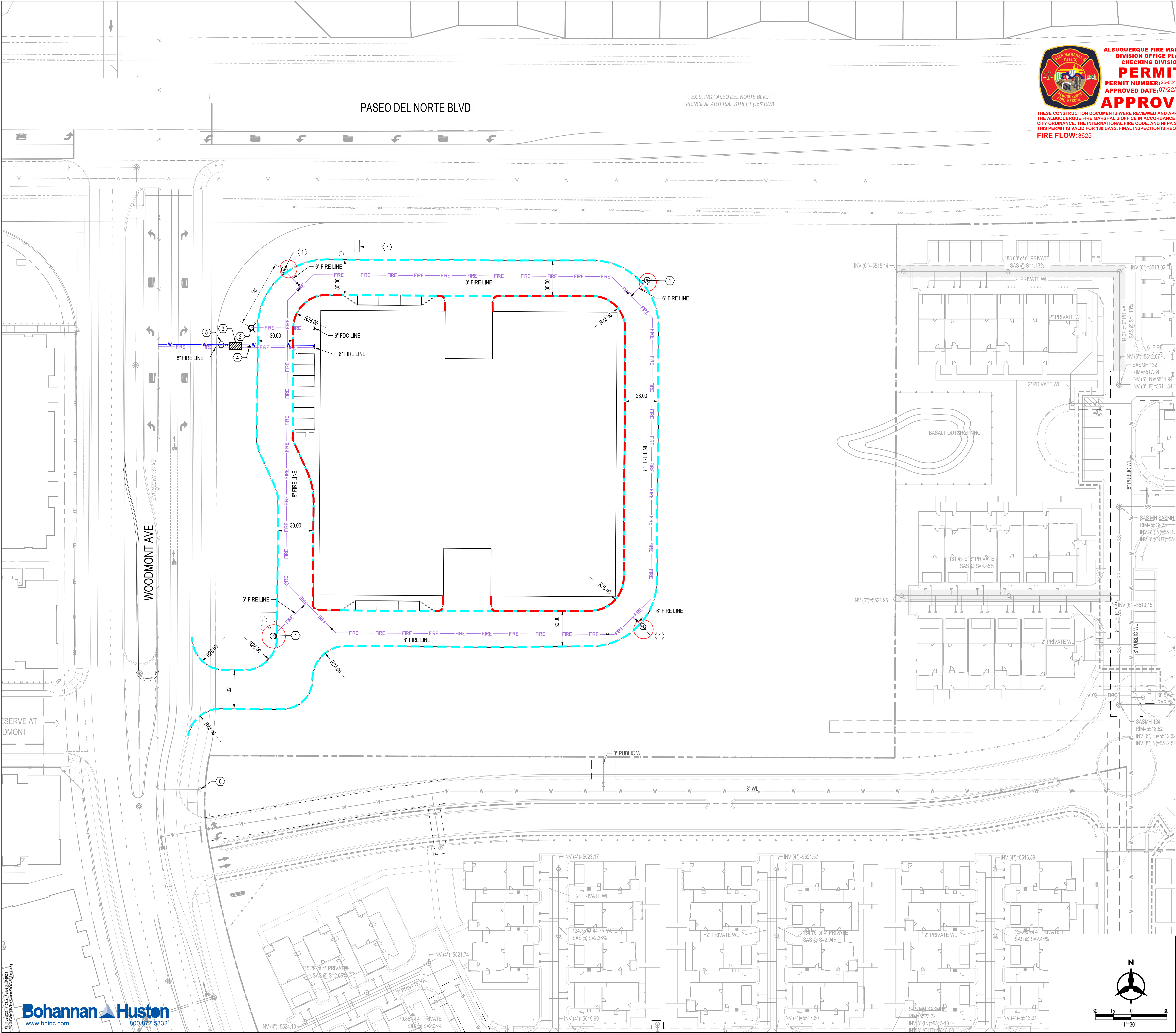
DUMPSTER PAD

SITE PLAN EXHIBIT

WEST ABQ SELF STORAGE

DRAWN BY:	DATE:
CHECKED BY:	BH PROJECT NO:
NP	20250389
	SHEET NO:
	1





**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PERMIT

PERMIT NUMBER: 25-024198

APPROVED DATE: 07/22/2025

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 3625

BUILDING INFORMATION

ADDRESS: SE CORNER OF PASEO DEL NORTE AND WOODMONT AVE
LEGAL DESCRIPTION: TR 3 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 5.6728 AC
ZONE ATLAS: B8, B9, C8, C9

TOTAL BUILDING 1 AREA: 115,075 SF
BUILDING HEIGHT: 28'-0"
CONSTRUCTION TYPE: II-B
SPRINKLERED: YES
FIRE FLOW: 3,625 GPM
HYDRANTS REQUIRED: 4
AVERAGE SPACING BETWEEN HYDRANTS: 350 FEET

GENERAL NOTES

- RADI ALONG FIRE LANE WHERE TURNING MOVEMENT IS INDICATED SHALL BE A MINIMUM OF 28'.
- MONUMENT SIGN IDENTIFYING BUILDING WILL BE PROVIDED AT ADJACENT ROADWAYS OR ON BUILDING.
- ALL BUILDINGS SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- THERE ARE NO EXTERIOR GATES PLANNED AT THIS TIME.
- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE AS SHOWN.
- ALL FIRE ACCESS ROUTES SHALL BE PAVED.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
- LINE SIZES, FIRE SERVICE LOCATIONS, CONSTRUCTION TYPES, SQUARE FOOTAGE PROVIDED BY OTHERS. REFER TO FIRE 2 PLAN FOR FURTHER INFORMATION.
- ALL FIRE ACCESS AREAS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS. ENGINEERING PAVEMENT SECTION TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING DATA IN THE PROJECT'S GEOTECHNICAL REPORT.
- FIRE ALARM PANEL TO BE LOCATED IN THE FIRE RISER ROOM
- FIRE ALARM REMOTE ANNUNCIATOR PANEL TO BE LOCATED IN VESTIBULE.
- FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100FT OF A FIRE HYDRANT.
- NO OVERHEAD OBSTRUCTIONS.
- ALL MAIN FIRE LINES AND FIRE HYDRANT LEGS WILL BE A MINIMUM OF 6" LINES.
- ALL WATER LINE MAIN LINES WILL BE A MINIMUM OF 3" LINES.

SHEET KEYED NOTES

- PROPOSED FIRE HYDRANT.
- REMOTE FIRE DEPARTMENT CONNECTION. PROVIDE BOLLARD PER ABCWUA STD DWG 2322 AND 2340.
- PROPOSED BACKFLOW PREVENTER WITH HEATED ENCLOSER.
- PROPOSED POST INDICATOR VALVE. PROVIDE BOLLARD PER ABCWUA STD DWG 2322 AND 2340.
- PROPOSED WATER METER.
- EXISTING FIRE HYDRANT TO REMAIN.
- MONUMENT SIGN.

LEGEND

- PROPERTY LINE
- MARKED FIRE ACCESS
- FIRE ROUTE
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- PROPOSED EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED HYDRANT
- PROPOSED POST INDICATOR VALVE
- PROPOSED DUEL BACKFLOW PREVENTER

FIRE 1 PLAN

WEST ABQ SELF STORAGE

DRAWN BY:	BF	DATE:	07/2025
CHECKED BY:	NP	BH PROJECT NO:	20250389
		SHEET NO.	1

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 11, 2025

Noah Pierce, P.E.
Bohannon Huston
7500 Jefferson St. NE
Albuquerque, NM 87109

Parking Reduction Approval

Business name: West Albuquerque Self Storage. The property will further be referenced as (ABQSS).

Business location: Southeast Corner of Paseo del Norte and the undeveloped Woodmont Avenue.

Dear Mr. Pierce,

Based on the information provided-including reference from the national Self Storage Associate (SSA), the Institute of Traffic Engineers (ITE) standard, and the local project comparisons. The requested parking reduction from 38 to 13 parking spaces for the West Albuquerque Self Storage facility is acceptable.

This approval is granted by Transportation department and will be recorded as part of the official development record.

Sincerely,

Angelo Metzgar

for

ALAN VARELA, J.D.
Planning Department Director
Direct line: 505.924.3454
Email: avarela@cabq.gov
cabq.gov/planning

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Figure 1 – Site Location:



PO Box 1293

Albuquerque

NM 87103

www.cabq.gov






Parking_Reduction_APPR_July11

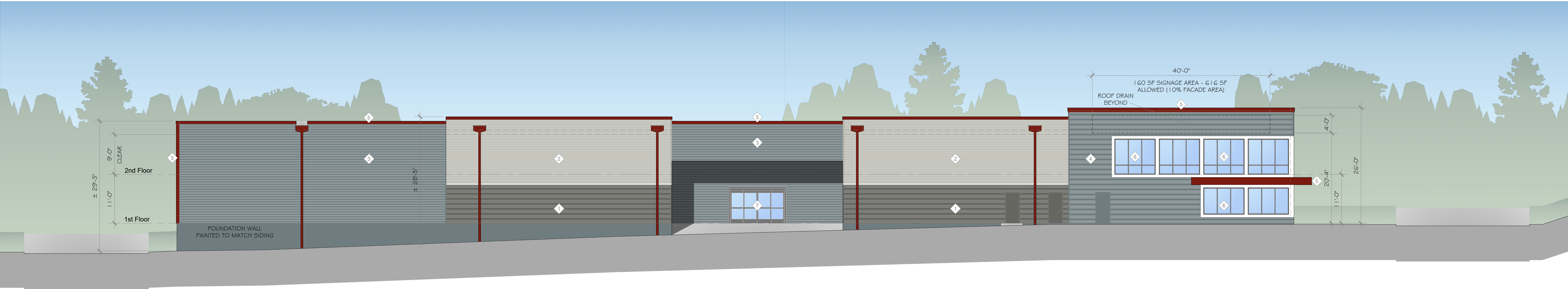
Final Audit Report

2025-07-11

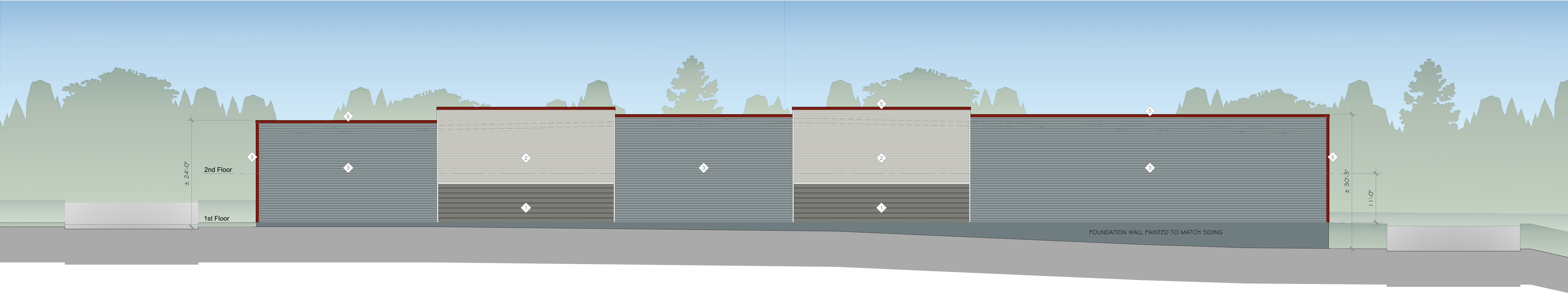
Created:	2025-07-11
By:	Lucinda Montoya (lucindamontoya@cabq.gov)
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Transaction ID:	CBJCHBCAABAA1JYWZCbJNFyp8-MhIRdUn5C4dl1VmMlz

"Parking_Reduction_APPR_July11" History







-  Document created by Lucinda Montoya (lucindamontoya@cabq.gov)
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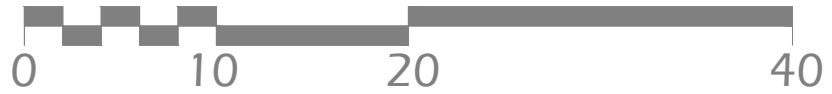


1 NORTH - PASEO DEL NORTE BLVD VIEW
A 4.0 SCALE: 1" = 10'-0"



2 EAST ELEVATION
A 4.0 SCALE: 1" = 10'-0"

MATERIAL LEGEND					
	METAL SIDES, PBR HORIZONTAL PANEL - OLD ZINC GRAY		METAL SIDES, 7.2 HORIZONTAL PANEL - SURF WHITE		METAL SIDES, PBR HORIZONTAL PANEL - OLD TOWN GRAY
	METAL SIDES, 7.2 HORIZONTAL PANEL - OLD TIME GRAY		METAL CORNICE & TRIM - RUSTIC RED		VISION GLASS IN CLEAR ANODIZED STOREFRONT
LRV 22		LRV 59		LRV 27	



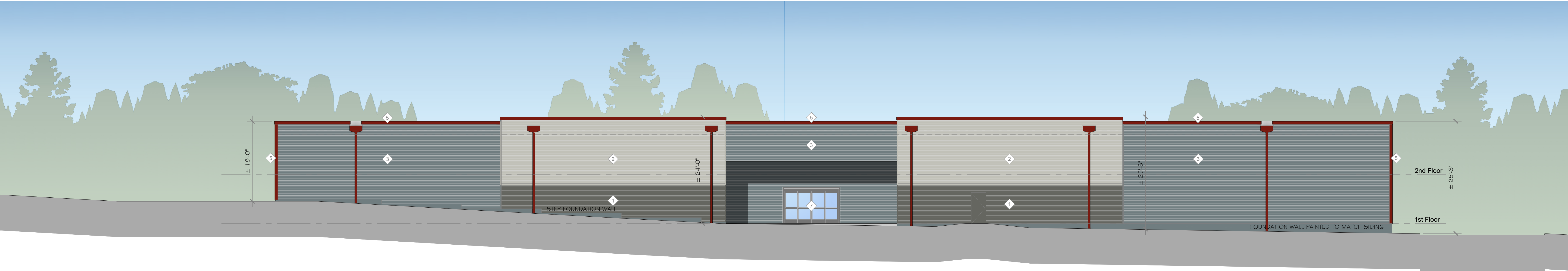
WEST ABQ SELF STORAGE
Paseo del Norte & Woodmont Ave
Albuquerque, NM 87114

A 4.0

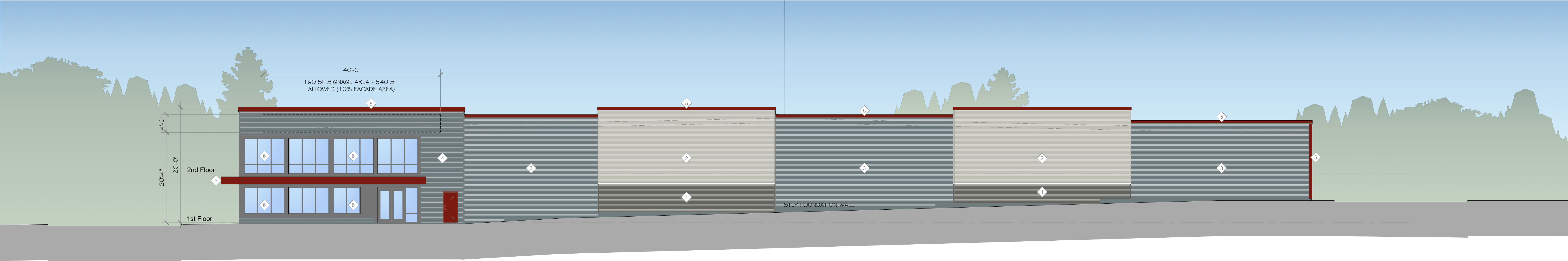
PROPOSED ELEVATIONS



GA 1663
August 19, 2025

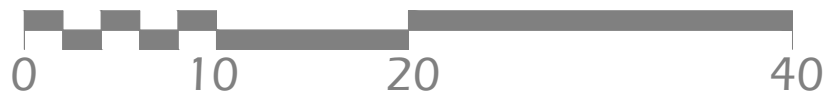


1 SOUTH ELEVATION
A 4.1 SCALE: 1" = 10'-0"



2 WEST - WOODMONT AVE VIEW
A 4.1 SCALE: 1" = 10'-0"

MATERIAL LEGEND					
	METAL SIDING, PBR HORIZONTAL PANEL - OLD ZINC GRAY		METAL SIDING, 7.2 HORIZONTAL PANEL - SURF WHITE		METAL SIDING, PBR HORIZONTAL PANEL - OLD TOWN GRAY
	METAL SIDING, 7.2 HORIZONTAL PANEL - OLD TIME GRAY		METAL CORNICE & TRIM - RUSTIC RED		VISION GLASS IN CLEAR ANODIZED STOREFRONT
LRV 22		LRV 59		LRV 27	



WEST ABQ SELF STORAGE
Paseo del Norte & Woodmont Ave
Albuquerque, NM 87114

A 4.1

PROPOSED ELEVATIONS



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