

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 31, 2023

Craig Hagelgantz, P.E.
ABQ Engineering Inc.
8102 Menaul Blvd NE, Suite D
Albuquerque, NM, 87120

RE: Wagoner Building
Grading & Drainage Plan
Engineer's Stamp Date: 03/23/23
Hydrology File: M15D008

Dear Mr. Hagelgantz:

Based upon the information provided in your submittal received 03/24/2023, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Wagoner Building **Building Permit #** **Hydrology File #**

DRB# **EPC#**

Legal Description: LOT D1A NEWPORT INDUSTRIAL PARK-WEST UNIT 1 **City Address OR Parcel** 1800 Randolph Rd. SE
GROWNEY II SUBDIVISION CONT 1.3499 AC

Applicant/Agent: ABQ Engineering Inc. **Contact:** Craig Hagelgantz

Address: 8102 Menaul Blvd. NE, Suite D **Phone:** 505-255-7802

Email: chagelgantz@abqeng.com

Applicant/Owner: LOE Investments LLC **Contact:** Matt Wagoner

Address: 23811 Washington Ave., Suite C-110132, Murrieta, CA 92562 **Phone:** 951-712-1394

Email: matt@eastleyinc.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: ☒

RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

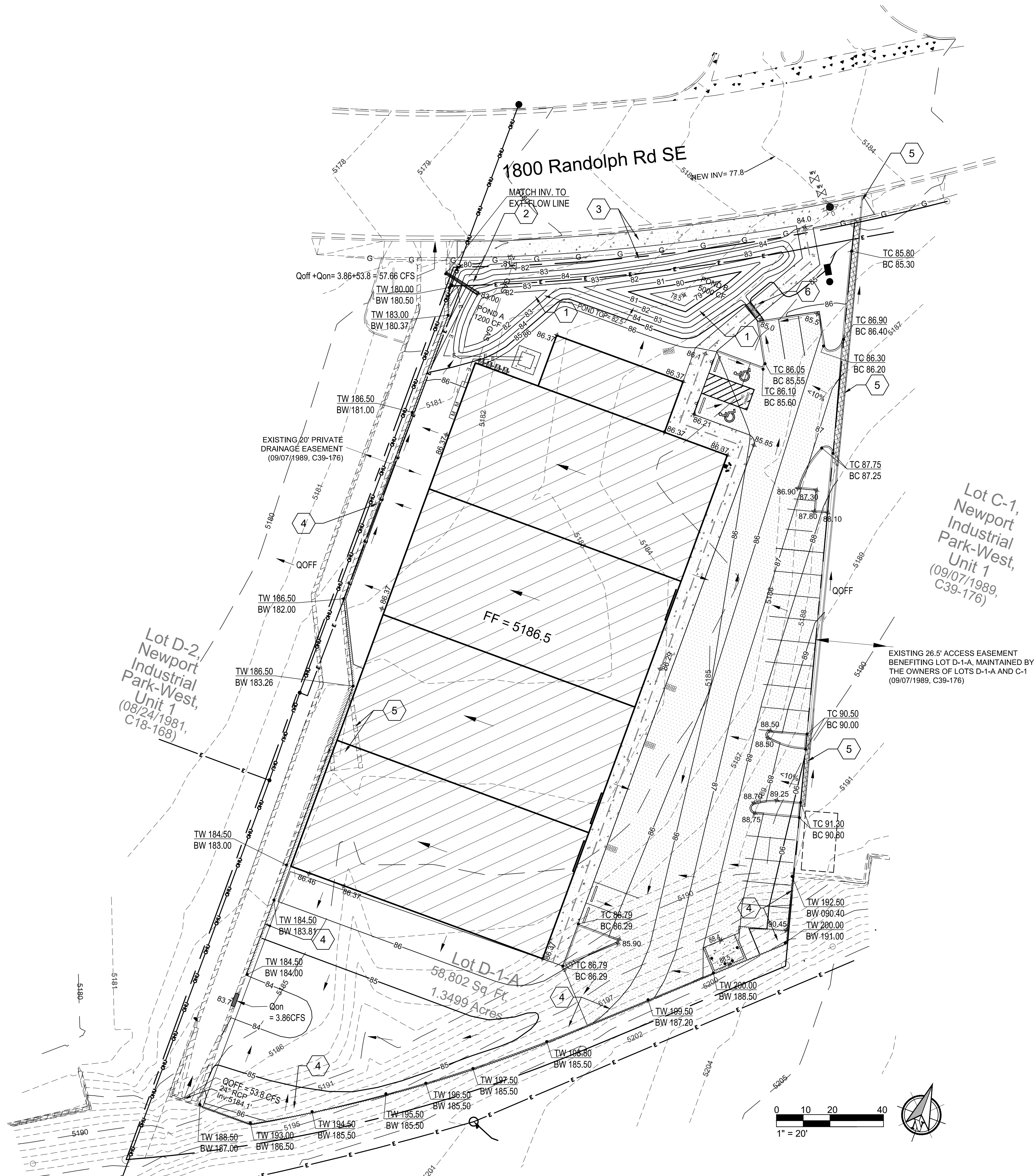
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 3/24/23

LAST MODIFIED: Mar 24, 2023 - 10:57am BY USER: Craig
DWG. LOCATION: K:\Projects\2022\22-036\GWA\
DWG. NAME: 22-036 Civil.dwg

SITE GRADING AND DRAINAGE PLAN



Hydrology Calculations DPM - Volume 2, Section 22.2.Hydrology				
Precipitation Zone	2			
100 Year Storm Depth, P (360)	2.35			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.53	0.78	1.13	2.12
Peak Discharge Factors	1.56	2.28	3.14	4.70
Land Treatment Area	Acres	Existing	Allowable	Proposed
Type "A" (Native Grass, weeds and shrubs)		1.215		0.000
Type "B" (Native Grass, >20% Slope)		0.135		0.135
Type "C" (Desert Landscaping, rock/plastic)		0.000		0.159
Type "D" (Impervious, Roof, Pavement)		0.000		1.046
Total (Acres)		1.3499		1.3499
Excess Precipitation(in)		0.56		1.86
Volume (100), cf		2720		9124
Volume (10), cf		1822		6113
Q (100), cfs		2.20		5.75
Q (10), cfs		1.48		3.86
P (360) Ponding Volume, cf = V(10)proposed-V(10)Allowable =				4291

DRAINAGE NARRATIVE

THIS SITE IS LOCATED AT 1800 RANDOLPH RD SE, IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THIS SITE IS LOCATED ON THE NATIONAL FLOOD INSURANCE RATE MAP NO. 35001C0342G EFFECTIVE ON 09/26/2008, AND LIES WITHIN ZONE X, WITH NO PORTION OF THE SITE LOCATED WITHIN A 100 YEAR FLOOD PLAIN.

THE EXISTING SITE CONSISTED OF A VACANT LOT. THE EXISTING SITE SURFACE TREATMENT HAS HISTORICALLY BEEN COVERAGE TYPE "A" (NATIVE GRASS, WEEDS AND SHRUBS). THE EXISTING SITE RUNOFF SHEET FLOWS ACROSS THE PROPERTY FROM THE SOUTHEAST TO THE NORTHWEST. THE SITE CURRENTLY DIRECTS OFFSITE DRAINAGE ALONG THE SOUTH PROPERTY LINE NORTHWARD AND ULTIMATELY INTO RANDOLPH RD SE AND ASSOCIATED STORM DRAINS. THE EXISTING CONCRETE DRAINAGE STRUCTURE ALONG THE WEST PROPERTY LINE THAT DIRECTS OFF-SITE FLOW. THE EXISTING OFF-SITE FLOW HAS BEEN DETERMINED AS QOFF = 53.8 CFS AND THE OFF-SITE TRIBUTARY AREA FOR THE EXISTING DRAINAGE STRUCTURE IS SHOWN ON COA DOCUMENTS FOR PROJECT M15-6. THE NORTH, SOUTH AND EAST SITE DOES NOT ACCEPT OFF-SITE FLOW ONTO THE PROPERTY. THE DRAINAGE STRUCTURE ALSO ACCEPTS A PORTION OF THE SHEET FLOW FROM THE EXISTING SITE.

THIS PROPOSED DEVELOPMENT INVOLVES THE ADDITION OF A NEW BUILDING AND PAVED PARKING AREA. THIS PROJECT DISTURBS APPROXIMATELY 1.215 ACRES OF A 1.3499 ACRE SITE. THE PROPOSED GRADING HONORS EXISTING OFFSITE DRAINAGE PATTERNS AND DIRECTS ALL OFFSITE RUNOFF AWAY FROM THE BUILDING. A NEW SHALLOW PONDING AREA (WATER QUALITY AND 100 YEAR STORM) WILL BE LOCATED NEAR AND ADJACENT TO RANDOLPH RD SE SIDEWALK. THE PONDING AREA WILL OVERFLOW TO THE EXISTING DRAINAGE STRUCTURE CURB FLOW LINE AND ULTIMATELY INTO RANDOLPH RD SE. THE SITE WILL HAVE THE DEVELOPED STORM WATER QUALITY RUNOFF WATER DRAIN DIRECTLY INTO THE PONDS, THE TOP OF WATER SURFACE IS SHOWN IN PLAN. THE TOP OF THE POND SURFACE IS BORDERED AND CONTAINED BY A EARTHEN BERM WITH A TOP ELEVATION THAT IS HIGHER THAN THE ELEVATION OF THE ADJACENT SIDEWALK AND TOP OF POND. (SEE PLAN SHEET C1.1 AND CALCULATIONS BELOW) FINISHED FLOOR ELEVATION OF THE PROPOSED BUILDING IS THE HIGH POINT OF THE SURROUNDING PARKING AREA AND THE BUILDING HAS POSITIVE DRAINAGE AWAY FROM THE PERIMETER. DEVELOPED ONSITE RUNOFF SHEET FLOWS ACROSS THE PROPOSED ASPHALT PARKING AREA AND IS DIRECTED BY DRAINAGE STRUCTURES AND CURBS INTO TO THE ON-SITE STORM WATER QUALITY POND AND SITE POND. THE HIGHER PORTION OF THE EAST SIDE OF THE PROPERTY WILL CONTINUE TO NOT ACCEPT OFF-SITE FLOW FROM ADJACENT PROPERTY BY THE USE OF CURBS AND ASPHALT WATER BREAKS.

ONSITE STORM WATER QUALITY PONDING VOLUME

STORM WATER QUALITY STORAGE REQUIRED BY COA HYDROLOGY:
PROVIDE STORAGE FOR STORM WATER QUALITY PER SECTION 6 - 12 OF DPM USE 0.26 IN

STORM WATER QUALITY (IN) APPLIED OVER IMPERVIOUS AREAS (ACRES)
VOLUME DRAINING DIRECTLY INTO PONDING AREAS THEREFORE (0.26 / 12) X 1.181 X 43560 = 1115CF

PIPE DRAIN CAPACITIES AT CURB CUT

SEE KEYED NOTE 2 AND PLAN FOR LOCATIONS OF TWO 4" PVC PIPES AT EXISTING DRAINAGE STRUCTURE BACK OF CURB FLOW LINE $Q = (1.486AR^{2/3}S^{0.5})/N = ((1.486 \times 0.0873 \times 0.0833)^{2/3} / 0.02 \times 0.5) / 0.0090 = 0.7668 \text{ CFS} / 4" \text{ PIPE}$

CURB DRAIN IS 2~4"Ø PIPES $\rightarrow Q = 1.54\text{CFS} = 92.4\text{CFM} = 5544\text{CFH}$

TIME TO DRAIN EQUIVALENT WATER QUALITY VOLUME = $5544\text{CFH} / 1115\text{CF} = 5 \text{ HOURS}$

CURB CUT WEIR CAPACITIES

SEE PLAN FOR LOCATION OF PROPOSED WEIR (5' WIDE X 0.5' DEEP) AT EXISTING CONCRETE CHANNEL CURB.
 $Q = C L H^{3/2} = 2.75 \times 5 \times 0.5^{3/2} = 4.86 \text{ CFS} > Q(10) = 3.86 \text{ CFS}$

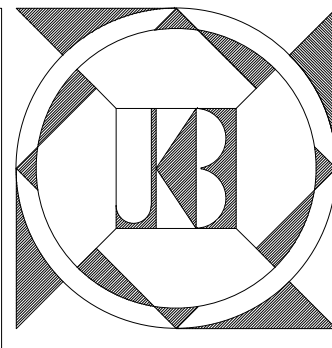
KEYED NOTES

- CONSTRUCT PONDING AREA. SEE STORM WATER QUALITY CALCULATIONS THIS SHEET.
- CONSTRUCT 2 - 4" PVC PIPE CURB DRAIN FOR OVERFLOW DRAINAGE. SEE CALCULATIONS & COA STD. DETAIL #2235
- TOP OF WATER SURFACE OF THE STORM WATER QUALITY POND IS LOWER THAN THE TOP OF THE ADJACENT BERM LOCATED BETWEEN THE SIDEWALK AND THE POND.
- CONSTRUCT SITE RETAINING WALLS SEE SHEET C1.1A FOR WALL INFORMATION AND SECTIONS.
- DEMOLISH AND REMOVE EXISTING ASPHALT CURB. CONSTRUCT NEW ASPHALT TRANSITION BETWEEN THE NEW WORK AND EXISTING ASPHALT SURFACE IN A SMOOTH AND WORKMANLIKE MANNER. PER DETAIL 9/S5.1
- CONSTRUCT SIDEWALK CULVERT FOR DRAINAGE PER COA DETAIL 2236.

LEGEND

---	-6510-	EXISTING INDEX CONTOUR	⊙	EXISTING SANITARY SEWER MANHOLE
----	-6509-	EXISTING INTERIM CONTOUR	⊙	NEW SANITARY SEWER MANHOLE
---	-10-	NEW INDEX CONTOUR	⊙	NEW SANITARY SEWER CLEANOUTS
---	-09-	NEW INTERIM CONTOUR	→	DIRECTION OF FLOW
---	-09-	NEW WATER SURFACE	⊙	EXISTING FIRE HYDRANT
---	-09-	NEW SPOT ELEVATION (F.G. OR B.C.)	⊙	EXISTING GATE VALVE
---	+22.8	NEW CONCRETE SIDEWALK	⊙	EXISTING BUILDING
---	Qoff = XX.X	EXISTING CONCRETE SIDEWALK	⊙	NEW BUILDING
---	Qon = XX.X	OFF-SITE FLOW	FF	FINISH FLOOR ELEVATION
---		ON-SITE FLOW		

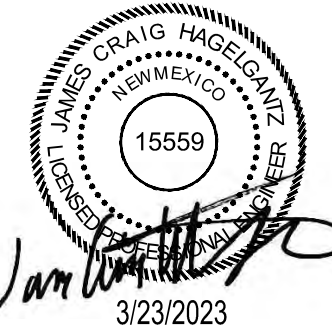
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J. KORY BAKER ARCHITECT

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WAGONER BUILDING

ALBUQUERQUE • NEW MEXICO

SITE GRADING AND DRAINAGE PLAN

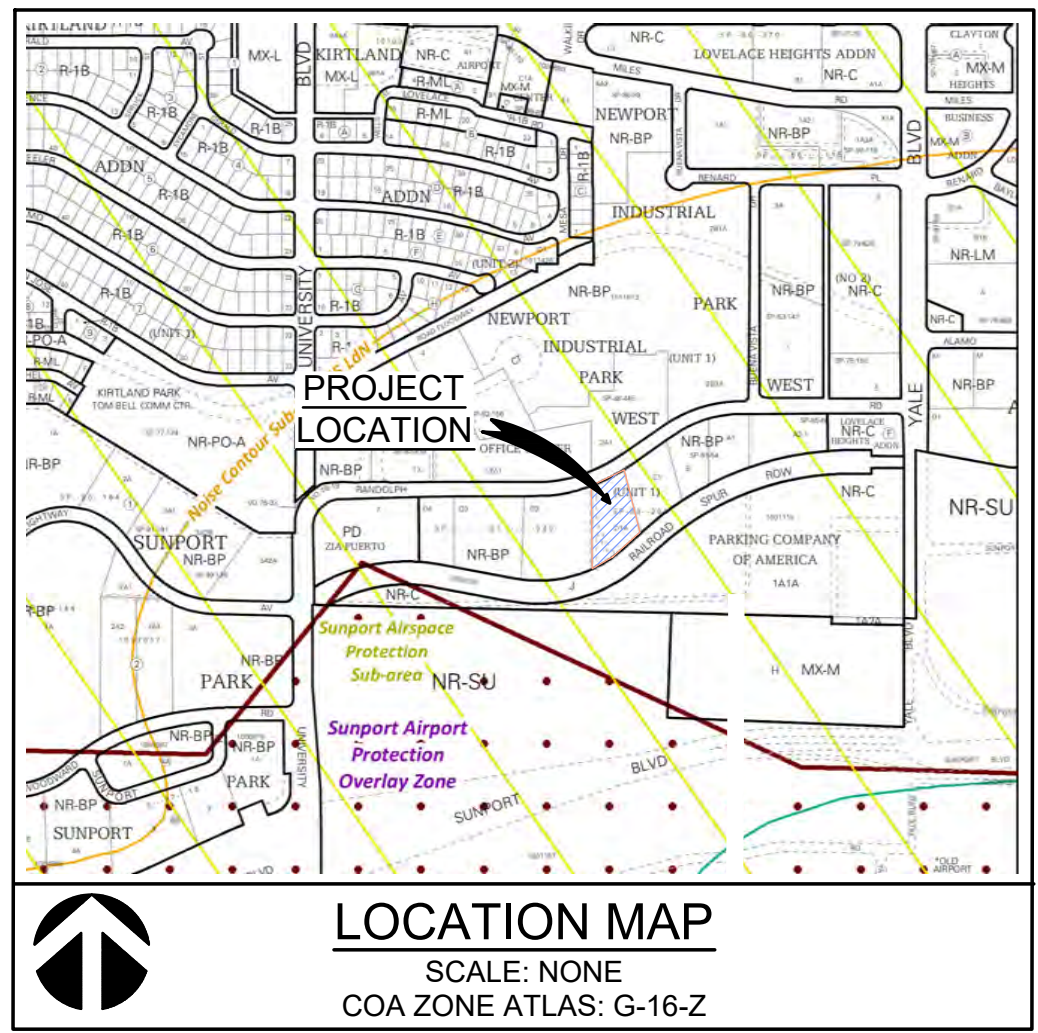
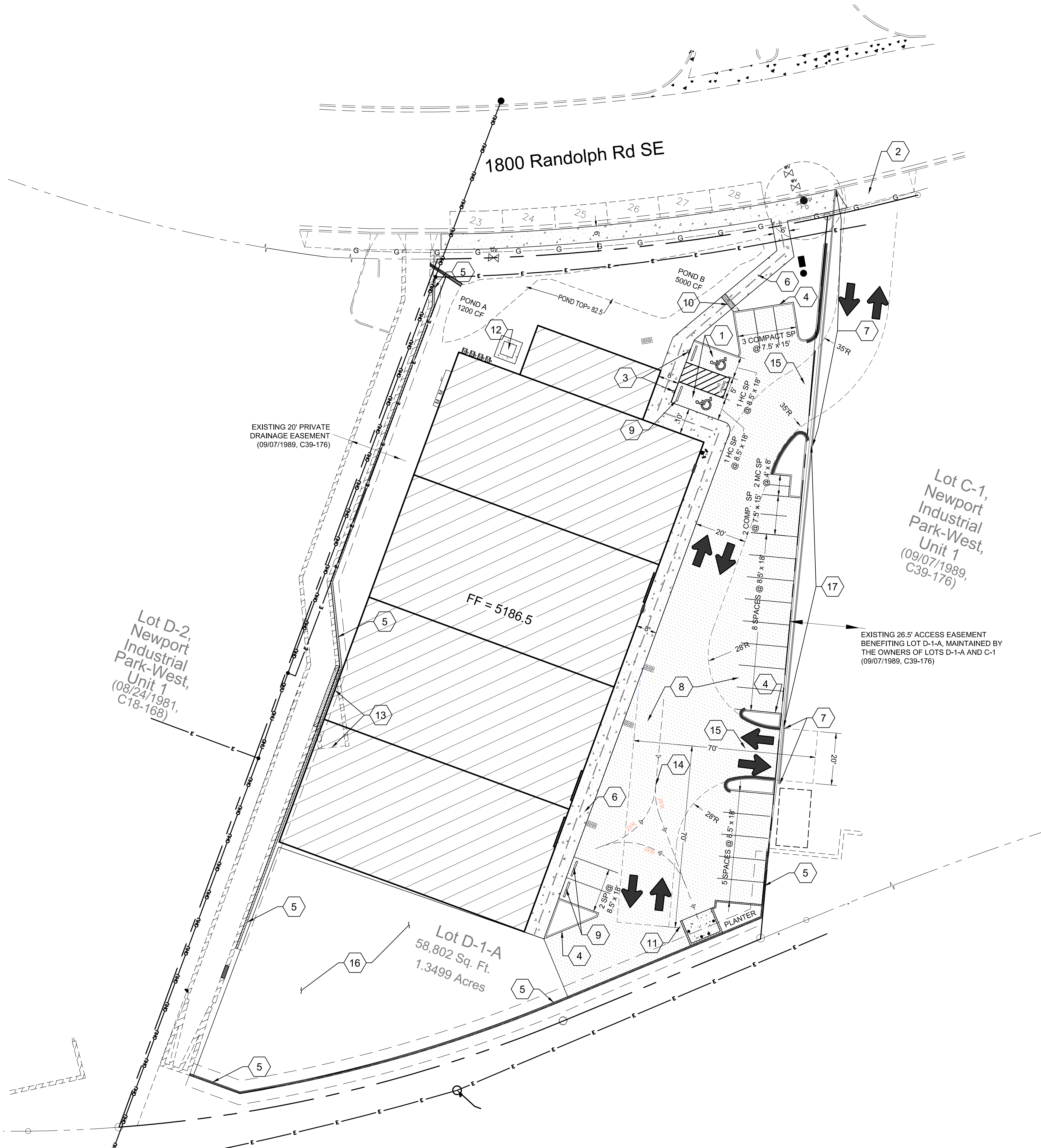
DRAWN BY: JCH
DATE: 03-23-23

C1.1

LAST MODIFIED: Mar 24, 2023 - 10:57am BY USER: Craig
DWG. LOCATION: K:\Projects\2022\22-036\Civil\1
DWG. NAME: 22-036 Civil.dwg

CIVIL SITE & TRAFFIC CONTROL PLAN

Scale: 1" = 20'



KEYED NOTES

- NEW ACCESSIBLE PARKING SPACE. SEE DETAIL 1/C5.1.
- SITE ACCESS THRU EXISTING CONCRETE DRIVE WAY.
- CONSTRUCT NEW ACCESSIBLE PARKING SIGN. SEE DETAIL 2/C5.1.
- CONSTRUCT NEW HEADER CURB PER COA STD DWG 2415B.
- CONSTRUCT NEW RETAINING WALL. SEE SHEET C1.1A.
- CONSTRUCT NEW CONCRETE WALK. SEE DETAIL 4/C5.1.
- REMOVE EXISTING ASPHALT CURB SEE SHEET C1.1 GRADING AND DRAINAGE & DETAIL 9/C5.1
- INSTALL NEW ASPHALT PAVEMENT. SEE DETAIL 3/C5.1.
- INSTALL CONCRETE WHEEL STOP. SEE DETAIL 5/C5.1.
- CONSTRUCT SIDEWALK CULVERT FOR DRAINAGE PER COA DETAIL 2236.
- CONSTRUCT STANDARD DUMPSTER ENCLOSURE PER COA SOLID WASTE MANAGEMENT DEPARTMENT DETAIL.
- CONSTRUCT NEW 5'x5' CONCRETE TRANSFORMER PAD.
- DEMOLISH AND REMOVE PORTION OF EXISTING DRAINAGE STRUTURE BELOW FOOTPRINT OF NEW BUILDING.
- PATH OF REFUSE VEHICLE, NO OTHER DELIVERY VEHICLES REQUIRED.
- PAVED ACCESS LANE INTO SITE HAS SLOPE LESS THAN OR EQUAL TO 10%.
- 6" AGGREGATE BASE COURSE SEE DETAIL 3/C5.1. (NO ASPHALT)
- EXISTING ASPHALT CURB TO REMAIN.

SITE PARKING CALCULATIONS

PARKING SPACES REQUIRED = 22

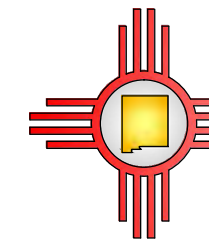
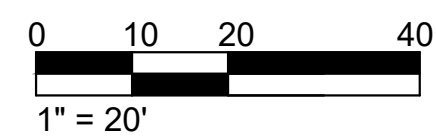
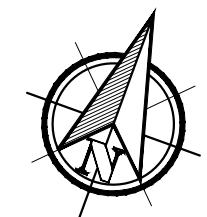
PARKING SPACES PROVIDED:

ADA ACCESSIBLE SPACES = 2 (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES = 17
COMPACT PARKING SPACES = 3
ON-STREET PARKING SPACES = 6
TOTAL PARKING SPACES = 28

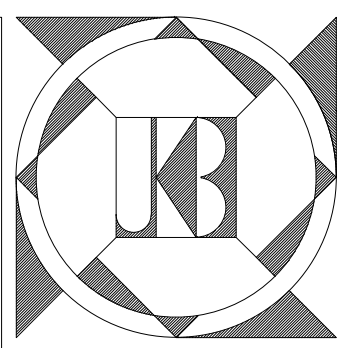
MOTORCYCLE SPACES REQUIRED = 1 PROVIDED = 2
BICYCLE SPACES REQUIRED = 3 PROVIDED = 3

LEGEND

	NEW ASPHALT PAVEMENT
	EXISTING CONCRETE SIDEWALK
	NEW CONCRETE SIDEWALK
	EXISTING BUILDING
	NEW BUILDING
	FINISH FLOOR ELEVATION
	EXISTING SANITARY SEWER MANHOLE
	NEW SANITARY SEWER MANHOLE
	NEW SANITARY SEWER CLEANOUTS
	DIRECTION OF FLOW
	EXISTING FIRE HYDRANT
	EXISTING GATE VALVE
	NEW FIRE HYDRANT
	NEW GATE VALVE
	NEW WATERLINE
	NEW WATER METER
	EXISTING OVERHEAD ELECTRIC LINE
	TRAFFIC CIRCULATION PATH (NO PAVMENT STRIPING)
	FIRE LANE CURB STRIPING AND WALL SIGNAGE
	ADA ACCESSIBLE PATHWAY TO MAIN ENTRY



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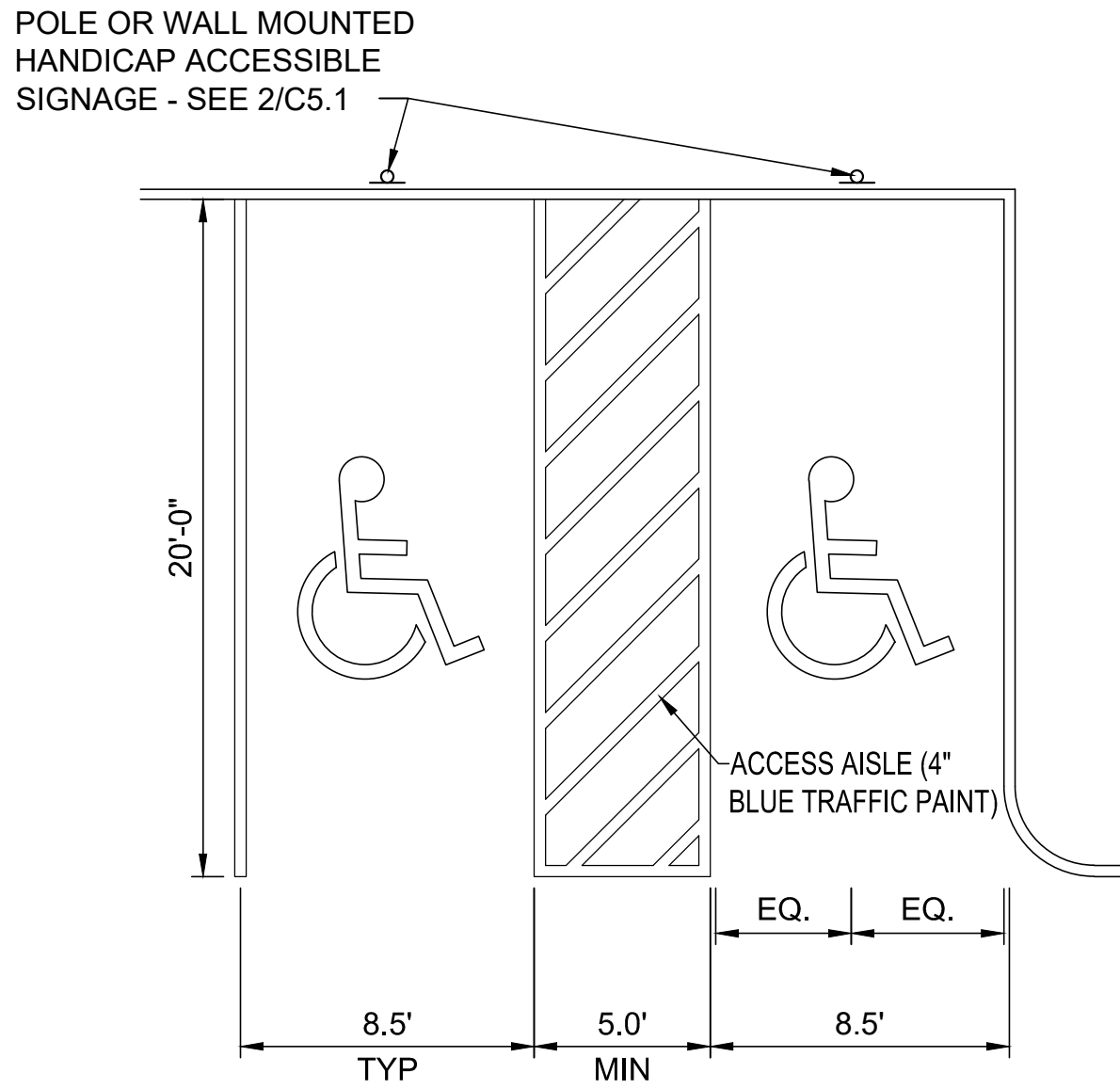
WAGONER BUILDING

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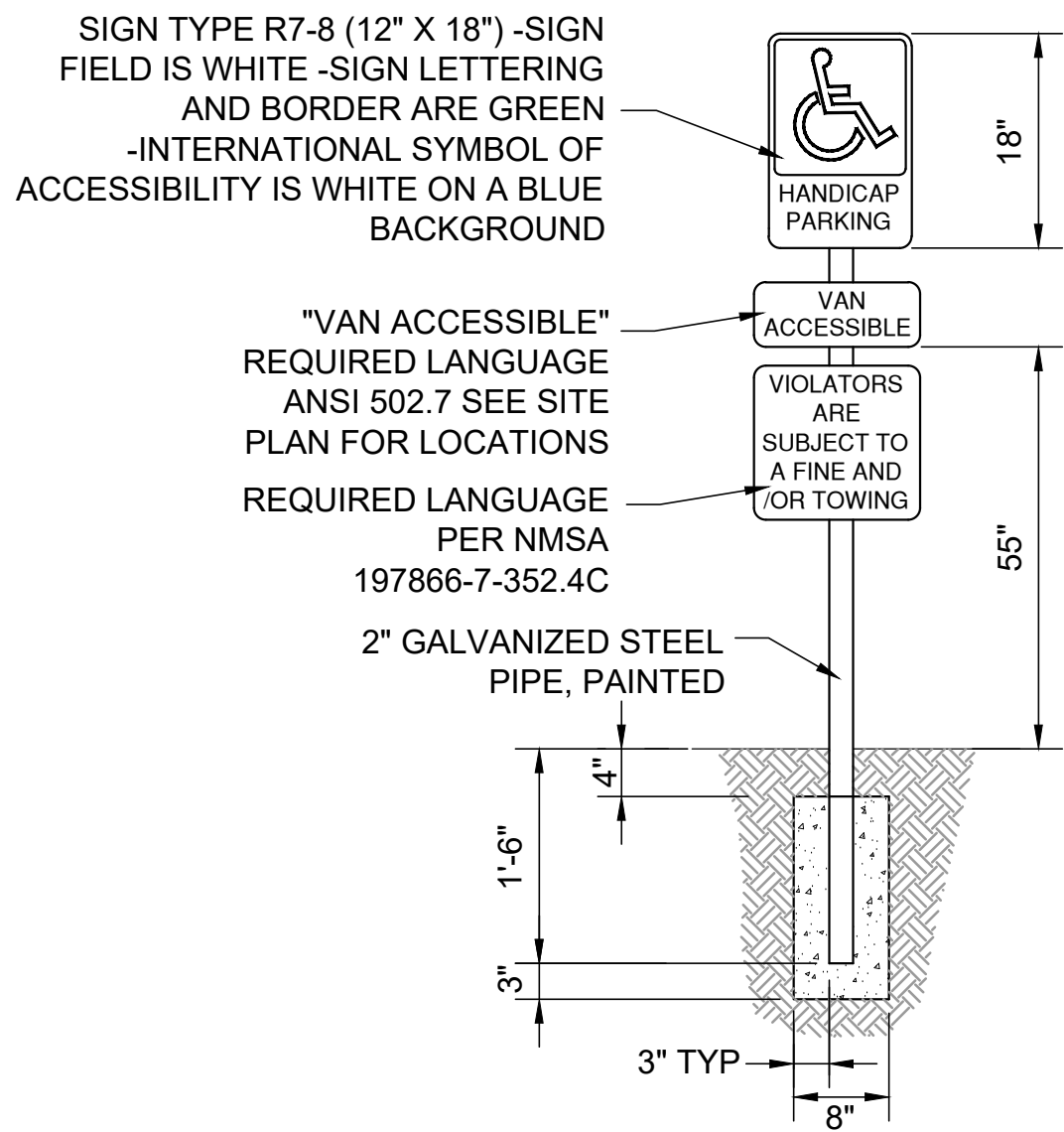
CIVIL SITE & TRAFFIC CONTROL PLAN

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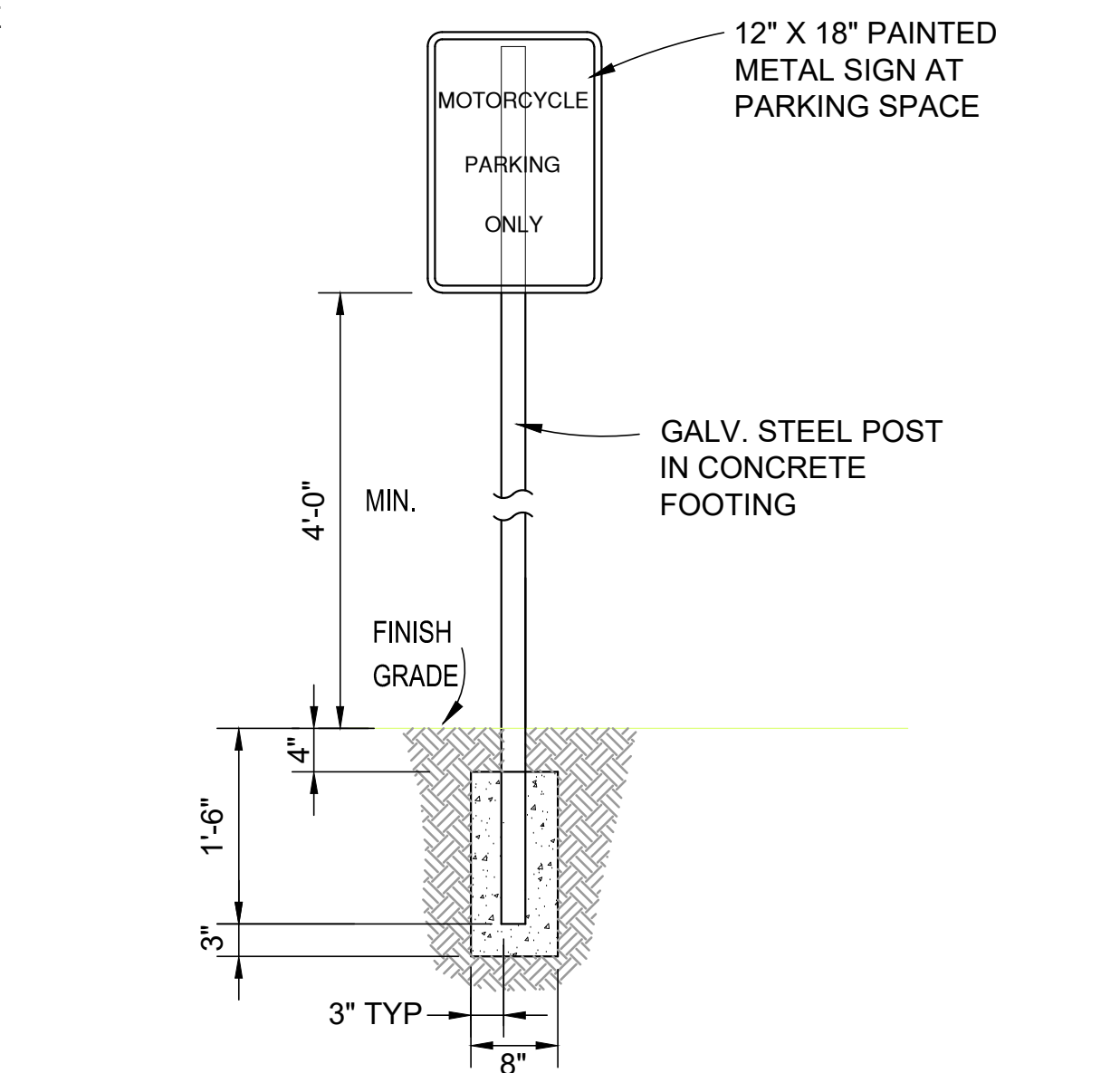
C1.2



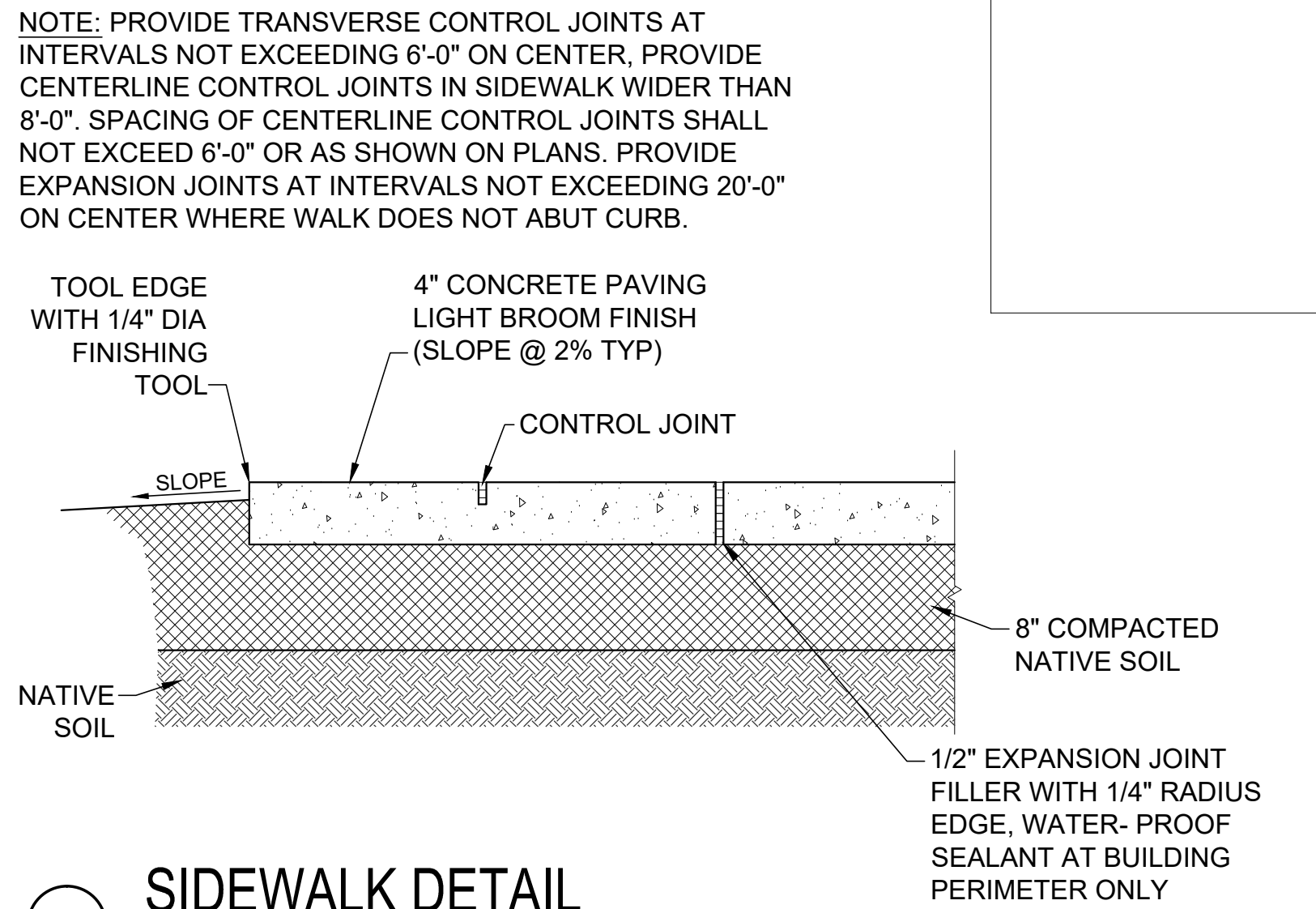
1 HANDICAP ACCESSIBLE PARKING LAYOUT
Scale: NONE



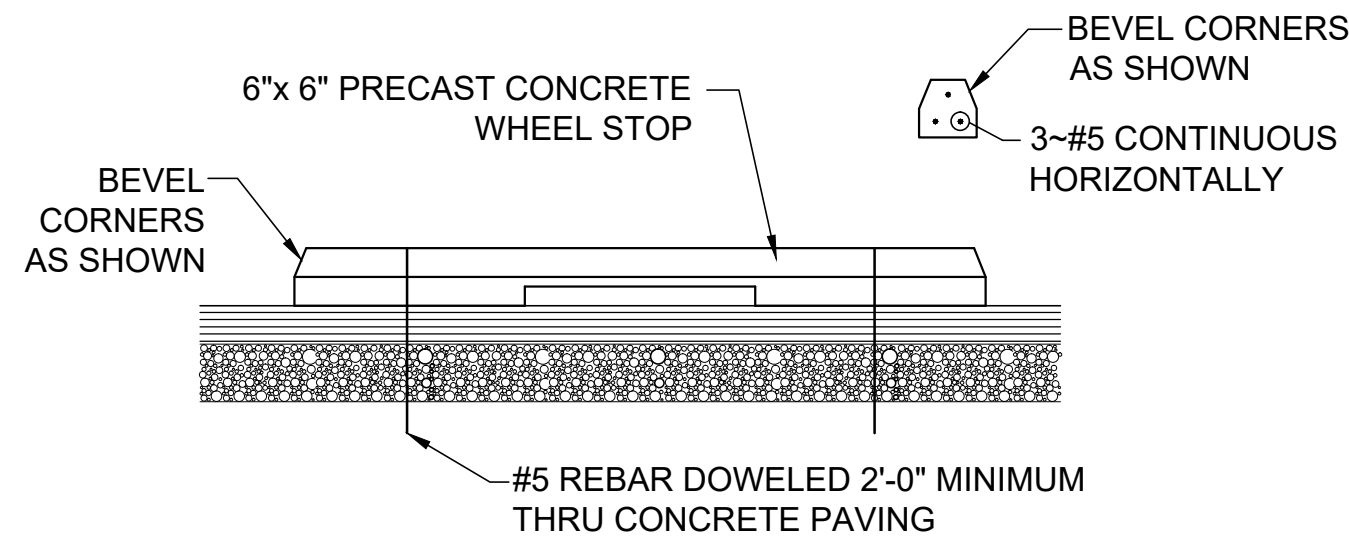
2 HANDICAP ACCESSIBLE PARKING SIGN
Scale: NONE



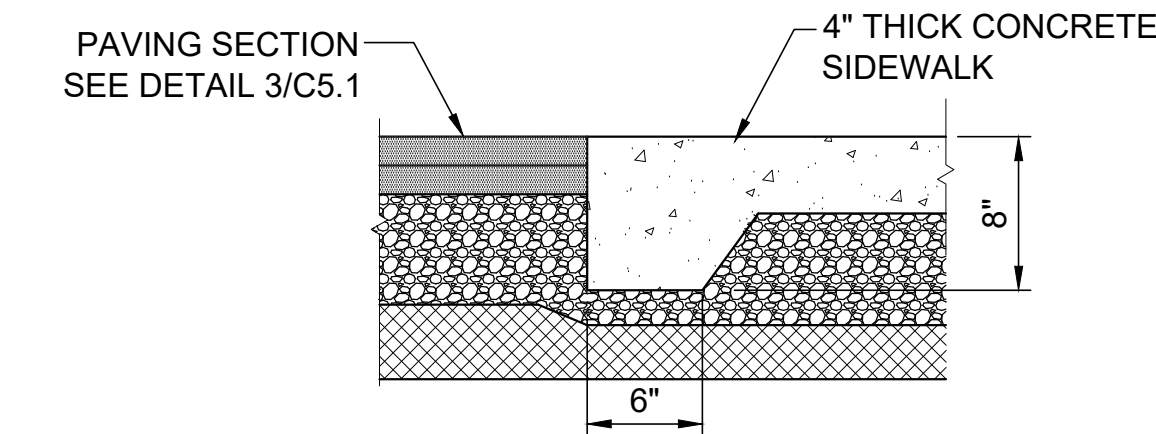
3 MOTORCYCLE PARKING STALL SIGN
Scale: NONE



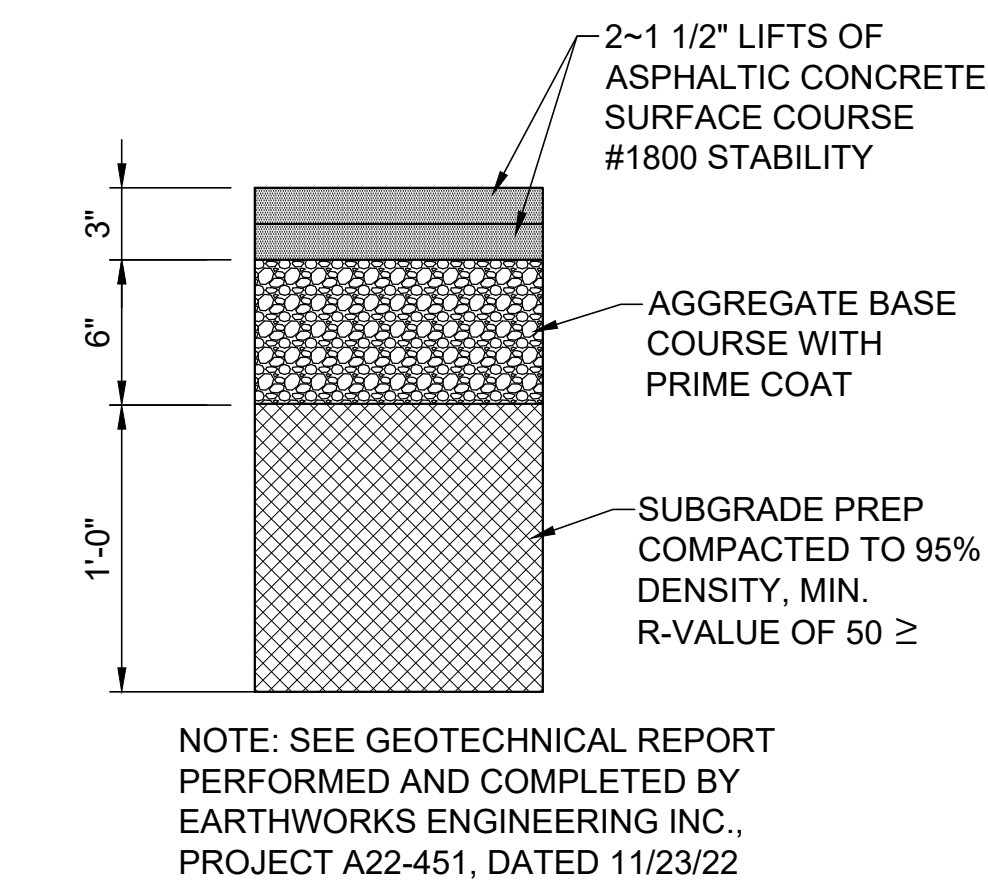
4 SIDEWALK DETAIL
Scale: NONE



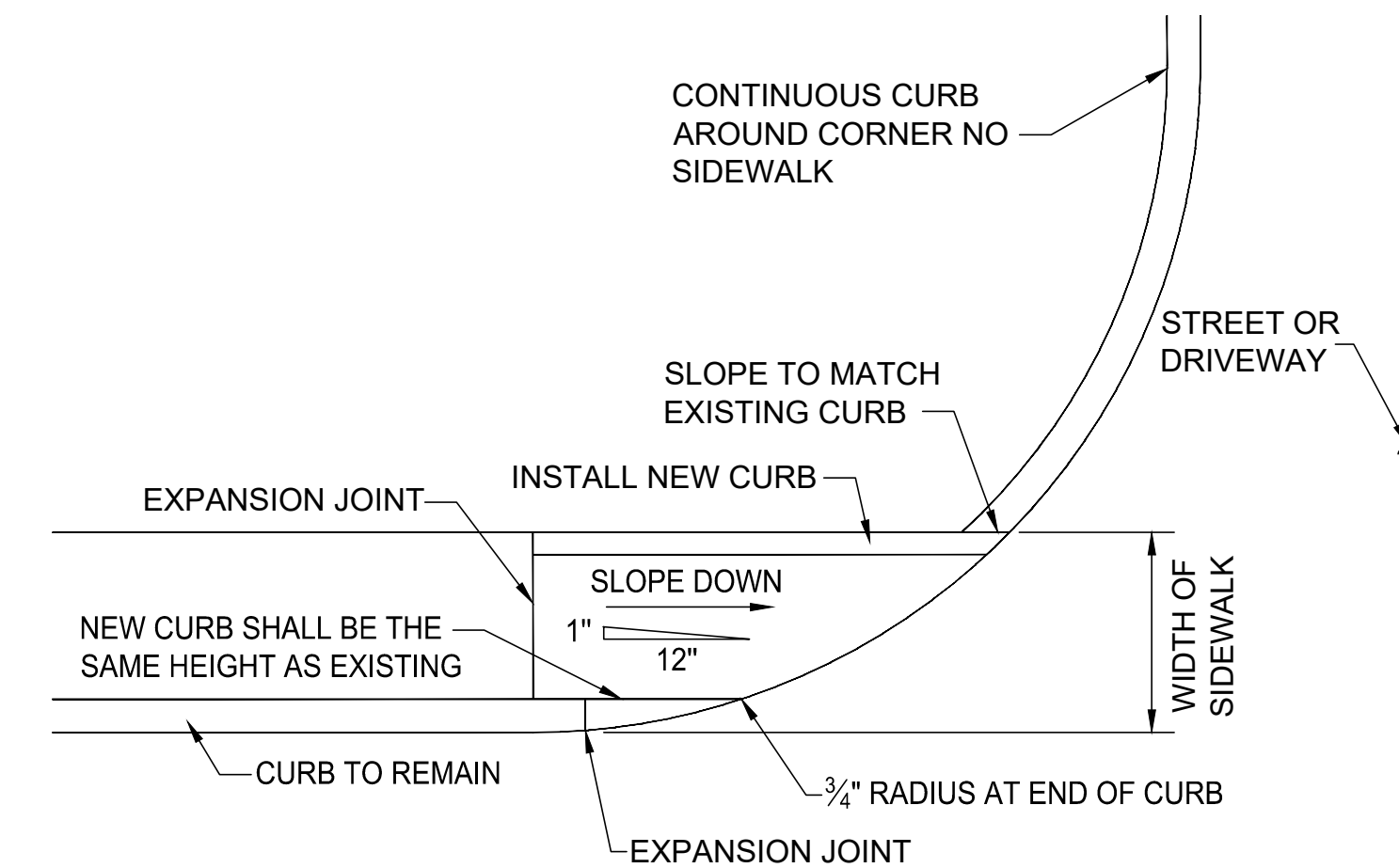
5 WHEEL STOP DETAIL
Scale: NONE



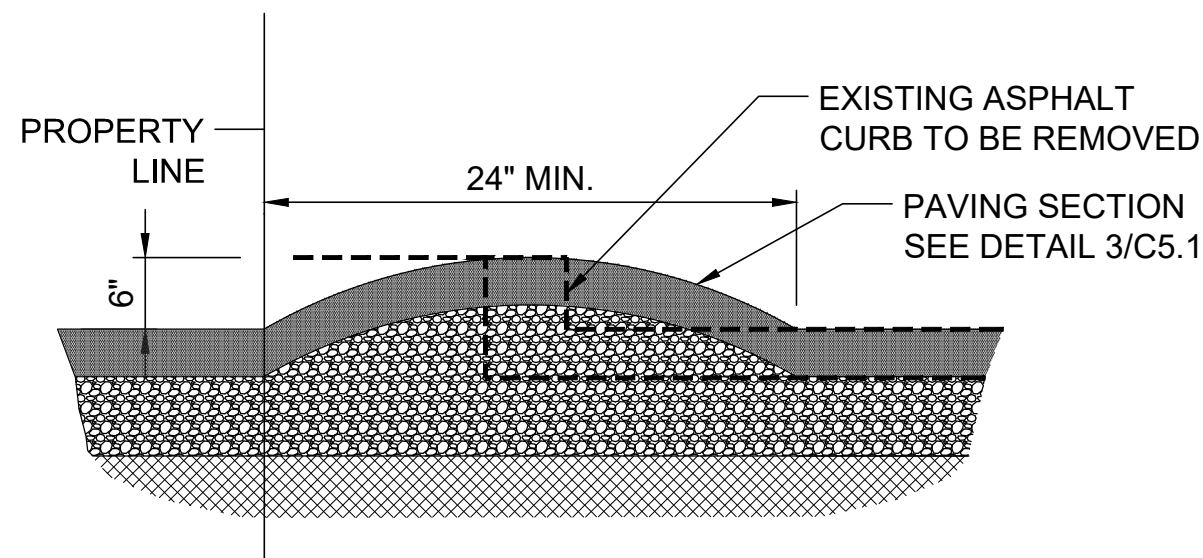
6 SIDEWALK TO ASPHALT TRANSITION
Scale: NONE



7 PAVING SECTION
Scale: NONE



8 HANDICAP ACCESSIBLE SIDEWALK RAMP
Scale: NONE



9 WATER BREAK AT PROPERTY LINE
Scale: NONE

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