



April 3, 2025

Development Facilitation Team  
Plaza Del Sol Building  
600 2<sup>nd</sup> NW  
Albuquerque, NM 87102

**RE: SKETCH PLAN – 1020 JUAN TABO – MISTER CAR WASH**  
**NORTHERLY 135 FT TRACT OF LAND IN PORTION W/2 OF SW/4 OF SEC 15 T10N R4E & WEST**  
**½ VACATED ALLEY WAY**  
**ACRES: 0.9607**

Dear DFT Members,

Tierra West LLC is requesting a Sketch Plan review and comments for a proposed 4,720 square foot self-service car wash facility. The subject site is located at 1020 Juan Tabo Blvd NE, legally described as Northerly 135 FT Tract of Land in Portion W/2 Of SW/4 Of Sec 15 T10N R4E & West 1/2 Vacated Alley Way approximately 1.0 acre in area

### Planning Context

The subject site is zoned as Mixed Use – Medium Intensity. The parcel abuts Mountain Rd NE to the north, Juan Tabo Blvd NE to the west, a parcel zoned for MX-L to the south and a parcel zoned MX-L across Mountain Rd NE to the north. The property directly abutting the subject site to the east is zoned R-1C. See figure 1 below.

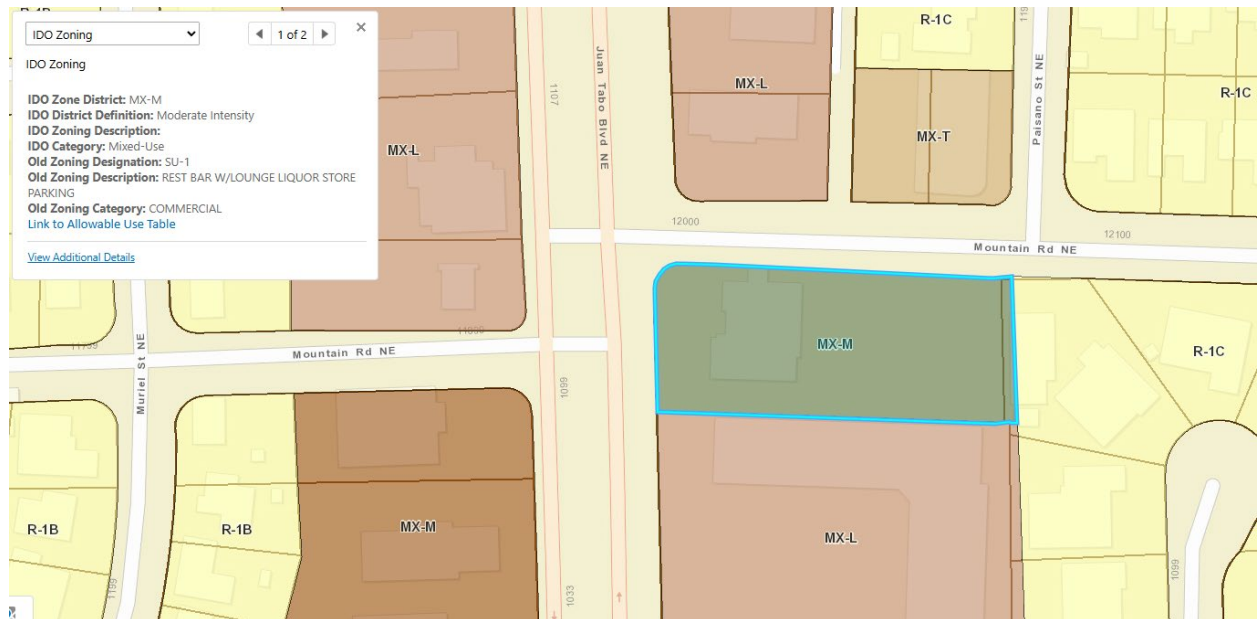


Figure 1: Zoning

The subject site previously had a commercial building which was vacant. The building was recently demolished to prepare for the proposed development. Land uses abutting the subject site include residential development to the east, and commercial development to the north, west, and south. See figure 2 below.

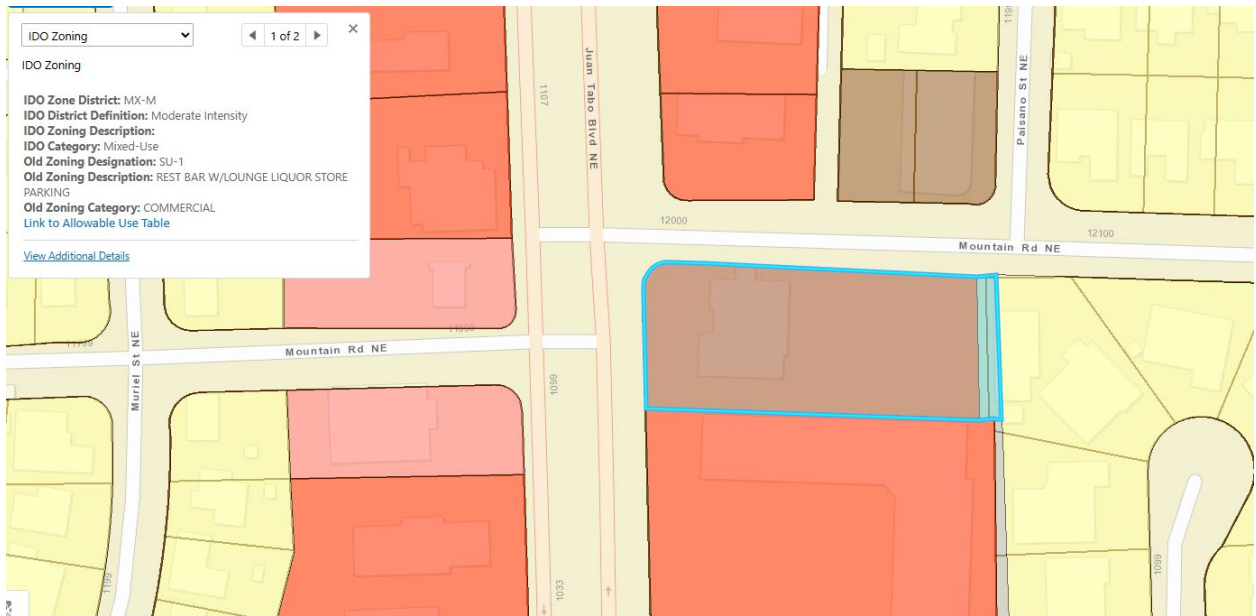


Figure 2: Land Use

The subject site is designated as an Area of Change and abuts an Area of Consistency to the east. Juan Tabo Blvd NE is designated as a multi-modal corridor. See figure 3 below.

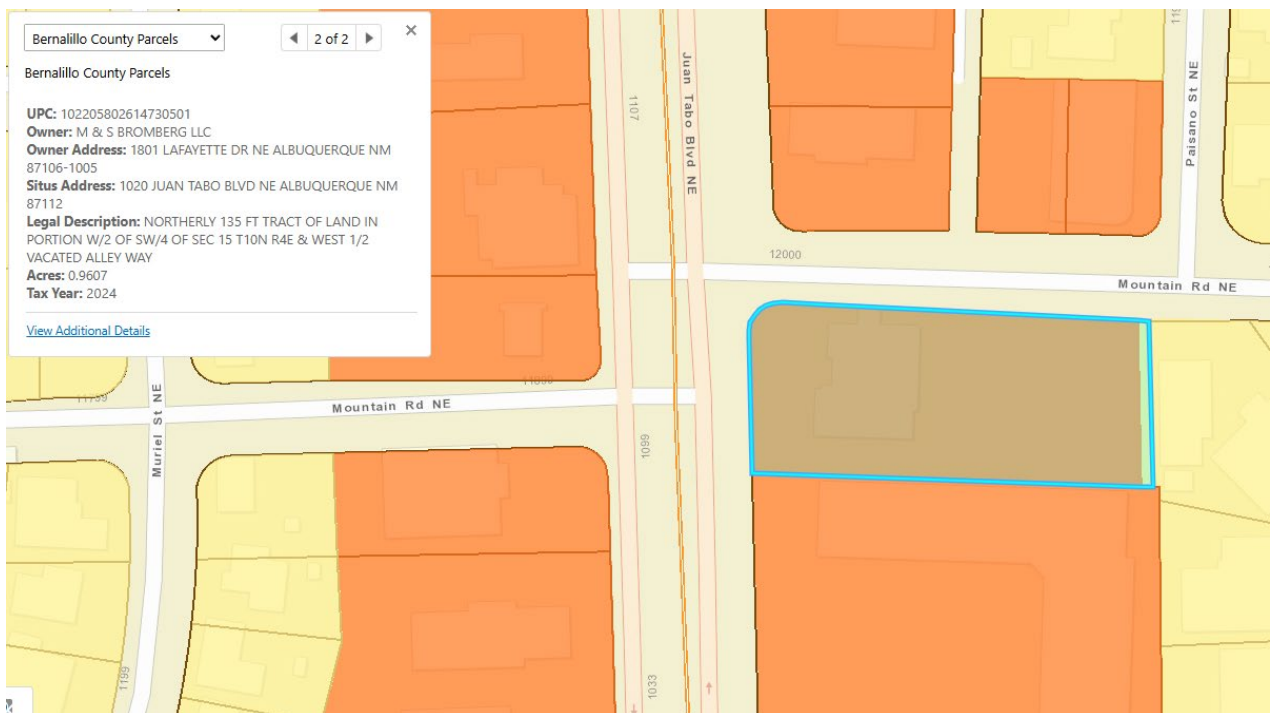


Figure 3: Comprehensive Plan Designations

## Request

The proposed development is a 4,720 square foot Self-Service car wash, which is allowed in the MX-M zone district per IDO Table 4-2-1 Allowable Uses. We seek review and comments from DFT to establish the appropriate entitlement process and for clarification on the following:

1. *What are the landscape buffer requirements along Mountain Rd?*
  - a. *Would a reduction in the required landscape buffer width along Mountain require ZHE Variance approval?*
2. *What are the public infrastructure improvement requirements along Mountain Rd and Juan Tabo Blvd NE, i.e., sidewalk?*
3. *Are Recycling Dumpsters required on-site?*
4. *Would a Fee in Lieu option be acceptable for drainage (Hydrology)?*

*The site is going to be a full redeveloped site.*  
*This means we need to account for 0.26" or 0.0217' of Storm Water*  
 $0.9607 \text{ Acres} \times (1 \text{ acre} / 43560 \text{ sf}) = 41,848.09 \text{ SF.}$   
 $\text{Total Volume} = (41,848.09 \times 0.0217) = 908.1 \text{ CF}$   
 $\text{Total Fee in-lieu} = \$8/\text{CF} \times 908.1 \text{ CF} = \$7,264.83$

We have submitted a water availability request to ABCWUA and have received approval on the Fire One Plan. We have an approved conceptual traffic circulation layout (TCL).

## Conclusion

We are seeking review and comment on the provided site plan for a proposed 4,720 square foot self-service car wash facility. We have received approval on conceptual TCL and will submit other associated drawings/applications including Grading and Drainage, Utility, and Site Plan for Building Permit following the DFT meeting.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,



Sergio Lozoya  
Sr. Planner

JN: 2025017  
sl/db