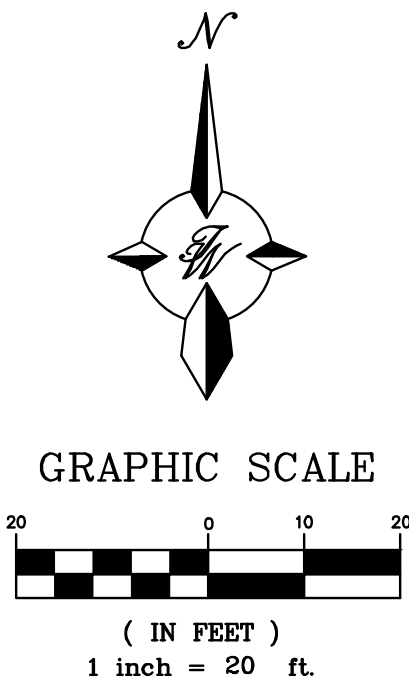


SITE DATA

PROPOSED USAGE	CAR WASH
LOT AREA	41485 SF (0.95 ACRES)
ZONING	MX-M
BUILDING AREA	4720 SF
BUILDING SETBACK	
FRONT (WEST)	5'
REAR (EAST)	15'
SIDE (NORTH AND SOUTH)	5'
PARKING REQUIRES	5 (1 SPACE PER 1000 SF)
PARKING PROVIDED	18 SPACES (2 ACCESSIBLE SPACE)
MOTORCYCLE SPACES REQUIRED	1 SPACE
MOTORCYCLE SPACES PROVIDED	1 SPACE
BICYCLE SPACES REQUIRED	2 SPACES
BICYCLE SPACES PROVIDED	2 SPACES
LANDSCAPE REQUIRED	5515 SF (15% NET AREA, 36765 SF)
LANDSCAPE PROVIDED	6210 SF




LEGEND

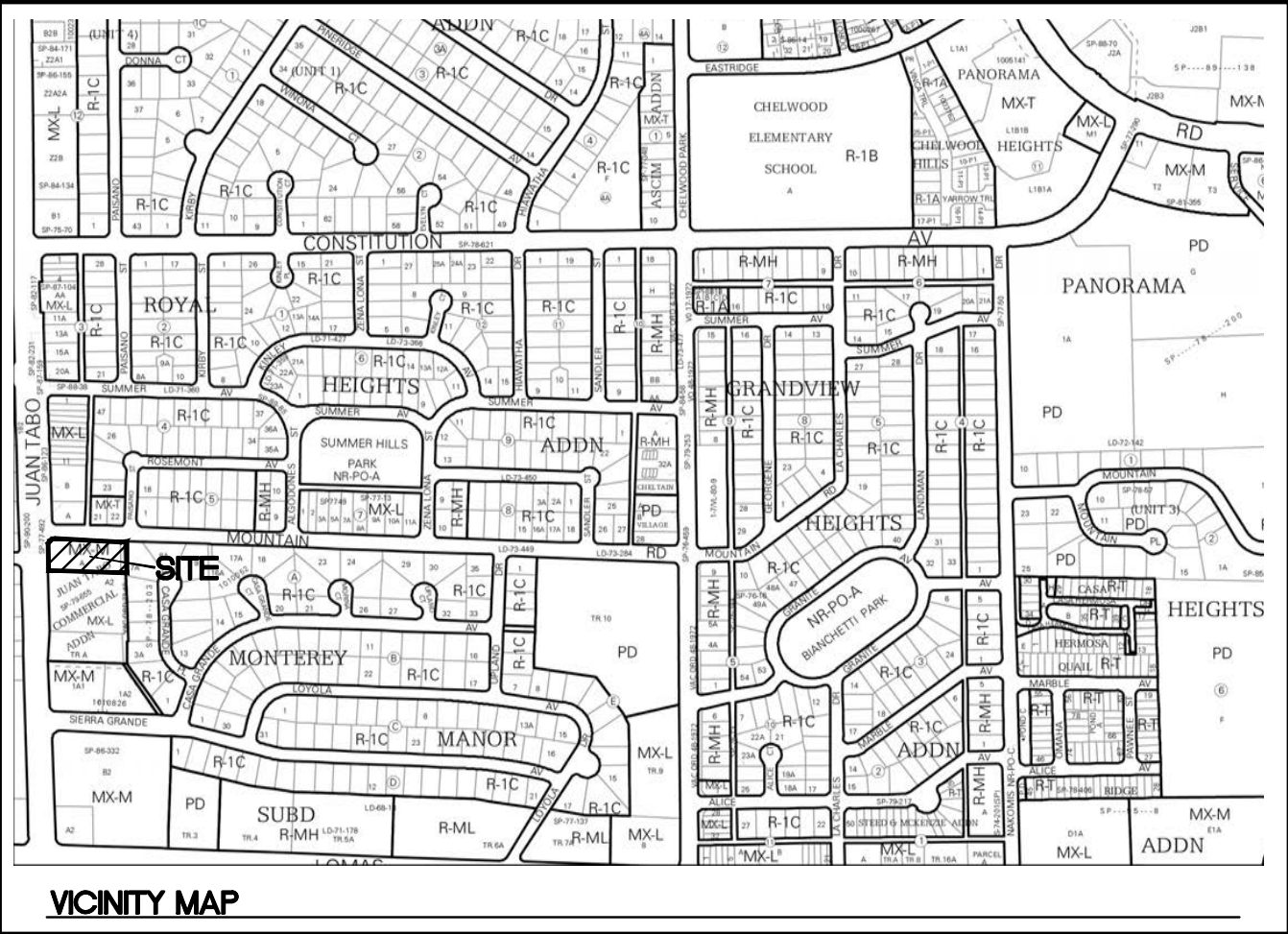
	CURB & GUTTER
	PROPOSED TRACT 18-A BOUNDARY LINE
	BUILDING
	EXISTING CURB & GUTTER



KEYED NOTES

- UNIDIRECTIONAL ACCESSIBLE RAMP, SEE DETAIL SHEET DET-1
- EXISTING ACCESSIBLE RAMP
- EXISTING DRIVEWAY PAD
- EXISTING CONCRETE SIDEWALK
- CONCRETE SIDEWALK PER ARCHITECTS PLAN
- DUMPSTER
- MECHANICAL ROOM
- VACCUUM ASSEMBLY (TYP)
- EXISTING WALL
- BICYCLE RACK
- NEW DRIVEWAY

<div>ENGINEER'S SEAL</div> <div></div> <div></div> <div>3-26-25</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	MISTER CAR WASH ALBUQUERQUE, NM	DRAWN BY pm
	TRAFFIC CIRCULATION PLAN	DATE 3-26-25
		DRAWING
		SHEET # SP-1
<div> <i>TIERRA WEST, LLC</i></div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>		JOB # 2025017

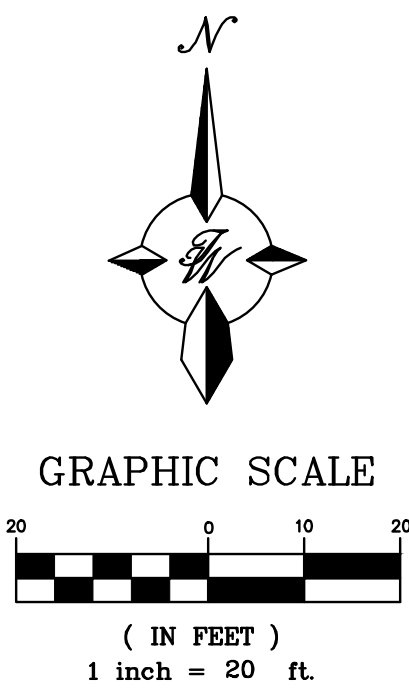


SITE DATA

PROPOSED USAGE	CAR WASH
LOT AREA	41485 SF (0.95 ACRES)
ZONING	MX-M
BUILDING AREA	4720 SF
BUILDING SETBACK	
FRONT	5'
REAR	0'
SIDE	0'
PARKING PROVIDED	5 SPACES (EMPLOYEE PARKING)
LANDSCAPE REQUIRED	5515 SF (15% NET AREA, 36765 SF)
LANDSCAPE PROVIDED	6261 SF

LEGEND

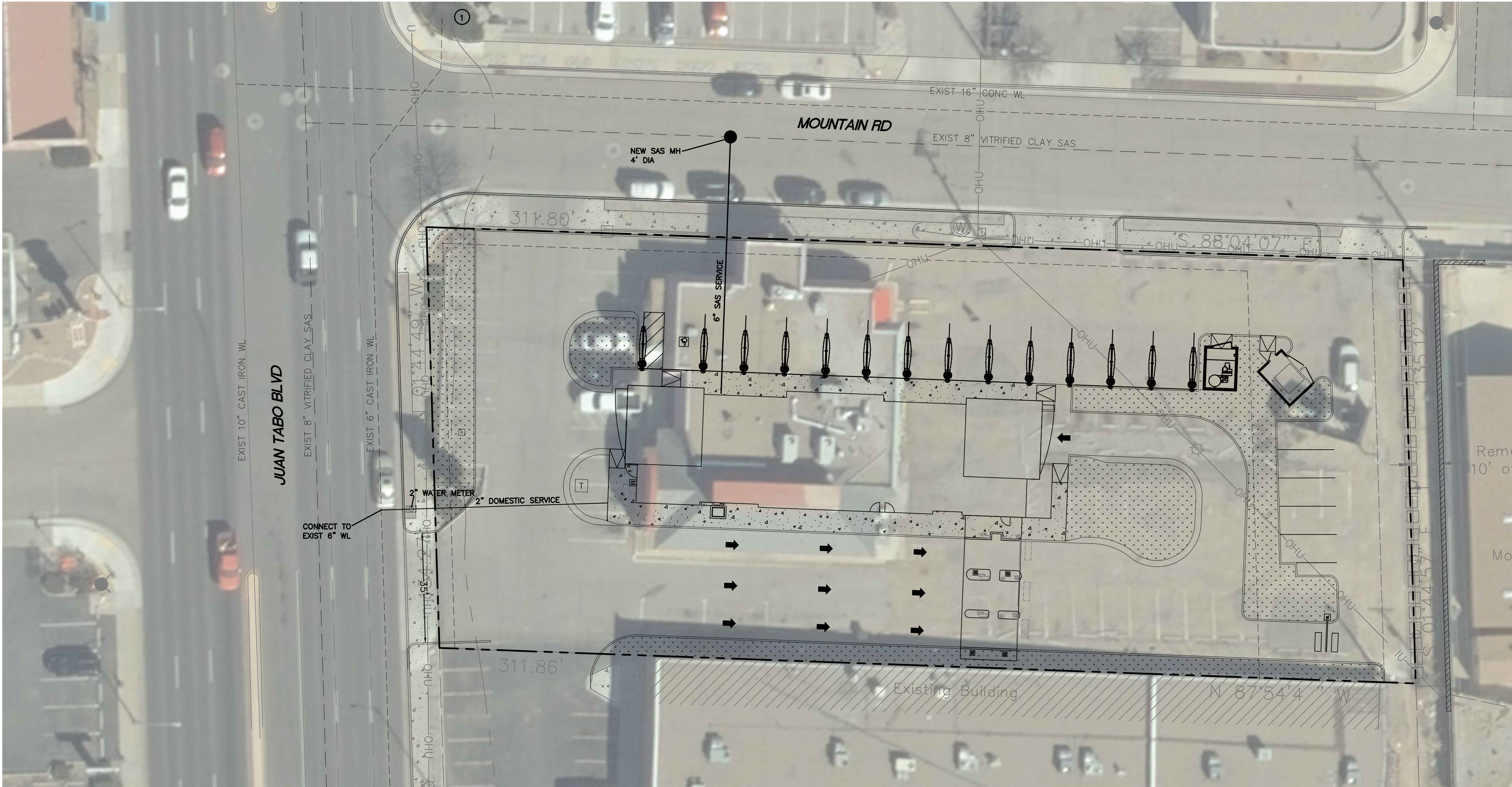
	CURB & GUTTER
	PROPOSED TRACT 18-A BOUNDARY LINE
	BUILDING
	EXISTING CURB & GUTTER



KEYED NOTES

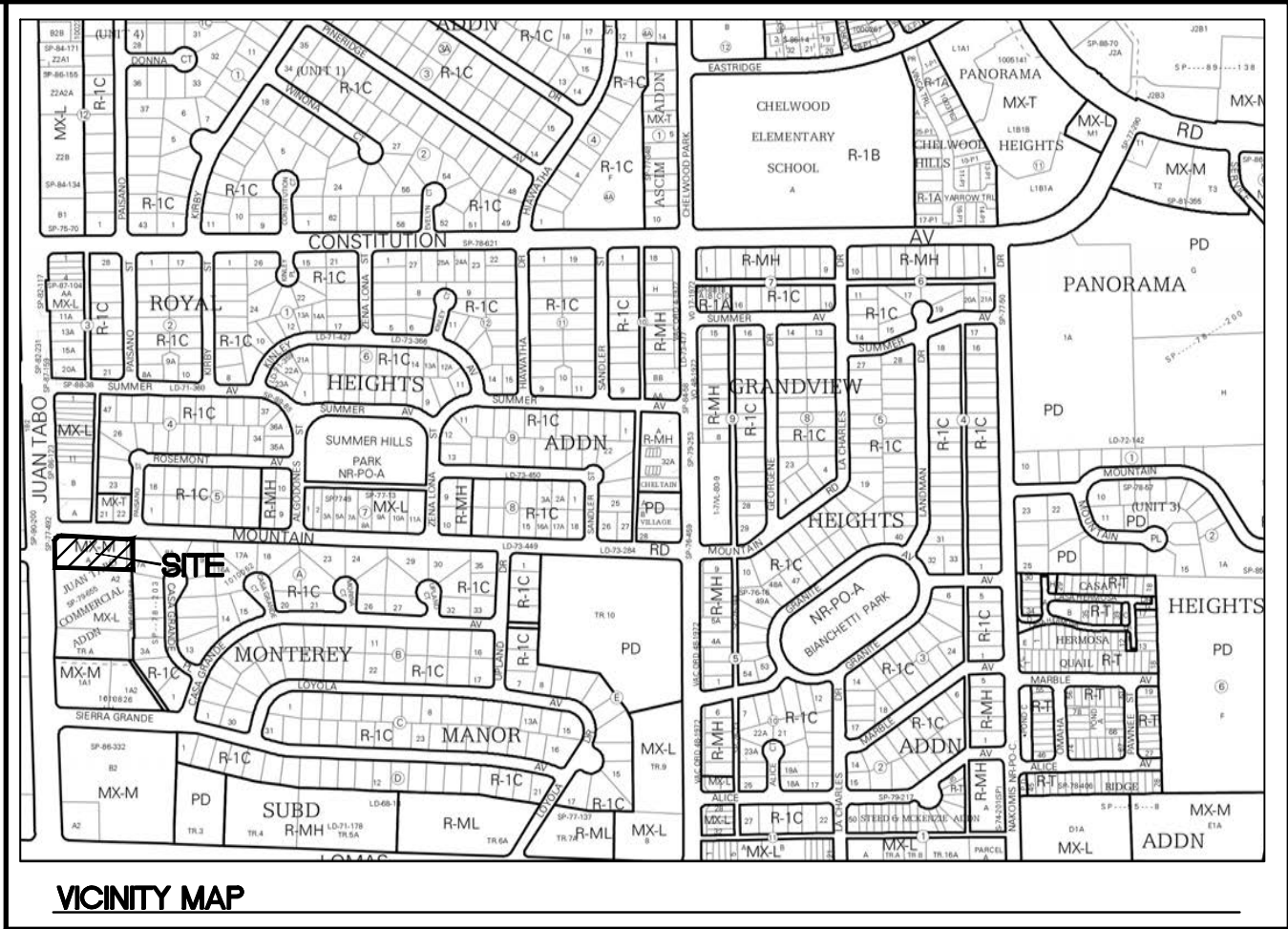
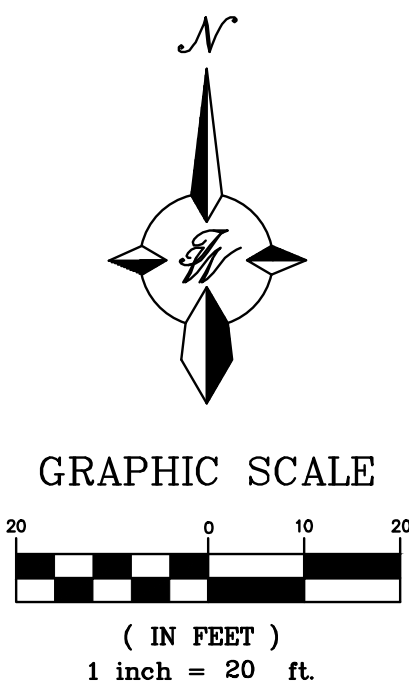
- UNIDIRECTIONAL ACCESSIBLE RAMP, SEE DETAIL SHEET DET-1
- EXISTING ACCESSIBLE RAMP
- EXISTING DRIVEWAY PAD
- EXISTING CONCRETE SIDEWALK
- CONCRETE SIDEWALK PER ARCHITECTS PLAN
- DUMPSTER
- MECHANICAL ROOM
- VACCUUM ASSEMBLY (TYP)

 RONALD R. BOHANNAN P.E. #7868	MISTER CAR WASH ALBUQUERQUE, NM	DRAWN BY pm
	TRAFFIC CIRCULATION PLAN	DATE 3-4-25
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # SP-1
		JOB # 2025017



LEGEND

- ==== CURB & GUTTER
- - - - - BOUNDARY LINE
- ===== BUILDING
- - - - - EXISTING CURB & GUTTER
- ⊙ EXISTING SAS MH
- ⊗ EXISTING GATE VALVE
- - - - - EXISTING WATERLINE
- - - - - EXISTING SAS
- - - - - 8" SAS
- - - - - 8" WL
- PROPOSED HYDRANT
- NEW SAS MH
- ⊗ NEW WATER VALVE
- ⊙ NEW SINGLE WATER METER
- - - - - SAWCUT LINE



GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF SANTA FE STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MIN RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	MISTER CAR WASH ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL UTILITY PLAN	DATE 3-4-25
	<div>TERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWING
		SHEET # MU-1
		JOB # 2025017