



PLAN SNAPSHOT REPORT PA-2025-00337 FOR CITY OF ALBUQUERQUE

Plan Type: Pre-Application Review **Project:** PR-2025-020129 (PR-2025-020129) **App Date:** 10/17/2025
Work Class: Sketch Plan **District:** City of Albuquerque **Exp Date:** 04/15/2026
Status: Fees Due **Square Feet:** 0.00 **Completed:** NOT COMPLETED
Valuation: \$0.00 **Assigned To:** **Approval**
Expire Date:
Description: A 4 story Echo Suites hotel with 113 rooms and supporting parking. The building height will approximately be 60-feet

Parcel: 101505653609740504	Main	Address: 99999 Yale Blvd Se Albuquerque, NM 87106	Zone:
		99999 Yale Blvd Se Albuquerque, NM 87106	Main

Engineer Sid Parekh Business: (832) 878-1262	Owner Tushar Patel 4520 Lower Terrace Cir NE A Albuquerque, NM 87111 Business: (505) 362-1702	Applicant Rizwan Najmi 4108 Northwest 143rd Street Oklahoma City, OK 73134 Business: (405) 420-0016
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Plan Custom Fields

Existing Project Number	N/A	Existing Zoning	MX-M - Mixed-Use - Medium Intensity	Number of Existing Lots	1
Number of Proposed Lots	1	Total Area of Site in Acres	1.26	Site Address/Street	99999 YALE BLVD SE ALBUQUERQUE 87106
Site Location Located Between Streets	Yale Blvd & Wilmore Drive SE	Case History	N/A	Do you request an interpreter for the hearing?	No
Square Footage of Existing Buildings	0	Square Footage of Proposed Buildings	46000	Lot and/or Tract Number	A1
Block Number	12	Subdivision Name and/or Unit Number	CLAYTON HEIGHTS	Legal Description	TR A-1 PLAT OF TRS A-1 & A-2 CLAYTON HEIGHTS SUBDCONT 1.2649 AC
Existing Zone District	MX-M	Zone Atlas Page(s)	L-15	Acreage	1.2649
Calculated Acreage	1.26493	Council District	6	Community Planning Area(s)	Near Heights
Airport Protection Overlay	Albuquerque International Sunport / Air Space Protection Sub-area	Development Area(s)	Change	Current Land Use(s)	15 Vacant
IDO Use Development Standards Name	South Yale Small Area	IDO Use Development Standards Subsection	Off-premises Signs (Prohibitions) (5-12)	IDO Use Specific Standards Name	South Yale Small Area, South Yale Small Area, South Yale Small Area, Airport Protection Overlay Zone (Albuquerque International Sunport)
IDO Use Specific Standards Subsection	Liquor Retail (Restrictions) (4-3(D)), WTF (Restrictions) (4-3(E)), Drive-through or Drive-up Facility (Prohibitions) (4-3(F)), Hot Air Balloon Takeoff and/or Landing (Prohibitions) (4-3(G))	Metropolitan Redevelopment Area(s)	Clayton Heights/Lomas del Cielo	IDO Administration & Enforcement Name	Airport Protection Overlay Zone (Albuquerque International Sunport), Albuquerque International Sunport / Air Space Protection Sub-area, Airport Protection Overlay Zone (Albuquerque International Sunport)
IDO Administration & Enforcement Subsection	Referrals to Commenting Agencies (6-4), Variance – ZHE / Variance in the APO Zone (6-6), Nonconforming Structures		(6-8)	Pre-IDO Zoning District	SU-2

PLAN SNAPSHOT REPORT (PA-2025-00337)

Pre-IDO Zoning Description	NMX	Major Street Functional Classification	3 - urban minor arterial	FEMA Flood Zone	X
Total Number of Dwelling Units	0	Total Gross Square Footage2	0	Total Gross Square Footage4	0
Total Gross Square Footage	0	Total Gross Square Footage3	0		

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Rizwan_Najmi_10/18/2025.jpg	10/17/2025 19:50	Najmi, Rizwan		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00056990	Technology Fee	\$3.50	\$3.50
	Sketch Plat/Plan Fee	\$50.00	\$50.00
Total for Invoice INV-00056990		\$53.50	\$53.50
Grand Total for Plan		\$53.50	\$53.50

Meeting Type	Location	Scheduled Date	Subject
DFT Meeting v.1	Zoom	11/05/2025	Sketch Plat

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Screening v.1		10/27/2025 16:39	10/29/2025 15:23
Associate Project Number v.1	Generic Action		10/27/2025 16:39
DFT Meeting v.1	Hold Meeting	10/29/2025 15:21	10/29/2025 15:22
Screen for Completeness v.1	Generic Action		10/29/2025 15:22
Verify Payment v.1	Generic Action		10/29/2025 15:23
Application Review v.1			
Sketch Plat/Plan Review v.1	Receive Submittal		
DFT Comments Submittal v.1	Generic Action		



October 17, 2025

Planning Department
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Subject: Request for sketch plan review – Proposed Hotel Project

Planning Department,

We are writing to formally request a sketch plan review for a proposed hotel development located within the City of Albuquerque. Our intent is to obtain comprehensive feedback from the relevant City departments prior to commencing detailed design and construction documentation.

The proposed development involves the construction of a hotel, and we believe that an early review will provide valuable guidance on zoning, site access, utilities, drainage, and other regulatory requirements. This collaborative approach will help ensure that the design aligns with City standards and expectations, thereby streamlining the subsequent review and approval process.

We appreciate your time and assistance, and we look forward to working closely with the Planning Department to facilitate a successful and well-coordinated project.

Please let me know if you have any questions.

NAFA Engineering, pllc

Riz Najmi, PE

Member

Nafa Engineering
4108 NW 143rd Street
Oklahoma City, OK-73134
Phone: 405.420.0016

broad vision, narrow focus....

YALE BLVD. SE
(86' ROW)

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

PROJECT INFO:
PROJECT NUMBER: 25??
DRAWN BY: SP

REVISION:

- 1
- 2
- 3
- 4
- 5

SIDDHARTH PAREKH LEED AP BD+C

HARTH PAREKH LEE
8218 E MORGANS BEND DRIVE, CYPRESS, TX 77433
PH: (832) 878-1262 | E-Mail: sid@parekharch.com

ECHO SUITES
ALBUQUERQUE, NEW MEXICO

INS
QUE, NEW
PREPARED FOR:

ECHO SUITES
ALBUQUERQUE, NEW MEXICO
PREPARED FOR:
TNTJ GROUP OF COMPANIES

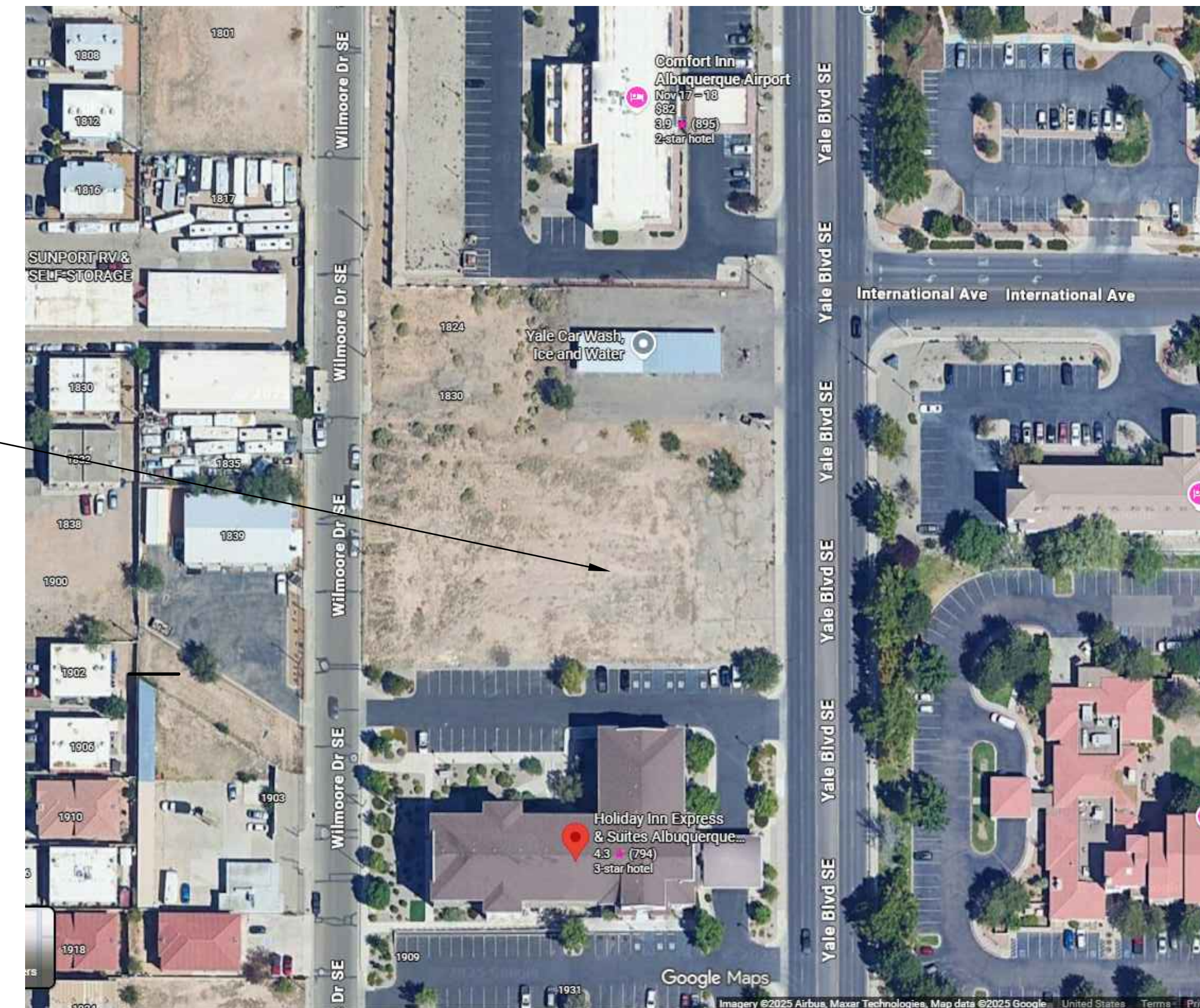
SHEET TITLE:
SITE PLAN

SCALE: 1" = 20'-0"
DATE: 10-08-2025

SHEET NUMBER

A0.01

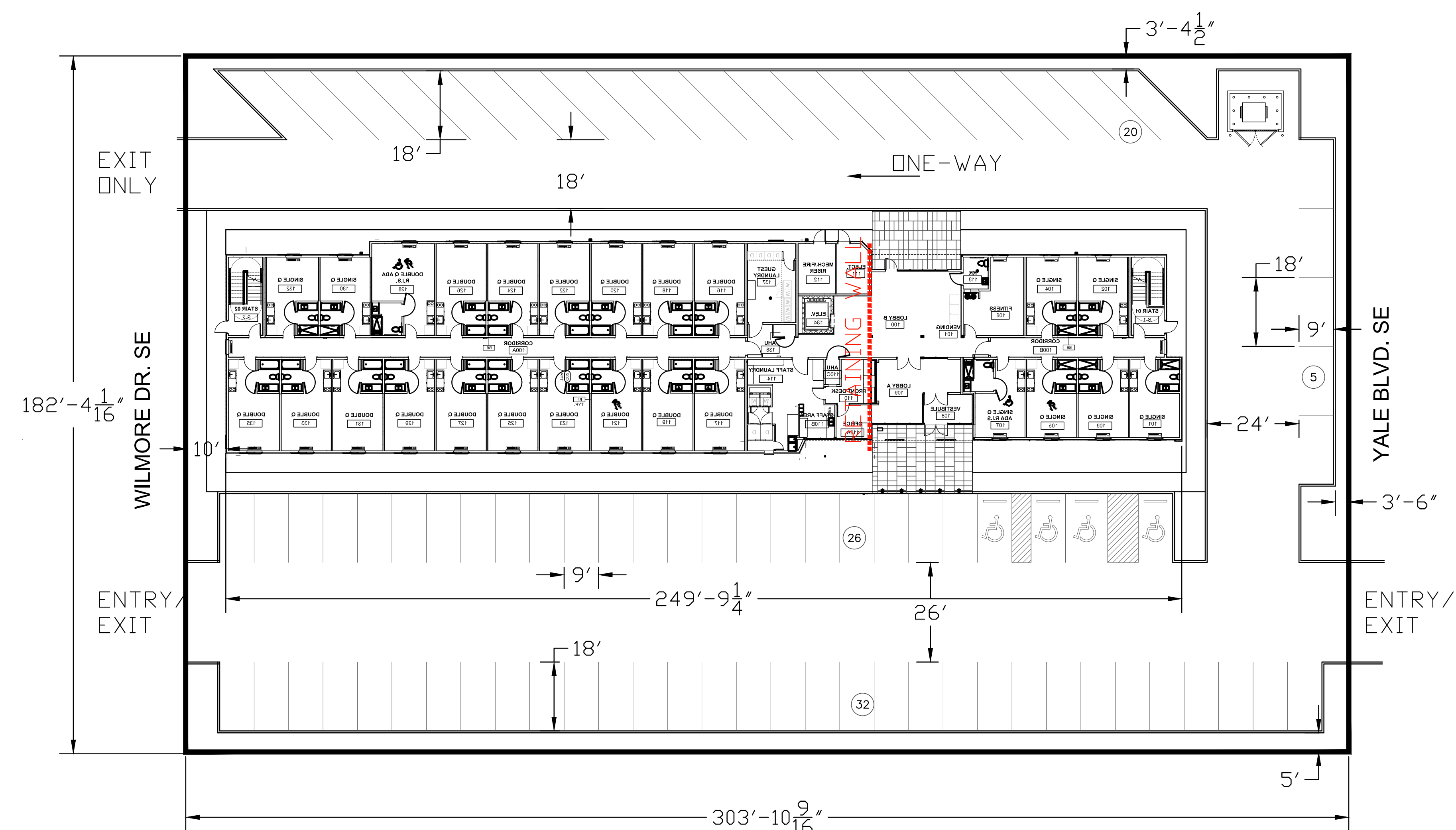
SITE

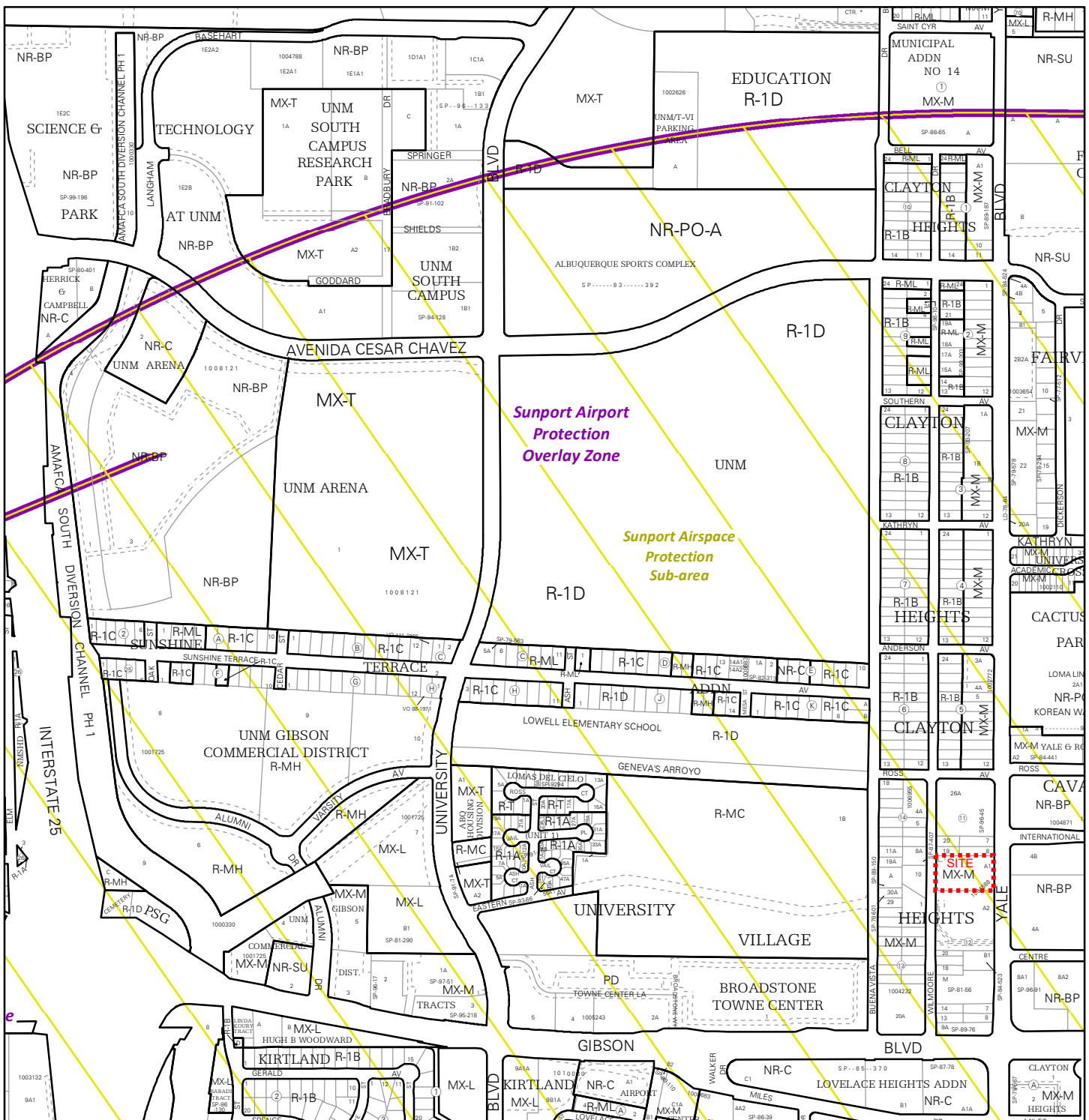


VICINITY MAP
NOT TO SCALE

ECHO SUITES, ALBUQUERQUE, NEW MEXICO
10-08-2025
3/4-STORIES
113 ROOMS
83 PARKING SPACES (INCL. 4 H.C. SPACES)
NO POOL
TOTAL LOT AREA = 1.26 ACRES APPROX. TO BE VERIFIED WITH
SURVEY
BUILDING HEIGHT = 60 FEET

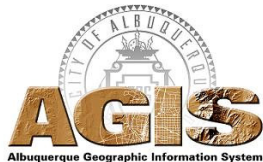
ROOM COUNT:
1ST FLOOR = 25
2ND FLOOR = 33
THIRD FLOOR = 33
BASEMENT = 22
TOTAL = 113 ROOMS.



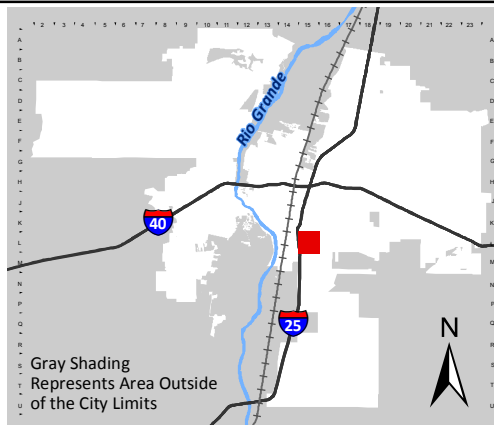


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
L-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet