

**Legal Description & Location:**

Lot 1E Snow Vista Investors

1125 Snow Vista Blvd SW - Albuquerque, NM 87121

**Request Description:** Site plan approval for 8100 sf +/- medical office building with associated parking.

**I - Hydrology: (if you already have approved plans, you can bypass this section and go to section II)**

Bypass - Approved Plans

- Sensitive Lands Analysis (5-2(C))        Approved        x NA
- Grading and Drainage Plan        x Approved        NA
- AMAFCA        x Approved        NA
- Bernalillo County        Approved        x NA
- NMDOT        Approved        x NA
- MRGCD        Approved        x NA

       Bypass - Approved Plans  
Hydrology Department

       Date

**II - Approved Grading and Drainage Plan/Letter Attached: (not needed if obtained signature in section I)**

**III - Transportation: (if you already have approved plans, you can bypass this section and go to section IV)**

Bypass - Approved Plans

- Traffic Circulations Layout (TCL)        Approved        NA
- Traffic Impact Study (TIS)        Approved        NA
- Neighborhood Impact Analysis (NIA)        Approved        NA
- Bernalillo County        Approved        NA
- MRCOG        Approved        NA
- NMDOT        Approved        NA
- MRGCD        Approved        NA

       Bypass - Approved Plans  
Transportation Department

       Date

**IV - Approved TCL/Letter Attached: (not needed if obtained signature in section III)**

**V - Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

**Please select and attach the executed document that provides the commitment of service (whichever is applicable):**

- Availability Statement
- Service Connection Agreement
- Development Agreement

**If you do not have the executed document, please obtain the ABCWUA signature for your project.**

**To be completed by ABCWUA**

- Request for Availability submitted: Availability Statement/Serviceability Letter # 250953
- Request for Availability is not applicable

       Bypass - Letter Attached  
ABCWUA

       Date

**Note: Commitment for service is required prior ABCWUA approval of DFT application.**

**VI - Infrastructure Improvements Agreement (IIA\*)**        Approved        x NA

**VII - Solid Waste Department Signature on the Plan**        x Approved        NA

**VIII - Fire Marshall Signature on the Plan**        x Approved        NA

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 3, 2026

Fulmer Lucas  
Hugh Ross Lucas, P.E.  
2002 Richard Jones Rd, Suite B200  
Nashville, TN 37215

**RE: 1125 Snow Vista Blvd SW  
Grading & Drainage Plan  
Engineer's Stamp Date: 01/30/2026  
Hydrology File: M09D036  
Case # HYDR-2025-00447**

Dear Mr. Lucas:

Based upon the information provided in your submittal received 2/2/2026, the Grading & Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



Know what's below.  
Call before you dig.

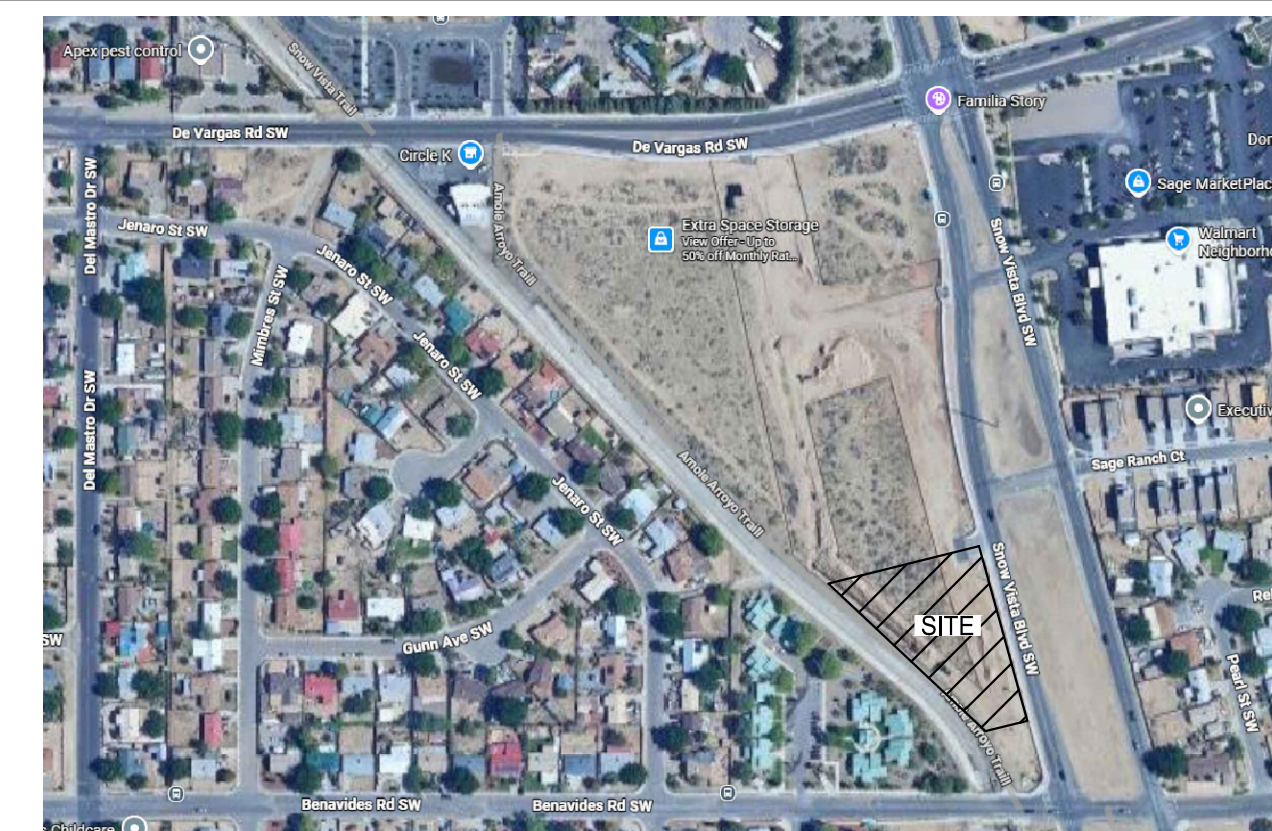


**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**  
**PERMIT**  
PERMIT NUMBER: 25-100616  
APPROVED DATE: 10/28/2025  
**APPROVED**

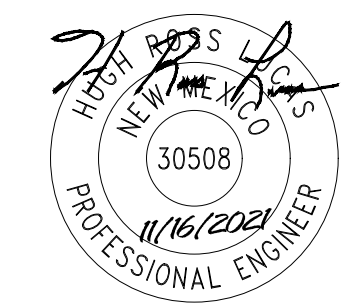
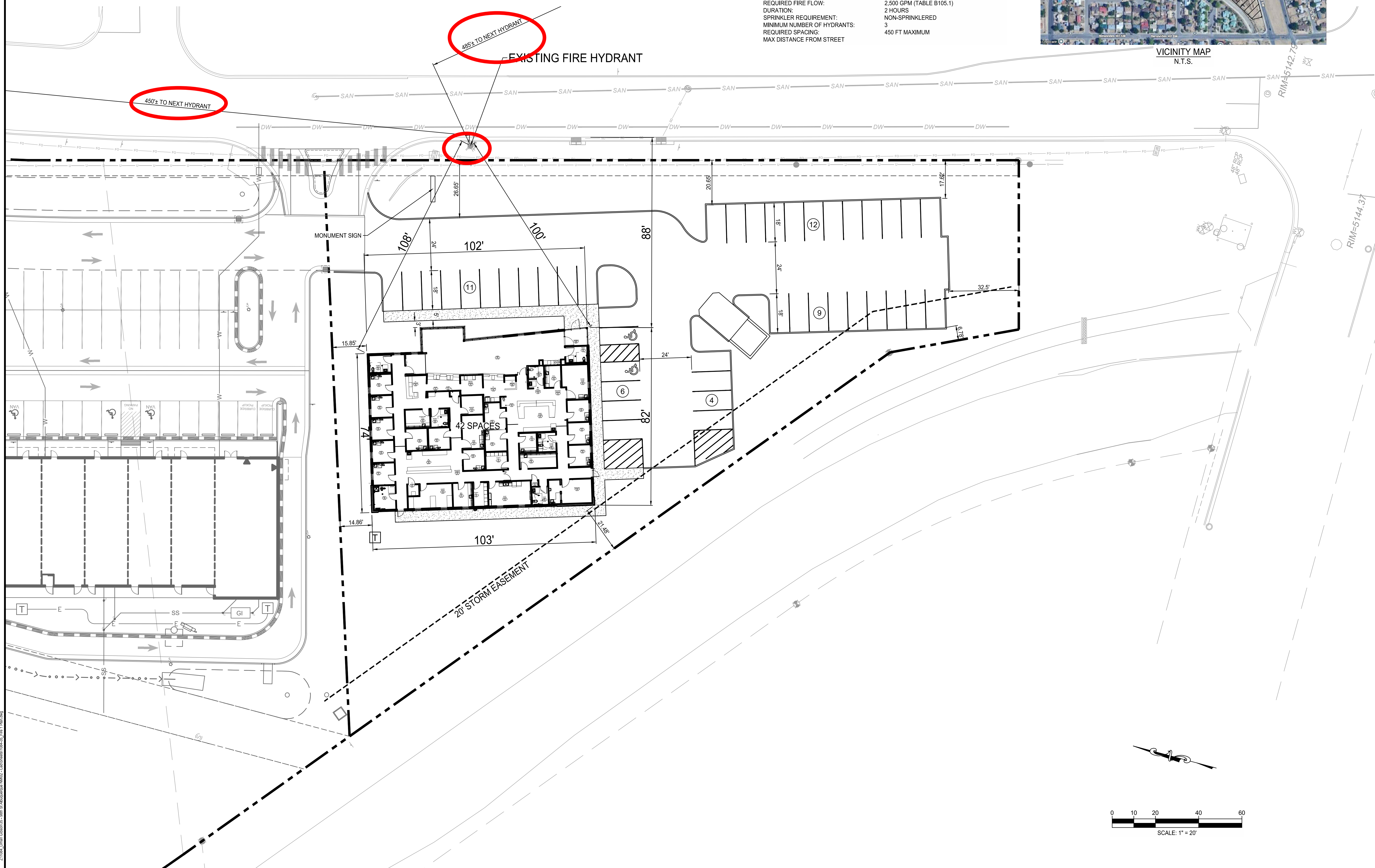
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
**FIRE FLOW: 2500 GPM, 3 HYDRANTS.**

**SITE DATA TABLE**

<b>PROPERTY INFORMATION</b>	
ADDRESS:	1125 SNOW VISTA BOULEVARD SW
TAX MAP / PARCEL ID:	LOT 1E
LOT AREA:	1.18 AC.
CITY:	ALBUQUERQUE
COUNTY:	BERNALILLO
STATE:	NEW MEXICO
ZIP:	87121
<b>BUILDING INFORMATION</b>	
CONSTRUCTION TYPE:	V-B
SQUARE FOOTAGE:	8,128 SF
HEIGHT:	16'-6"±
OCCUPANCY:	B
USE:	MEDICAL OFFICE
<b>FIRE CODE DATA</b>	
REQUIRED FIRE FLOW:	2,500 GPM (TABLE B105.1)
DURATION:	2 HOURS
SPRINKLER REQUIREMENT:	NON-SPRINKLERED
MINIMUM NUMBER OF HYDRANTS:	3
REQUIRED SPACING:	450 FT MAXIMUM
MAX DISTANCE FROM STREET:	



VICINITY MAP  
N.T.S.



**FULMER LUCAS**

2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770

SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DR.	DATE	DESCRIPTION
JAF	10/08/2025	CONCEPTUAL SITE PLAN
JAF	10/24/2025	FIRE 1 PLAN

**FIRE 1  
PLAN**

**FIRE 1.1**



## Jay Fulmer

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**From:** Chuck Huffine <[chuffine79@gmail.com](mailto:chuffine79@gmail.com)>  
**Sent:** Thursday, October 30, 2025 2:27 PM  
**To:** Armijo, Ernest M.  
**Cc:** Jay Fulmer  
**Subject:** Re: Medical Office Building - Snow Vista

Thanks Ernest!  
Chuck

On Thu, Oct 30, 2025, 2:54 PM Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)> wrote:

Chuck,

Transportation has signed. No TIS required as there is not enough traffic generated to require one.



**ERNEST ARMIJO, P.E., C.F.M.**

principal engineer

transportation  
o 505.924.3991

e [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Chuck Huffine <[chuffine79@gmail.com](mailto:chuffine79@gmail.com)>  
**Sent:** Thursday, October 30, 2025 12:24 PM  
**To:** Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)>

**Cc:** Jay Fulmer <[jay@fulmerlucas.com](mailto:jay@fulmerlucas.com)>

**Subject:** Re: Medical Office Building - Snow Vista

Hello Ernest,

Attached is the completed Traffic Scoping Form, as well as a conceptual site plan and a site area map. Since all traffic from this and the other parcels in the area of development were included in the recent Taco Bell traffic study, we are hoping that a study will not be required. Let me know if you have any questions. Thanks.

Chuck Huffine, PC

CLH Associates LLC

On Fri, Oct 24, 2025 at 2:55 PM Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)> wrote:

Did this developer have a traffic scoping form saying that they needed a traffic study? I don't recall one for this area coming in recently.



**ERNEST ARMIJO, P.E., C.F.M.**

principal engineer

transportation

o 505.924.3991

e [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Chuck Huffine <[chuffine79@gmail.com](mailto:chuffine79@gmail.com)>

**Sent:** Friday, October 24, 2025 12:34 PM

**To:** Armijo, Ernest M. <[earmijo@cabq.gov](mailto:earmijo@cabq.gov)>

**Subject:** Medical Office Building - Snow Vista

Hi Ernest,

I have been contacted by a developer regarding the need for a traffic study on one of the other parcels at the Snow Vista site that we completed a TIS for in April, 2025. That study did include trip generation assumptions for the other parcels on that site.

Since we did account for the entire development as background traffic in the study, would you want another full traffic study, or a trip generation memo, or nothing? Let me know if you would like to discuss. Thanks.

I am attaching the final Taco Bell study for your reference.

Chuck Huffine, PE

CLH Associates LLC

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 30, 2026

Jay Fulmer  
Fulmer Lucas Engineering, LLC  
2002 Richard Jones Rd Suite B200  
Nashville, TN 37215

[jay@fulmerlucas.com](mailto:jay@fulmerlucas.com)

**Re: Benavides Medical Office  
1125 Snow Vista SW 87121  
Traffic Circulation Layout  
Engineer's Stamp 1/30/26 (M09D036)-TRANS-2026-00015**

Dear Fulmer,

The TCL resubmittal received 1-30-26 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Sertil A. Kanbar*

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

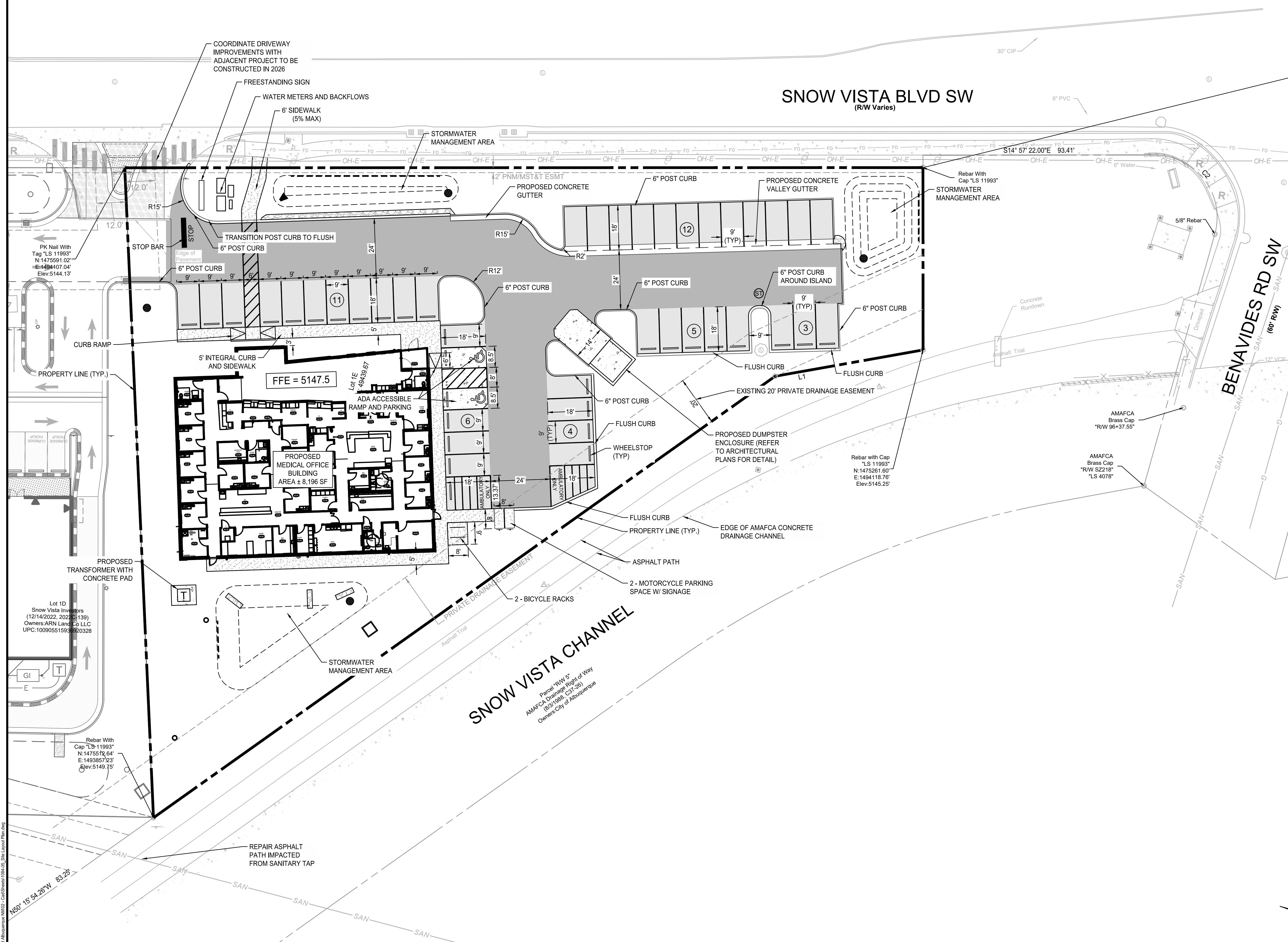


CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

**TRAFFIC CIRCULATION  
LAYOUT APPROVED**  
Sertil A. Kanbar 1/30/2026  
Signed Date

SITE DATA TABLE	
<b>PROPERTY INFORMATION</b>	
ADDRESS:	1125 SNOW VISTA BLVD SW
PARCEL ID:	100905516834620335
LOT AREA:	1.13 AC.
CITY:	ALBUQUERQUE
COUNTY:	BERNALLILLO
STATE:	NEW MEXICO
FRONT SETBACK:	5'
SIDE SETBACK:	0'
REAR SETBACK:	0'
<b>ZONING CLASSIFICATION</b>	
JURISDICTION:	ALBUQUERQUE
EXISTING ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED USE:	MEDICAL CLINIC
<b>BUILDING AREA</b>	
TOTAL BUILDING SQUARE FOOTAGE:	± 8,196 SF
BUILDING COVERAGE (MAX.):	N/A
BUILDING COVERAGE PROVIDED:	0.166
ISR (MAX.):	N/A
ISR PROVIDED:	0.57
BUILDING HEIGHT (MAX.):	38'
BUILDING HEIGHT PROVIDED:	18'-6"
<b>PARKING SUMMARY</b>	
VEHICULAR PARKING REQUIRED (1 PER 200 SF):	41
STANDARD PARKING SPACES PROVIDED:	39
ADA PARKING SPACES REQUIRED:	2
TOTAL SPACES PROVIDED:	41
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	4
BICYCLE PARKING PROVIDED:	4

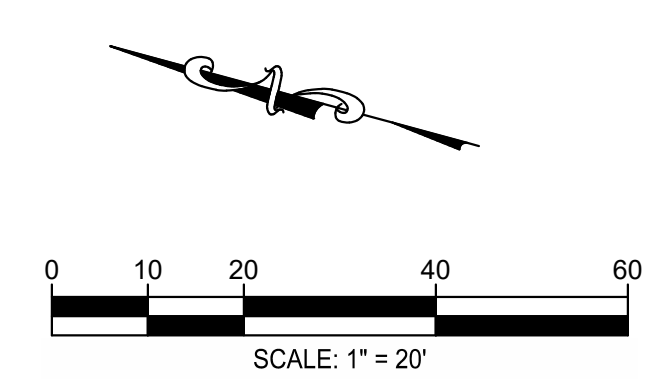
**FULMER LUCAS**  
2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



- NOTES:**
- CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
  - PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAYBE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
  - CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 PSI) UNLESS OTHERWISE NOTED.
  - ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
  - DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
  - ALL CURB TURNOUT, EDGE OF PAVEMENT, AND STRIPING RADII ARE FOUR FEET (4') UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
  - CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
  - IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
  - THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
  - TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
  - BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
  - ALL CURB RAMPS IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
  - ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
  - ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
  - INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
  - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
  - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
  - ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.

**PAVING LEGEND**

	HEAVY DUTY ASPHALT (DRIVE AISLES)
	LIGHT DUTY ASPHALT (PARKING STALLS)
	SIDEWALK SECTION
	HEAVY DUTY CONCRETE



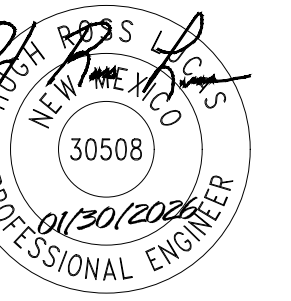
SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
10/24/2025	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
01/19/2026	STORMWATER RESUBMITTAL
01/30/2026	PERMIT RESUBMITTAL

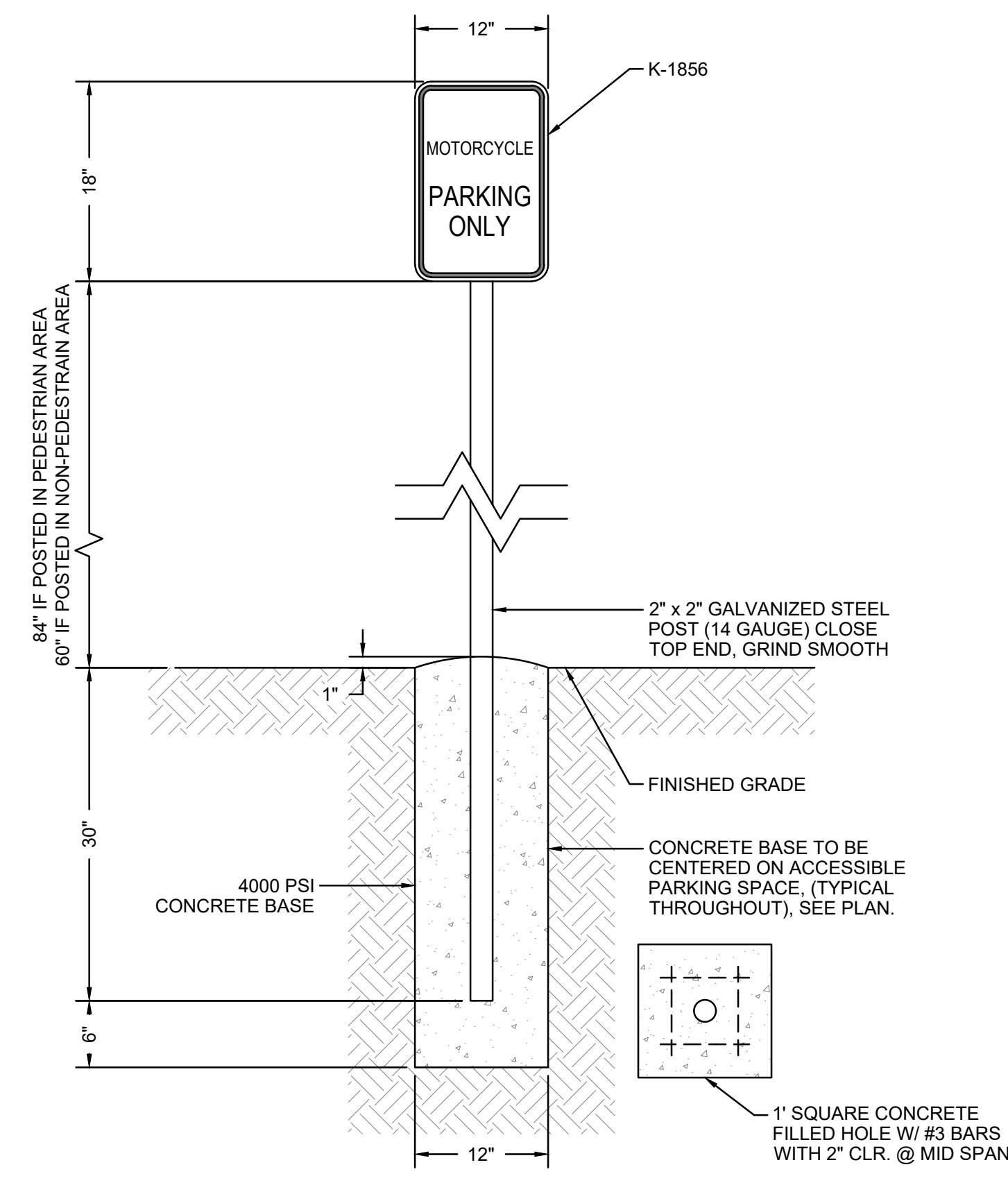
**SITE LAYOUT  
PLAN**

**C1.0**

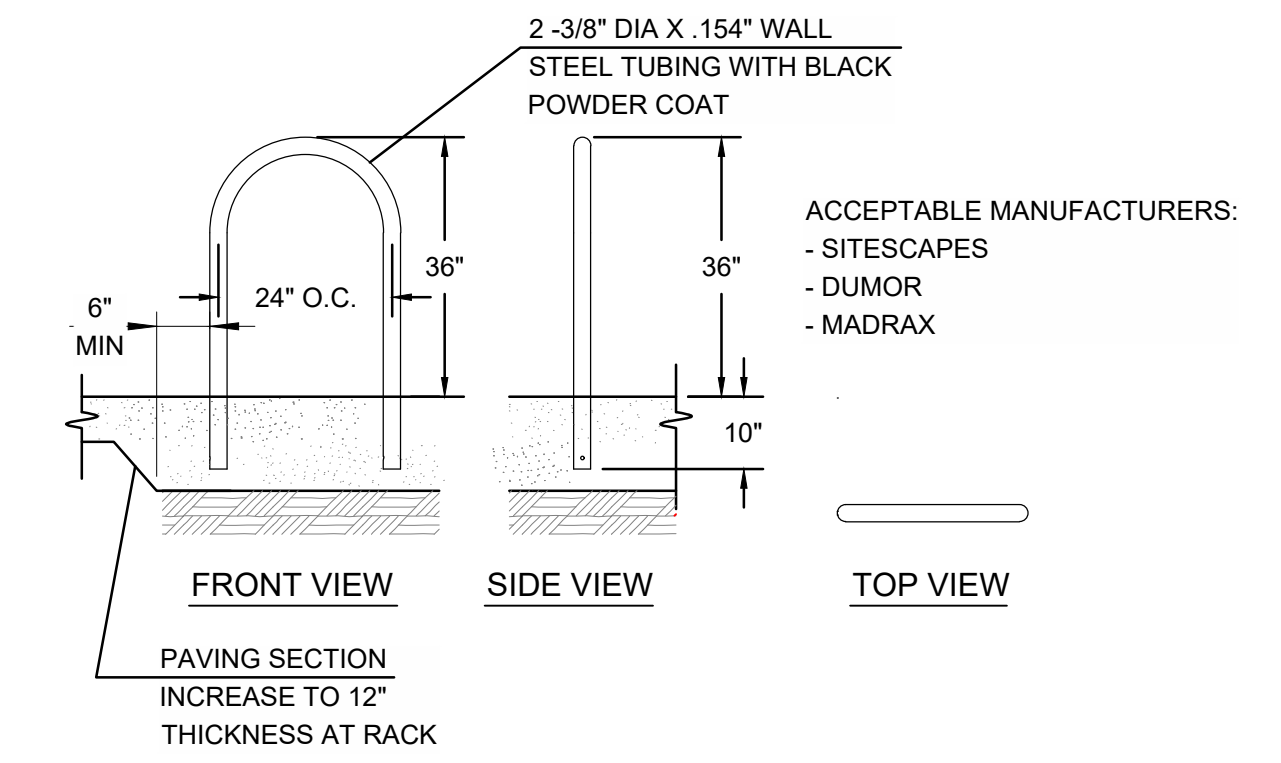
1084-35 BENAVIDES



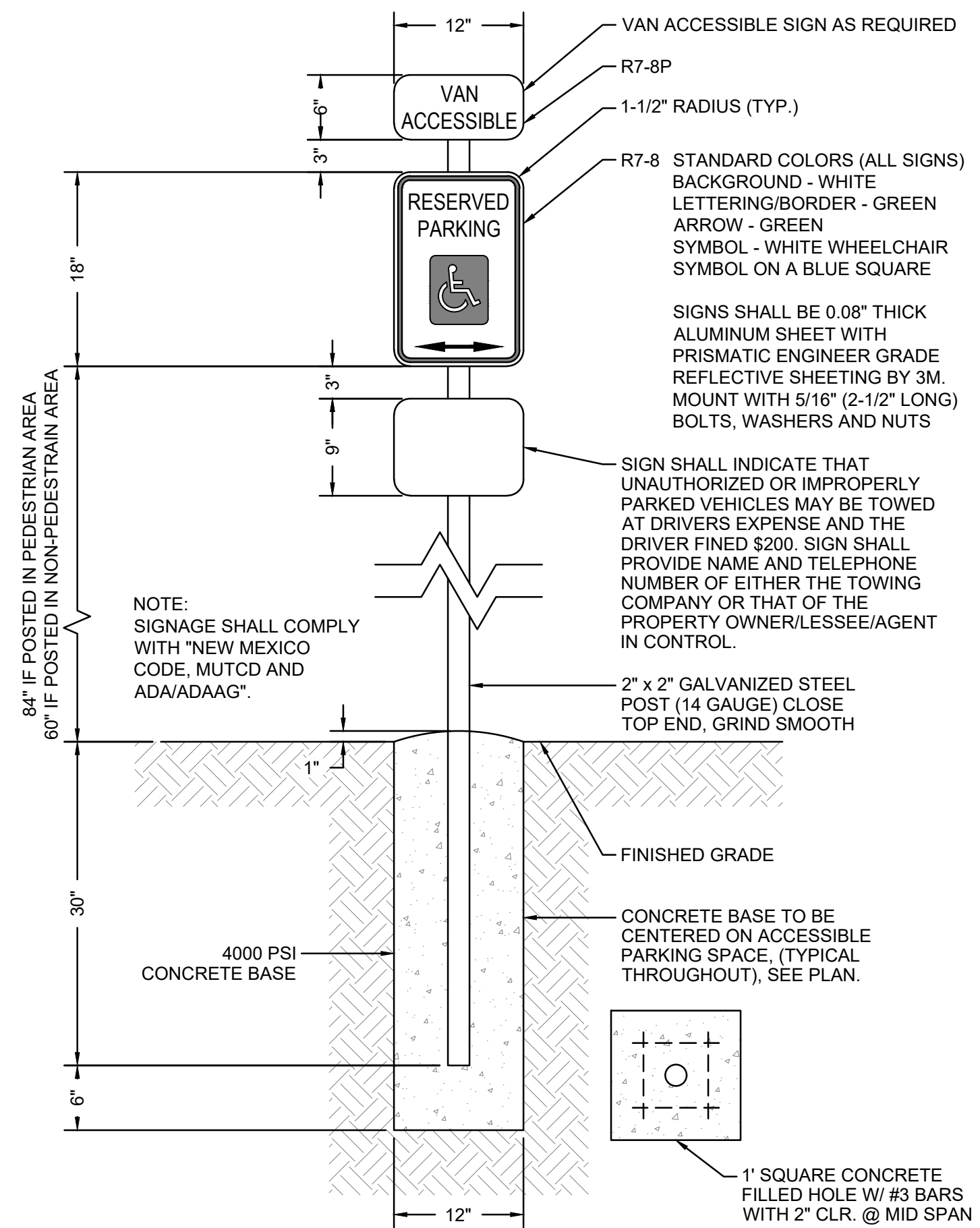
**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Sertil A. Kanbar 1/30/2026  
Signed \_\_\_\_\_ Date \_\_\_\_\_



**MOTORCYCLE PARKING SIGN**  
NOT TO SCALE



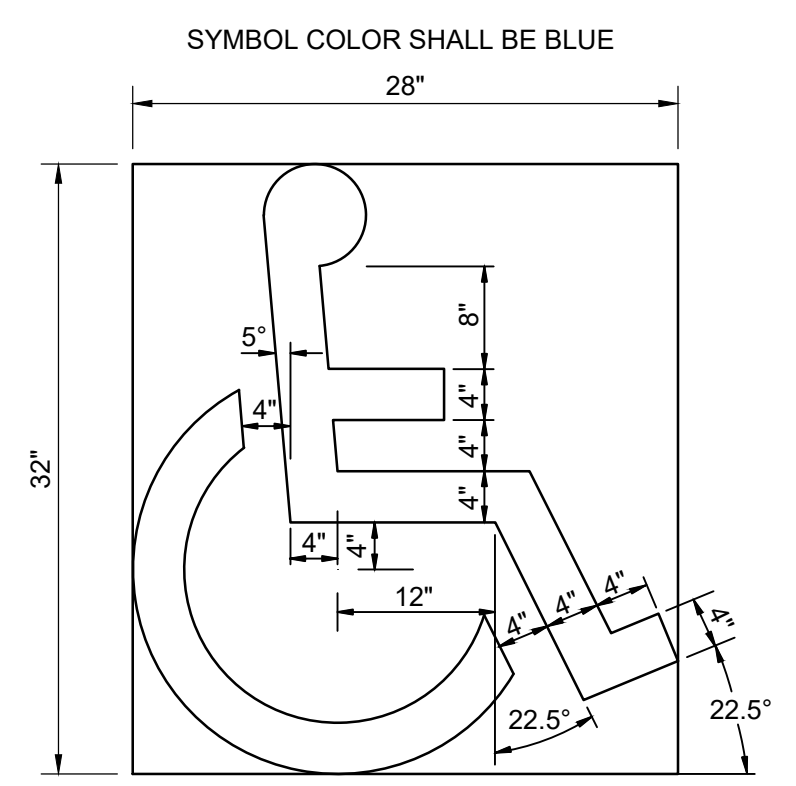
**BIKE RACK DETAIL**  
NOT TO SCALE



**EXTERIOR ACCESSIBLE PARKING SIGN & SYMBOL**  
NOT TO SCALE

**NOTES:**

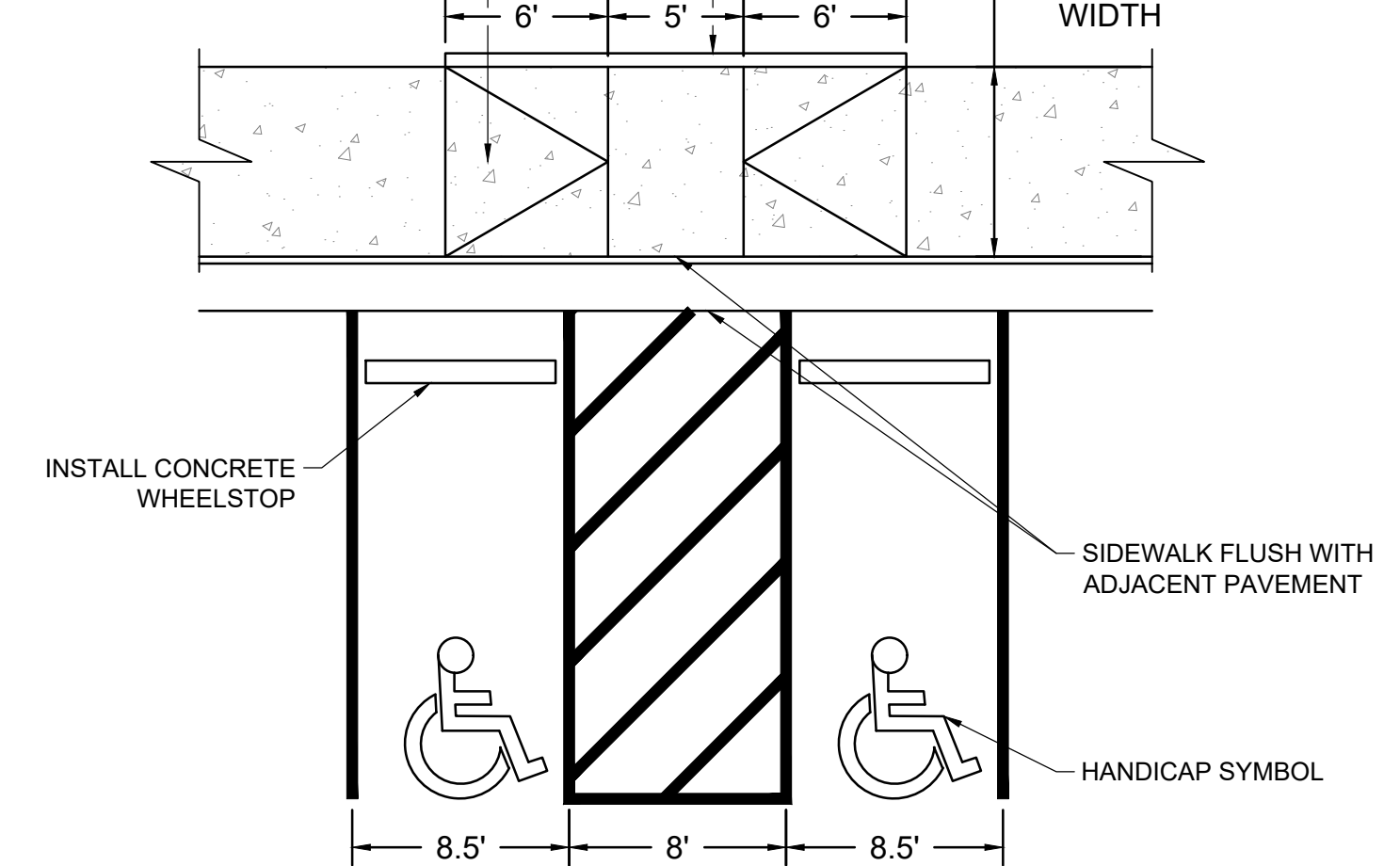
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY THE PERTINENT PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT.
- CROSS SLOPE OF THE RAMP SHALL NOT EXCEED 1:50.
- SURFACE TEXTURE OF THE RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. THE SURFACE SHALL BE COARSE BROOMED FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
- MAXIMUM SLOPE OF 2% IN ANY DIRECTION WITHIN ADA PARKING SPACES.
- REFER TO SITE PLAN FOR EXACT LAYOUT.



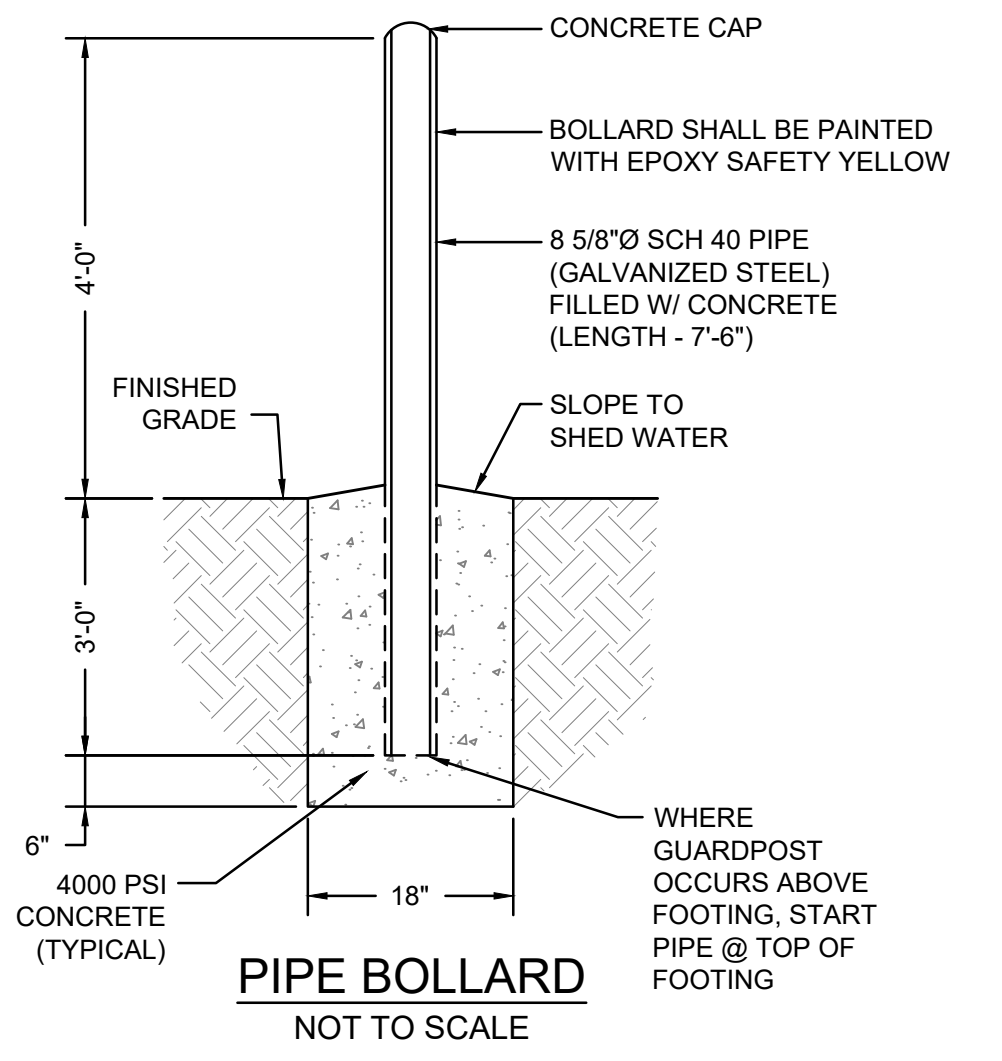
WHERE INDICATED ON SITE PLAN RAMP SIDEWALK FROM 6" TO FLUSH CONDITION WITH ADJACENT PAVEMENT OVER A DISTANCE OF 6'. MAXIMUM RAMP SLOPE IS 8.33%.

WHEN ADJACENT TO LANDSCAPING PROVIDE 6" CURB TAPERED FLUSH AT TOP OF THE RAMP

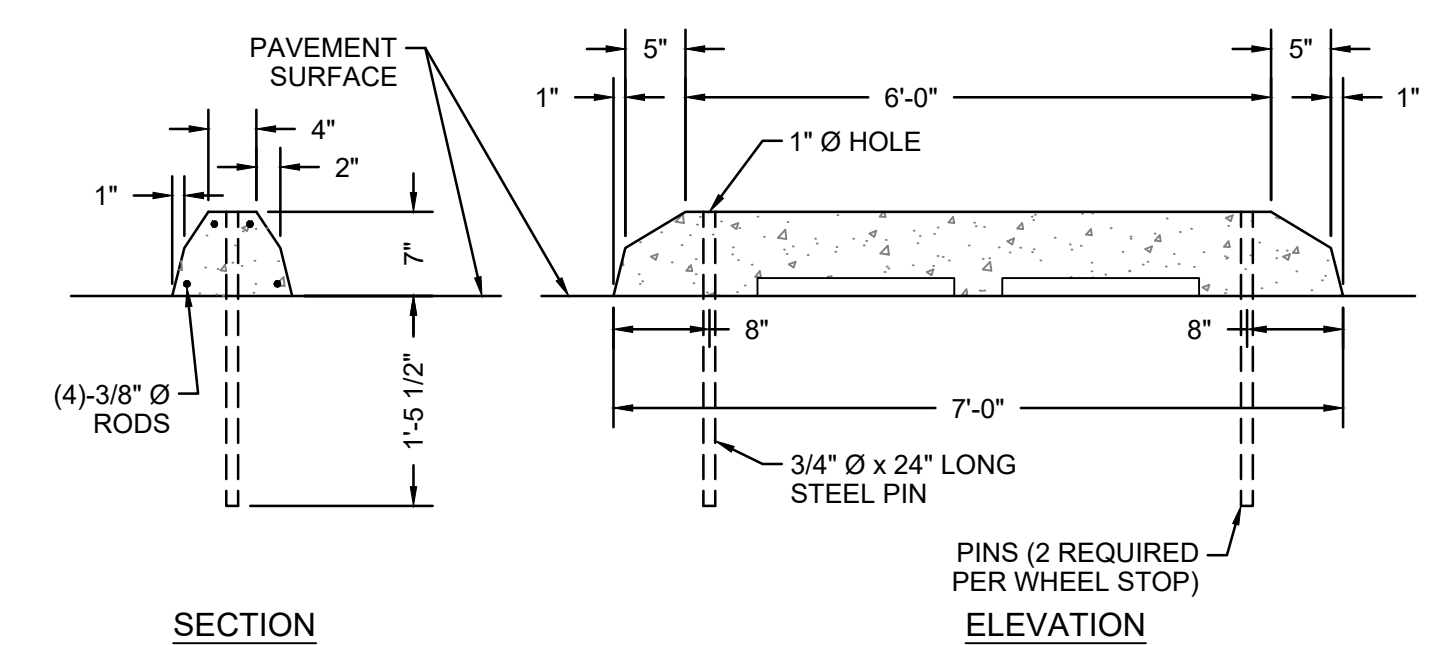
SEE PLAN FOR SIDEWALK WIDTH



**ADA PARKING DETAILS**  
NOT TO SCALE



**PIPE BOLLARD**  
NOT TO SCALE



**NOTES:**  
1. RECESS PINS BELOW TOP OF WHEEL STOP 1/2".

**CONCRETE WHEELSTOP**  
NOT TO SCALE

SR.	DATE	DESCRIPTION
JAF	10/09/2025	CONCEPTUAL SITE PLAN
JAF	10/24/2025	FIRE 1 PLAN
JAF	12/12/2025	STORMWATER INITIAL SUBMITTAL
JAF	01/19/2026	STORMWATER RESUBMITTAL
JAF	01/30/2026	PERMIT RESUBMITTAL

TCL SITE DETAILS

C4.1

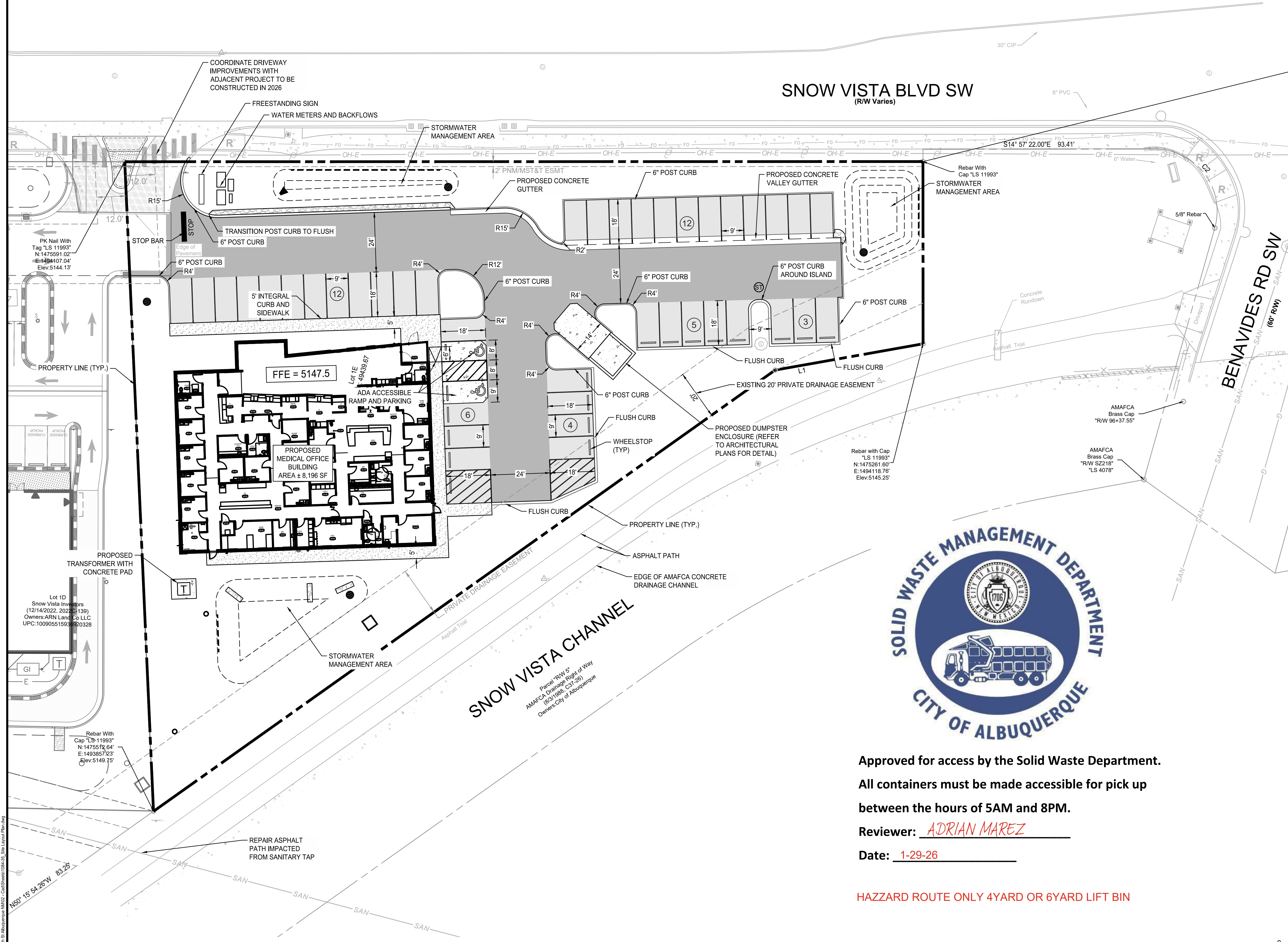
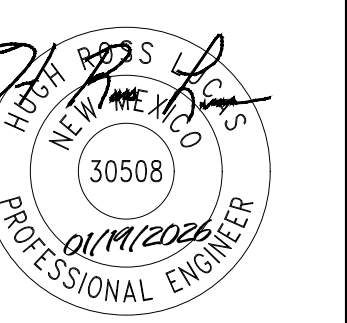


CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

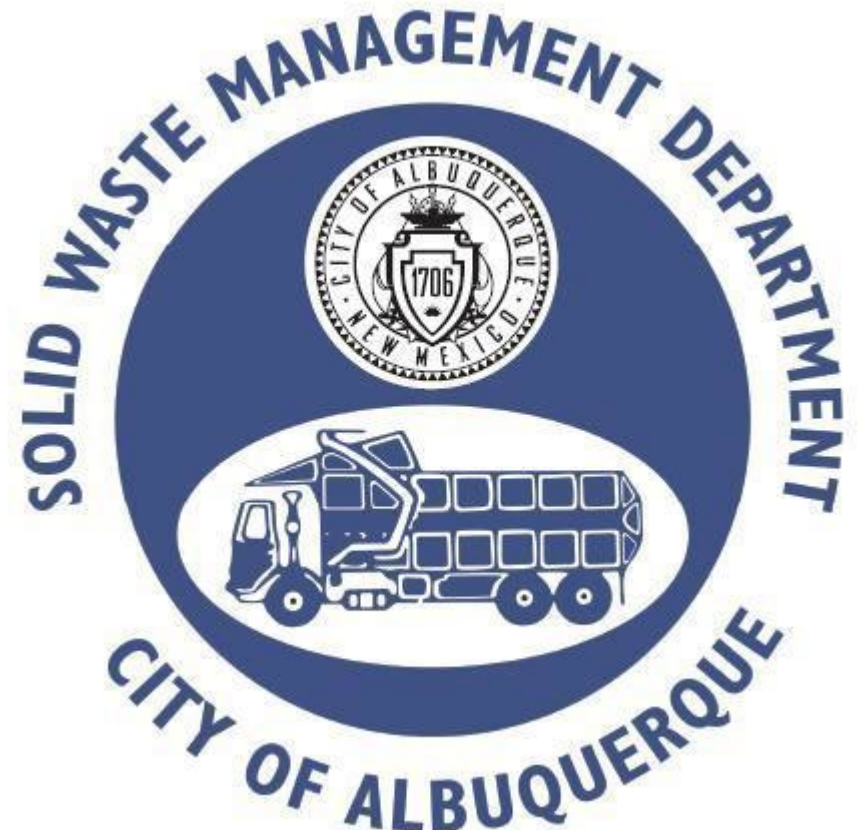
SITE DATA TABLE	
<b>PROPERTY INFORMATION</b>	
ADDRESS:	1125 SNOW VISTA BLVD SW
PARCEL ID:	100905516834620335
LOT AREA:	1.13 AC.
CITY:	ALBUQUERQUE
COUNTY:	BERNALLILLO
STATE:	NEW MEXICO
FRONT SETBACK:	5'
SIDE SETBACK:	0'
REAR SETBACK:	0'
<b>ZONING CLASSIFICATION</b>	
JURISDICTION:	ALBUQUERQUE
EXISTING ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED USE:	MEDICAL CLINIC
<b>BUILDING AREA</b>	
TOTAL BUILDING SQUARE FOOTAGE:	± 8,196 SF
BUILDING COVERAGE (MAX.):	N/A
BUILDING COVERAGE PROVIDED:	0.166
ISR (MAX.):	N/A
ISR PROVIDED:	0.57
BUILDING HEIGHT (MAX.):	38'
BUILDING HEIGHT PROVIDED:	18'-6"
<b>PARKING SUMMARY</b>	
PARKING REQUIRED (1 PER 200 SF):	41
STANDARD PARKING SPACES PROVIDED:	40
ADA PARKING SPACES REQUIRED:	2
TOTAL SPACES PROVIDED:	42

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200  
NASHVILLE, TENNESSEE 37215  
INFO@FULMERLUCAS.COM - (615) 346-3770



- NOTES:**
- CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
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  - ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
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  - CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
  - CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD OR UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
  - IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
  - THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
  - TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
  - BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
  - ALL CURB RAMPS IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
  - ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
  - ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
  - INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
  - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
  - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
  - ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.

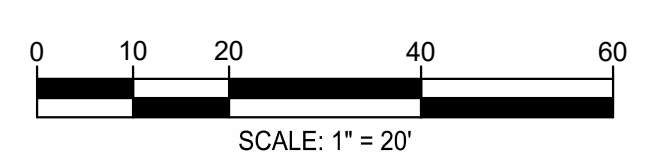


Approved for access by the Solid Waste Department.  
All containers must be made accessible for pick up  
between the hours of 5AM and 8PM.  
Reviewer: ADRIAN MAREZ  
Date: 1-29-26

HAZZARD ROUTE ONLY 4YARD OR 6YARD LIFT BIN

**PAVING LEGEND**

	HEAVY DUTY ASPHALT (DRIVE AISLES)
	LIGHT DUTY ASPHALT (PARKING STALLS)
	SIDEWALK SECTION
	HEAVY DUTY CONCRETE



SITE DEVELOPMENT PLANS FOR:  
**BENAVIDES**  
1125 SNOW VISTA BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
10/24/2025	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
01/19/2026	STORMWATER RESUBMITTAL

SITE LAYOUT PLAN

C1.0

1084-35 BENAVIDES

December 30, 2025

Chair  
Klarissa Peña  
City of Albuquerque  
Councilor, District 3

Vice Chair  
Barbara Baca  
County of Bernalillo  
Commissioner, District 1

Frank A. Baca  
County of Bernalillo  
Commissioner, District 2

Dan Lewis  
City of Albuquerque  
Councilor, District 5

Eric C. Olivas  
County of Bernalillo  
Commissioner, District 5

Louie Sanchez  
City of Albuquerque  
Councilor, District 1

Timothy M. Keller  
City of Albuquerque  
Mayor

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Jay Fulmer  
Fulmer Lucas Engineering, LLC  
2002 Richard Jones Rd. Suite B200  
Nashville, Tennessee 37215

**RE: Water and Sanitary Sewer Availability Statement #250953**

**Project Name: Benavides**

**Project Address: 1125 Snowvista Boulevard SW**

**Legal Description: LT 1E PLAT OF LOTS 1A, 1B, 1C, 1D AND 1E SNOW  
VISTAINVESTORS CONT 1.1340 +/- AC**

**UPC: 100905516834620335**

**Zone Atlas Map: M-09-Z**

Dear Mr. Fuller:

**Project Description:** The subject site is located on Snow Vista, north of Benavides Road SW, within the City of Albuquerque. The proposed development consists of approximately 1.13 acres and the property is currently zoned NR-C for Non-Residential-Commercial Zone District. The property lies within the Pressure Zone 2W in the Atrisco Trunk. The Request for Availability indicates plans to develop an 8,128 square feet medical office building.

**Existing Conditions:**

Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution line (project #26-4188.91) along Snowvista Blvd. SW.
- 30-inch ductile iron transmission line (project #26-5432.91-03) along Snow Vista Blvd. SW

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch ductile iron sanitary sewer collector line (project #26-1723-87) west of the subject property within the Snow Vista Diversion Channel right-of-way.
- 12-inch vitrified clay sanitary sewer collector line (project #07-002-61) along Benavides Road SW.

**Water Service:** New metered water service to the property can be provided via routine connection to the existing eight-inch distribution main along Snow Vista Blvd. SW. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service can be provided via routine connection to the existing 12-inch collector at the northwest corner of the subject property. A private sanitary sewer easement may be required from either existing Lot 1B or Lot 1D to access this public sanitary sewer line, depending on the actual location of the public sanitary sewer line. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 2,500 GPM gallons-per-minute. Three fire hydrants are required. There are three existing hydrants available, and no new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at existing Fire Hydrant #67.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system. Private fire pumps should not take suction directly from the public water system as there shall be an intermediate private storage tank. If a private storage tank is not proposed between the public water system and the private fire pump, a surge analysis shall be required to determine if the private pump will have adverse impacts on the public system such as cavitation and/or water hammer and confirm that surge mitigation equipment is not warranted. If surge mitigation equipment is warranted, it shall be installed at the developer's expense.

**Cross Connection Prevention:** Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection.

Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

**Pretreatment:** If the development is for a health clinic, veterinary clinic or similar the user shall coordinate with Pretreatment to provide the Best Management Practices that the clinic uses or plans to use to control any prohibited waste discharges as defined in the SUO Section 3-2-1, such as the prohibitions summarized below:

1. Any Hazardous waste including pharmaceuticals in any form.
2. pH discharge less than 5.0 or greater than 12.0.
3. Toxic, gases, vapors or fumes that may cause acute work health and safety problems (such as Biosafety Levels 2 and above).
4. Radioactive wastes (hospitals and clinics that have radioactive wastewater shall provide their permit from the Radiation Protection Bureau of NMED to Pretreatment to obtain discharge authorization.
5. Medical wastes, except as specifically authorized by Pretreatment.

A copy of the Sewer Use and Wastewater Control Ordinance and FOGS Policy can be found on the Pretreatment page of the Water Authority Website:

<https://www.abcwua.org/sewer-system-industrial-pretreatment-overview/>

Contact the Industrial Pretreatment Engineer, Travis Peacock, at (505) 289-3439 or [pretreatment@abcwua.org](mailto:pretreatment@abcwua.org) for coordination or clarification of any of the above requirements.

**Easements and Property:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

**Pro Rata:** Pro Rata is not owed, and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction:** The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority connection permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, a UEC charge will be paid to the Water Authority at the time of meter sale or application for service for all properties connecting to the water and/or wastewater system. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This Availability Statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,

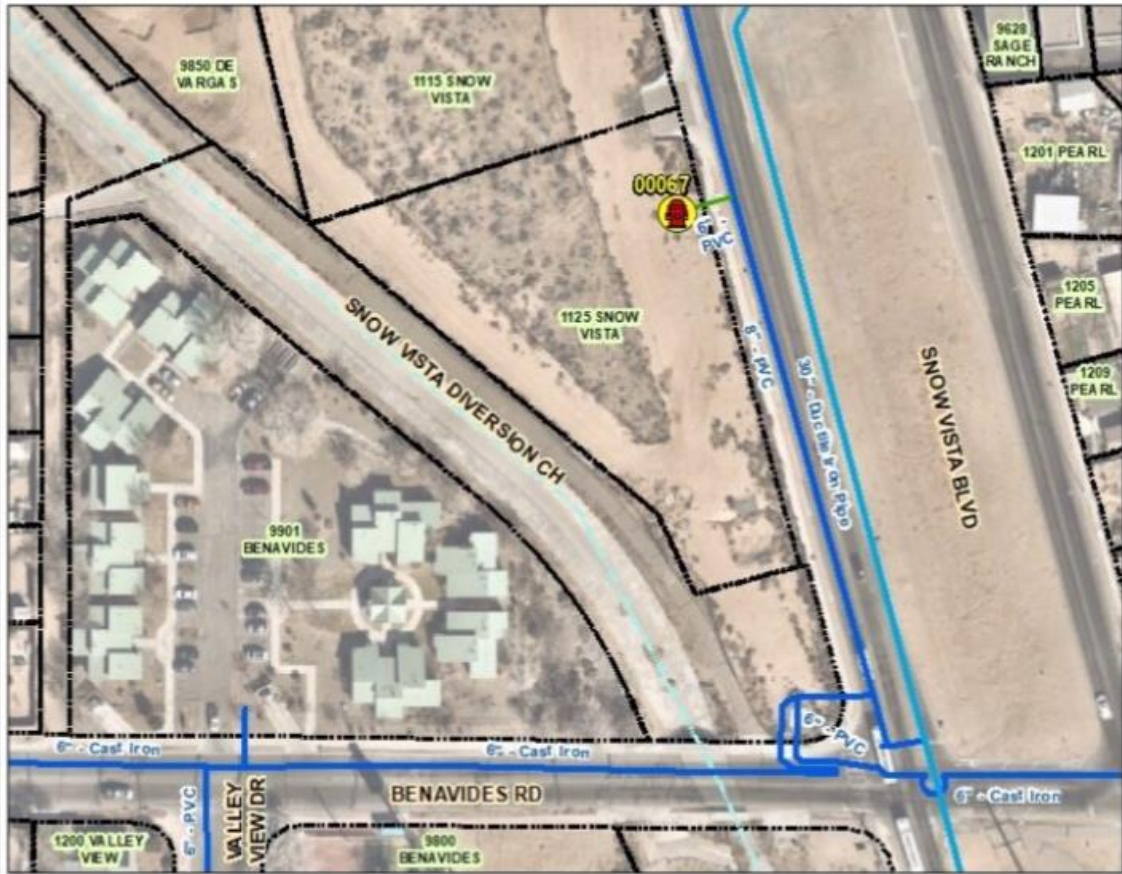
A handwritten signature in black ink, appearing to be 'MS' with a flourish.

Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #250953**

# 250953 - Water



0 180 360 Feet



## Legend




Hydrant

### Water Pipe

#### Subtype

 Distribution Line

 Hydrant Leg

 In Zone Transmission

### Fire Flow Analysis Points



Analysis Point - Existing Hydrant (1)



## 250953 - Sanitary Sewer





### Legend

-  Sewer Manhole
-  Project Location

### Sewer Pipe

#### Subtype

-  COLLECTOR
-  CASING

