



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:Administrative Site Plan	
Decision-making Body:Planning Staff (city staff)	
Pre-Application meeting required:	<input checked="" type="radio"/> Yes <input type="radio"/> No
Mailed Notice required:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Electronic Mail required:	<input checked="" type="radio"/> Yes <input type="radio"/> No
Is this a Site Plan Application?	<input checked="" type="radio"/> Yes <input type="radio"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application:1125 Snow Vista Blvd SW	
Name of property owner:Goodman Lawrence Revocable Trust	
Name of applicant:Fulmer Lucas Engineering, LLC	
Date, time, and place of public meeting or hearing, if applicable:	N/A
Address, phone number, or website for additional information: 615-345-3770	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if one occurred.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO IDO §14-16-6-4(J). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice is complete, true, and accurate to the extent of my knowledge.

_____ (Applicant signature) 1/30/26 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO §14-16-6-9(B)(3) and may lead to a denial of your application.

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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN & LC APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Language Access Notice:

We provide free interpretation services to help you communicate with us. If you need help, you can request interpretation at any service counter in our Department, located in the Plaza Del Sol building, 600 2nd Street NW, Albuquerque, NM 87102.

Notificación de Acceso Lingüístico.
Ofrecemos servicios gratuitos de interpretación para ayudarlo a comunicarse con nosotros. Si necesita ayuda, puede solicitar servicios de interpretación en cualquier mostrador de servicio de nuestro Departamento, ubicado en el edificio Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

語言輔助通知。我們提供免費口譯服務，以幫助你與我們溝通。如果你需要幫助，你可以在我們部門的任何服務台請求口譯，服務台位於 Plaza Del Sol大樓，600 2nd Street NW，阿爾伯克基，NM 87102。

Thông báo về cách Tiếp cận Ngôn ngữ. Chúng tôi cung cấp các dịch vụ thông dịch miễn phí để giúp quý vị giao tiếp với chúng tôi. Nếu quý vị cần giúp đỡ, quý vị có thể yêu cầu thông dịch tại bất cứ quầy dịch vụ nào trong Sở của chúng tôi, tọa lạc tại tòa nhà Plaza Del Sol, 600 2nd Street NW, Albuquerque, NM 87102.

Saad Hadahwiis'a O'oolkaah bee dah na'astsooz. Nihi bik'inaasdzil t'aadoo baahilinigoo 'ata' hashne' tse'esgizii ach'i' dzaadi! Dzaadi! Danihi dahootahgoo bee nihi-. Daa' danihi bidin nishli dzaadi! Dzaadi! Danihi bineesh'a yinishkeed 'ata' hashne' -di t'aa biholniihgoo tse'esgizii ket'aaz -di nihihigii dah diikaah, -k'eh -di tsin Plaza Del Sol Kiniit'aagoo, 600 2nd Kiniit'aa NW, Albuquerque, NM 87102.

Jay Fulmer

From: Flores, Suzanna A. <Suzannaflores@cabq.gov>
Sent: Thursday, January 29, 2026 12:09 PM
To: Jay Fulmer
Subject: 1125 Snow Vista Blvd SW _ Public Notice Inquiry Sheet Submission
Attachments: IDOZoneAtlasPage_M-09-Z-Site.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
South West Alliance of Neighborhoods (SWAN Coalition)		Jerry	Gallegos	jgallegoswccd@gmail.com	6301 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
South West Alliance of Neighborhoods (SWAN Coalition)		Lorenzo	Otero	housealbchrome@gmail.com	1413 Hilda Ct NW	Albuquerque	NM	87105		5053851251
Westgate Heights NA	westgate9901@gmail.com	Matthew	Archuleta	mattearchuleta1@hotmail.com	1628 Summerfield Place SW	Albuquerque	NM	87121	5054016849	
Westgate Heights NA	westgate9901@gmail.com	Mark	Gering	gering.mark@yahoo.com	9309 Rhonda ST SW	Albuquerque	NM	87121		5052089502
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120	5059852391	5058982114
Westside Coalition of Neighborhood Associations	wescona0@gmail.com	Jane	Baechle	jane.baechle@gmail.com	7021 Lamar Avenue NW	Albuquerque	NM	87120		5054006516

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist you need for notifying neighborhood associations can be found here: <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1/public-notice>
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Wednesday, January 28, 2026 2:52 PM

To: Office of Neighborhood Coordination <jay@fulmerlucas.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Administrative Decision

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Applicant Information

Contact Name

Jay Fulmer

Telephone Number

6153453770

Email Address

jay@fulmerlucas.com

Company Name

Fulmer Lucas Engineering, LLC

Company Address

2002 Richard Jones Rd

City

Nashville

State

TN

ZIP

37215

Subject Site Information

Legal description of the subject site for this project:

Lot 1E of Snow Vista Investors

Physical address of subject site:

1125 Snow Vista Blvd SW

Subject site cross streets:

Benavides

Other subject site identifiers:

Adjacent to AMAFCA channel and path

This site is located on the following zone atlas page:

M-09-Z

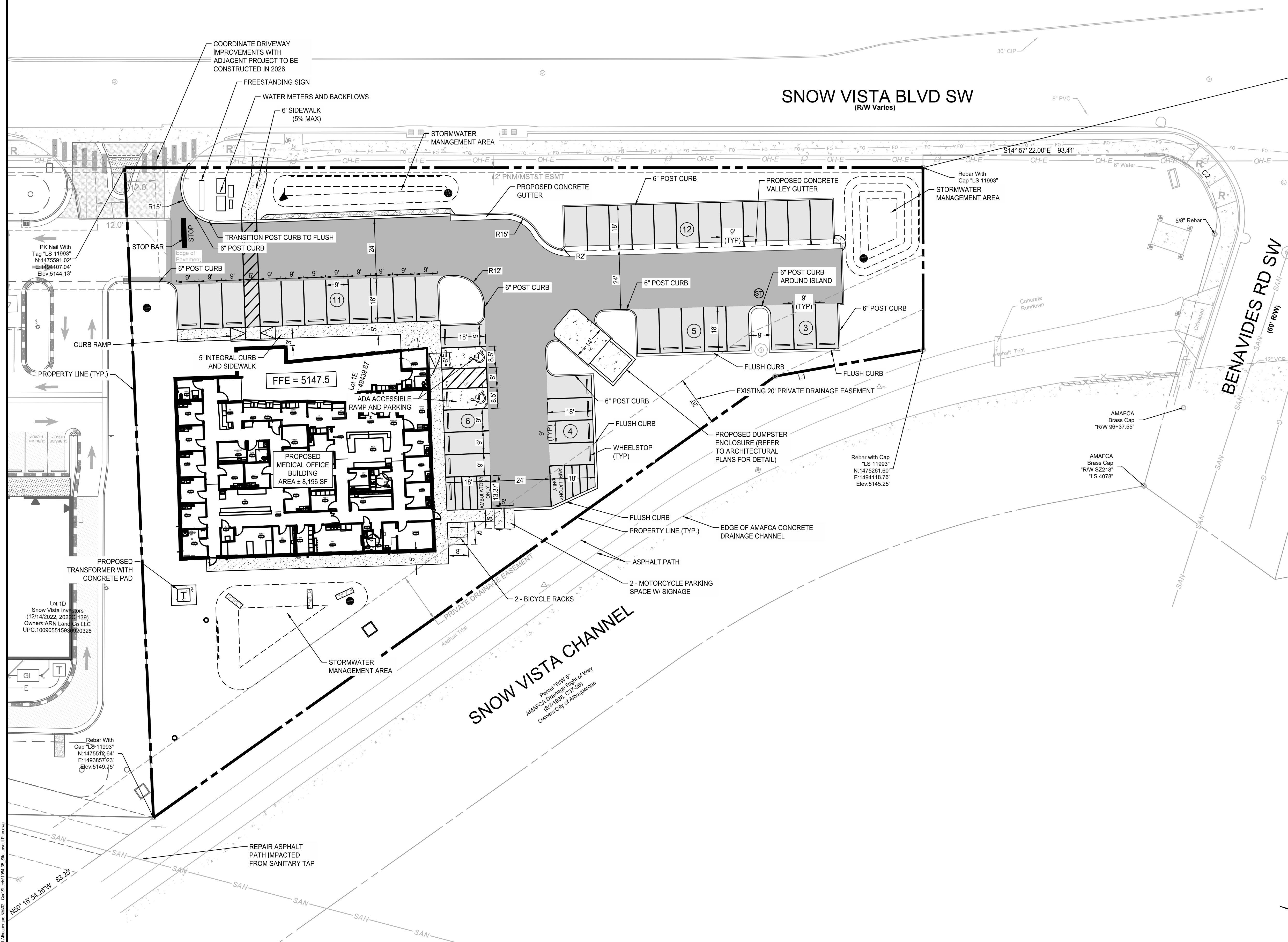
Link for map
Captcha



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

SITE DATA TABLE	
PROPERTY INFORMATION	
ADDRESS:	1125 SNOW VISTA BLVD SW
PARCEL ID:	100905516834620335
LOT AREA:	1.13 AC.
CITY:	ALBUQUERQUE
COUNTY:	BERNALLILLO
STATE:	NEW MEXICO
FRONT SETBACK:	5'
SIDE SETBACK:	0'
REAR SETBACK:	0'
ZONING CLASSIFICATION	
JURISDICTION:	ALBUQUERQUE
EXISTING ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED ZONING:	NR-C NON-RESIDENTIAL COMMERCIAL
PROPOSED USE:	MEDICAL CLINIC
BUILDING AREA	
TOTAL BUILDING SQUARE FOOTAGE:	± 8,196 SF
BUILDING COVERAGE (MAX.):	N/A
BUILDING COVERAGE PROVIDED:	0.166
ISR (MAX.):	N/A
ISR PROVIDED:	0.57
BUILDING HEIGHT (MAX.):	38'
BUILDING HEIGHT PROVIDED:	18'-6"
PARKING SUMMARY	
VEHICULAR PARKING REQUIRED (1 PER 200 SF):	41
STANDARD PARKING SPACES PROVIDED:	39
ADA PARKING SPACES REQUIRED:	2
TOTAL SPACES PROVIDED:	41
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	4
BICYCLE PARKING PROVIDED:	4

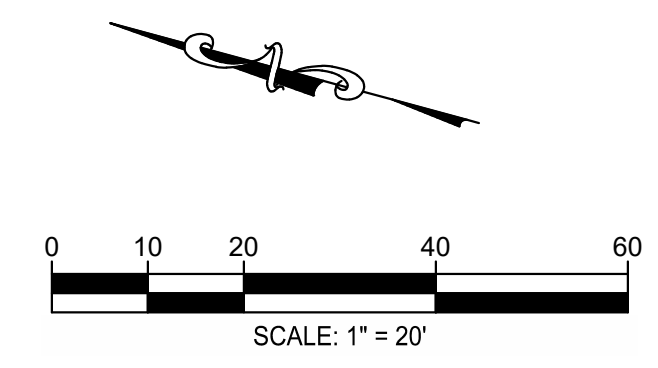
FULMER LUCAS
2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 346-3770



- NOTES:**
- CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
 - PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAYBE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
 - CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 PSI) UNLESS OTHERWISE NOTED.
 - ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
 - DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 - ALL CURB TURNOUT, EDGE OF PAVEMENT, AND STRIPING RADII ARE FOUR FEET (4') UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
 - IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
 - THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
 - TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
 - BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
 - ALL CURB RAMPS IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
 - ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
 - ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
 - INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
 - ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
 - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
 - ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.

PAVING LEGEND

	HEAVY DUTY ASPHALT (DRIVE AISLES)
	LIGHT DUTY ASPHALT (PARKING STALLS)
	SIDEWALK SECTION
	HEAVY DUTY CONCRETE



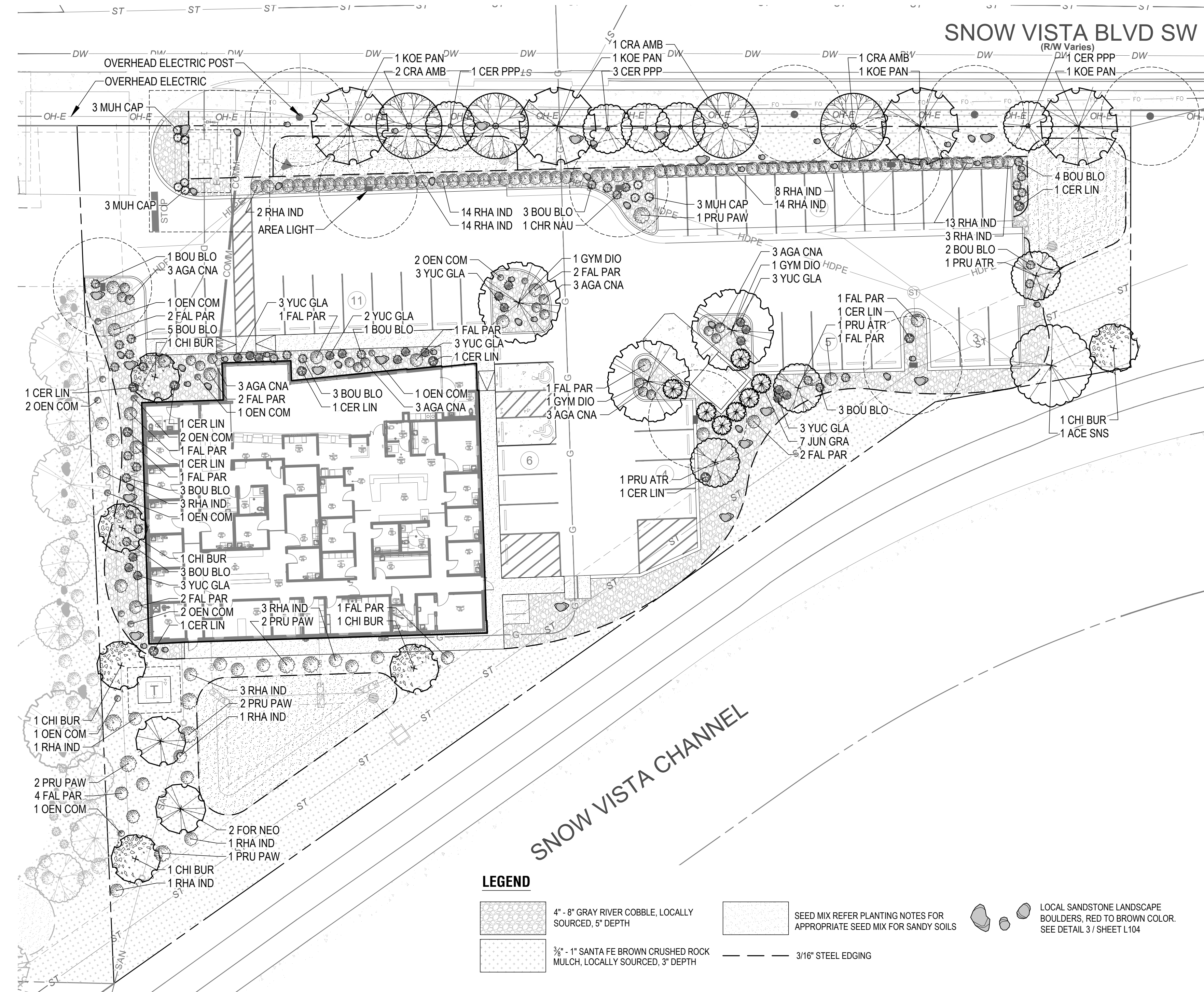
SITE DEVELOPMENT PLANS FOR:
BENAVIDES
1125 SNOW VISTA BLVD SW
ALBUQUERQUE, NEW MEXICO 87121

DATE	DESCRIPTION
10/08/2025	CONCEPTUAL SITE PLAN
10/24/2025	FIRE PLAN
12/12/2025	STORMWATER INITIAL SUBMITTAL
01/19/2026	STORMWATER RESUBMITTAL
01/09/2026	PERMIT RESUBMITTAL

SITE LAYOUT PLAN

C1.0

1084-35 BENAVIDES



PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT	SPACING
TREES						
ACE SNS	1	ACER NEGUNDO 'SENSATION'	2" CAL.	B&B	8' HT.	
CER PPP	5	SENSATION BOX ELDER CERCIS CANADENSIS 'PINK POM POMS'	2.5" CAL.	B&B	8' HT.	
CRA AMB	4	PINK POM POMS EASTERN REDBUD CRATAEGUS AMBIGUA	2.5" CAL.	B&B	8' HT.	
FOR NEO	2	FORESTIERA NEOMEXICANA 'SILVER SATIN'	2.5" CAL.	B&B	8' HT.	
GYM DIO	3	SILVER SATIN NEW MEXICO PRIVET GYMNOCLADUS DIOICA 'ESPRESSO'	2" CAL.	B&B	8' HT.	
KOE PAN	4	KENTUCKY COFFEETREE KOELREUTERIA PANICULATA 'GOLCANZAM'	2.5" CAL.	B&B	10' HT.	
EVERGREEN TREES						
JUN GRA	7	JUNIPERUS SCOPULORUM 'GRAY GLEAM'		B&B	6' HT.	
ORNAMENTAL TREES						
CHI BUR	6	CHILOPSIS LINEARIS 'BURGUNDY'	1.5" CAL.	B&B	6' HT.	
PRU ATR	3	BURGUNDY DESERT WILLOW PRUNUS CERASIFERA 'ATROPURPUREA'	1.5" CAL.	B&B	6' HT.	
SHRUBS						
CER LIN	9	CERCOCARPUS LEDIFOLIUS INTRICATUS	5 GAL.	CONTAINER	3' HT.	4'-0" O.C.
CHR NAU	1	LITTLE-LEAF MOUNTAIN MAHOGANY CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS	5 GAL.	CONTAINER	2' HT.	4'-0" O.C.
FAL PAR	22	DWARF BLUE RABBITBRUSH FALLUGIA PARADOXA	5 GAL.	CONTAINER	2' HT.	5'-0" O.C.
PRU PAW	8	APACHE PLUME PRUNUS BESSEYI 'P011S' TM	5 GAL.	CONTAINER	3' W.	8'-0" O.C.
RHA IND	82	PAWNEE BUTTES SAND CHERRY RHAPHIOLEPIS INDICA	5 GAL.	CONTAINER	2' HT.	4'-0" O.C.
YUC GLA	20	INDIAN HAWTHORN YUCCA GLAUCA	1 GAL.	CONTAINER	10" HT.	3'-0" O.C.
GRASSES						
BOU BLO	28	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.	CONTAINER	-	3'-0" O.C.
MUH CAP	9	BLONDE AMBITION BLUE GRAMA MUHLBERGIA CAPILLARIS	1 GAL.	CONTAINER	-	3'-0" O.C.
PERENNIALS						
AGA CNA	18	PINK MUILY GRASS AGASTACHE CANA	1 GAL.	CONTAINER	-	3'-0" O.C.
OEN COM	14	TEXAS HUMMINGBIRD MINT OENOTHERA MACROCARPA 'COMANCHE CAMPFIRE'	1 GAL.	CONTAINER	-	3'-6" O.C.

H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULT-TRUNK, FTG: FULL TO GROUND
 1. O.C.: INDICATES APPROXIMATE SPACING TO BE EQUAL ON CENTER. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.
 2. MATCHED: SIZE AND OTHER PHYSICAL CHARACTERISTICS TO BE SIMILAR. ALL DIMENSIONS TO BE WITHIN 5% RANGE.
 3. QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS AND COVERAGE OF ALL AREAS DELINEATED. WHEN DISCREPANCIES OCCUR BETWEEN PLANT LIST AND PLANTING PLANS, THE PLANS ARE TO SUPERSEDE THE PLANT LIST.
 4. 4" CALIPER TREES AND LARGER TO BE LIMBED 6" MINIMUM TO FIRST BRANCH WITH NO VISIBLE PRUNING MARKS ALLOWED UNLESS OTHERWISE NOTED.
 5. ALL TREES TO HAVE A SINGLE CENTRAL LEADER UNLESS OTHERWISE NOTED.

1 PLANTING PLAN
 1" = 20'-0"

PLANTING NOTES

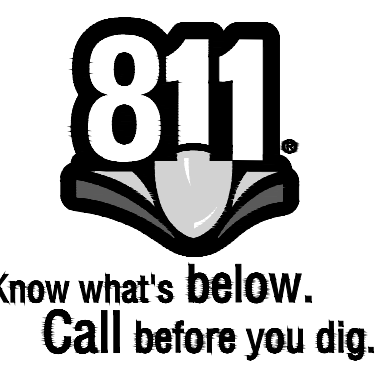
- CONTRACTOR TO ASCERTAIN LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION AND BE RESPONSIBLE FOR DAMAGE RESULTING FROM PLANTING OPERATIONS. REPAIRS SHALL BE MADE AT NO COST TO THE OWNER.
- ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THE SURVEY. CONTACT THE LOCAL UTILITY LOCATION SERVICES PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- FINISH GRADE FOR SHRUB, GROUND COVER, AND LAWN AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENT AND CURBS UNLESS OTHERWISE NOTED ON DRAWINGS.
- FIELD STAKE LOCATIONS OF PROPOSED TREES FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DELIVERY OF TREES.
- SEED MIX TO BE EQUAL TO (LLANO ESTACADO WILDFLOWER SEED MIXTURE) AS SUPPLIED BY CURTIS AND CURTIS SEED. 4500 N PRINCE STREET, CLOVIS, NM 88101. SEED MIXTURE APPLICATION TO MEET THE REQUIREMENTS OF "SECTION 1013 SLOPE STABILIZATION AND SEEDING REQUIREMENTS" PROVIDED BY THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- SHRUBS TO BE PLANTED A MINIMUM OF 3 FEET AND TREES 15 FEET WAY FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
- BOULDERS TO BE NATIVE, WEATHERED, FIELD-COLLECTED STONES WITH NO SUBSTANTIAL SCARS AND SHALL HAVE SIGNIFICANT COVERAGE OF LICHENS AND/OR MOSS. DIMENSIONS OF BOULDERS SHALL RANGE FROM .5 TONS TO 2 TONS, WITH 50% OF THE BOULDERS BEING ONE TON OR OVER. BOULDERS TO BE PARTIALLY BURIED TO SIMULATE A NATURAL CONDITION. DEPTH OF BOULDERS TO BE BURIED TO AVERAGE 1/3 OF HEIGHT OR AS NEEDED TO SIMULATE A NATURAL CONDITION. LOCATION AND ORIENTATION OF BOULDERS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE. PLACED BOULDERS TO BE PROTECTED FROM DAMAGE FROM CONSTRUCTION OPERATIONS.
- ALL VEGETATED MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.
- BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES HAVING VISITED THE SITE AND BECOME FAMILIAR WITH THE CONDITIONS RELATED TO THE INSTALLATION OF SITE IMPROVEMENTS.

ADDITIONAL NOTES - LANDSCAPE AND IRRIGATION

- PER 5-6(C)(4)(g), ALL VEGETATION SHALL COMPLY WITH ARTICLE 9-12 AND PARTS 6-1-1 AND 6-6-2 OF ROA 1944 (POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE) AS APPLICABLE.
- PER 5-6(C)(5)(d), A MINIMUM OF 2 INCHES OF ORGANIC MULCH IS REQUIRED IN ALL PLANTING AREAS, WITH 3-4 INCHES RECOMMENDED.
- PER 5-6(C)(14)(a), IRRIGATION SYSTEM SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE).
- PER 5-13(B)(7)(a), LANDSCAPING, SCREENING AND BUFFERING AREAS SHALL BE MAINTAINED IN COMPLIANCE WITH ARTICLES 6-6 AND 9-8 OF ROA 1944 (TREES, VEGETATION, AND LANDSCAPING AND WEEDS, LITTER AND SNOW) AND SECTION 4 OF THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LEGISLATION AND ORDINANCES (WATER WASTE REDUCTION ORDINANCE).
- PER 5-13(B)(7)(d), WHERE LANDSCAPING WAS INSTALLED PURSUANT TO A SITE PLAN OR DEVELOPMENT APPROVAL, THE LANDSCAPING SHALL BE REPLACED ACCORDING TO ANY LANDSCAPING AND MAINTENANCE PLAN UNDER THAT APPROVAL.
- PER 5-13(B)(7)(e), TREES OR PLANTS THAT DIE SHALL BE REPLACED BY THE OWNERS AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 CALENDAR DAYS AFTER NOTICE FROM THE CITY. THE REPLACEMENT OF DEAD VEGETATION IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PER 5-13(B)(7)(f), STREET TREES SHALL BE MAINTAINED ALIVE AND HEALTHY. MAINTAINING AND REPLACING STREET TREES OR OTHER TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF ABUTTING PROPERTY OWNERS.

CAUTION
 NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



SITE DEVELOPMENT PLANS FOR:
BENAVIDES
 1125 SNOW VISTA BLVD SW
 ALBUQUERQUE, NEW MEXICO 87121

REV	DESCRIPTION	DATE

DATE: 01/29/2026
 PROJECT NO.: 2575020
 SHEET NAME:

GENERAL EXTERIOR ELEVATION NOTES

1. REFER TO SYMBOLS AND ABBREVIATIONS SHEET G0.02 FOR PROJECT GENERAL NOTES.
2. PLUS OR MINUS DIMENSIONS ALLOW FOR OVERALL ADJUSTMENTS TO NO MORE OR LESS THAN ONE HALF OF AN INCH IN A SINGLE DIMENSION STRING. NOTIFY ARCHITECT OF EXISTING DIMENSION DISCREPANCIES PRIOR TO NEW WALL PLACEMENT.
3. REFER TO AS-SERIES SHEETS FOR DOOR SCHEDULE, DOOR FRAME ELEVATIONS, HEAD AND JAMB DETAILS, AS WELL AS STOREFRONT AND WINDOW ELEVATIONS.

EXTERIOR MATERIAL LEGEND

- (AW-1) METAL AWNING, BASIS OF DESIGN: MASA ARCHITECTURAL CANOPIES - ALUMINUM FRAME ALUMINUM COMPOSITE PANEL AND CUSTOM ACCENT TRIM. COLOR: PANTONE 654 (NAVY)
- (AW-2) METAL AWNING, BASIS OF DESIGN: MAPES ARCHITECTURAL CANOPIES - LUMISHADE ALUMINUM CANOPY. COLOR: PENDING ARCHITECT SELECTION
- (EF-1) EXTERIOR INSULATION FINISH SYSTEM, BASIS OF DESIGN: DRYVIT FINISH. SANDSILAST. COLOR: SHERWIN WILLIAMS SW 7116 (SPAPER WHITE)
- (EF-2) EXTERIOR INSULATION FINISH SYSTEM, BASIS OF DESIGN: DRYVIT FINISH. REFLICIT (GLOSS/REFLECTIVE). COLOR: PANTONE 654 (NAVY). FACTORY FABRICATED, FIELD INSTALLED PER MANUFACTURER RECOMMENDATIONS FOR REFLECTIVE FINISH
- (SV-1) STONE VENEER & TRIM, BASIS OF DESIGN: CULTURED STONE - COUNTRY LEDGESTONE MANUFACTURED VENEER. COLOR: ECHO PARK
- (SV-2) CUSTOM CAST STONE SILL, BASIS OF DESIGN: READING ROCK SL-350. COLOR: PENDING ARCHITECT SELECTION.
- (MC-1) METAL COPING, MATCH ADJ EIFS WALL FINISH (EF-1)
- (MC-2) ACCENT METAL COPING, MATCH ADJ EIFS WALL FINISH (EF-2)
COLOR: PANTONE 654
- (WF-1) WINDOW FILM APPLIED TO INSIDE FACE OF GLAZING, BASIS OF DESIGN: 3M FASARA VISTA SH2FGV

KEYNOTE LEGEND

NO.	DESCRIPTION
400	EIFS. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION. COLOR AND FINISH INFORMATION IDENTIFIED ON EXTERIOR MATERIAL LEGEND ON THIS SHEET. VERIFY COLOR WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
403	CLEAR ANODIZED ALUMINUM STOREFRONT. REFER TO A6.00 FOR ADDITIONAL INFORMATION.
404	CLEAR ANODIZED ALUMINUM FRAMED WINDOW. REFER TO A6.00 FOR ADDITIONAL INFORMATION.
405	METAL DOOR AND FRAME PAINTED. REFER TO DOOR SCHEDULE ON A6.00 FOR ADDITIONAL INFORMATION. COLOR TO MATCH ADJACENT EIFS.
406	PREFINISHED METAL CAP FLASHING, MATCH TO ADJ WALL FINISH COLOR. REFER TO EXTERIOR MATERIAL LEGEND FOR ADDITIONAL COLOR INFORMATION.
407	APPROXIMATE LOCATION OF SIGNAGE. SIGNAGE BY OTHERS UNDER SEPARATE PERMIT. PROVIDE ADDITIONAL BLOCKING AND POWER FOR FUTURE SIGNAGE. REFER TO ELECTRICAL FOR ADDITIONAL POWER INFORMATION.
408	PRIMARY SCUPPER AND RECTANGULAR DOWNSPOUT. DOWNSPOUT TO CONNECT TO UNDERGROUND STORM DRAIN SYSTEM. COLOR TO MATCH ADJ WALL FINISH. REFER TO ROOF PLAN AND DETAILS ON A5.01 FOR ADDITIONAL INFORMATION.
409	OVERFLOW SCUPPER. REFER TO ROOF PLAN AND DETAILS ON A5.01 FOR ADDITIONAL INFORMATION.
410	3/4" X 1" EIFS REVEAL. REFER TO TYPICAL EIFS DETAILS ON A5.09 FOR ADDITIONAL INFORMATION.
411	APPROXIMATE LOCATION OF AWNING. CENTER AWNING ABOVE EACH WINDOW OR DOOR.
412	METAL DOWNSPOUTS TO TIE INTO UNDERGROUND STORM LINE - REFER TO CIVIL DRAWINGS. PAINT TO MATCH ADJ. WALL COLOR.
415	WALL PACK LIGHT FIXTURE. REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.
416	ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION. PAINT TO MATCH ADJ. WALL COLOR.
420	ELECTRICAL METER. REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION. PAINT TO MATCH ADJ. WALL COLOR.
421	PROVIDE AND INSTALL KNOX BOX MODEL 3261 - BLACK, SUBFACE MOUNT WITH HINGED DOOR. VERIFY LOCATION AND HEIGHT WITH LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION.
423	EXTERIOR ELECTRICAL OUTLET. REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION. USE STONE MANUFACTURER FINISH ACCESSORIES TO MATCH ADJ. WAINSCOT.
425	BACK BOX FOR SECURITY CAMERA. REFER TO ELECTRICAL.
426	CARD BADGE READER. REFER TO ELECTRICAL AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

OWNER
ORION GROUP ASSOCIATES
200 FOSTER CREATION DR.
NORWALK, MA 02061
(978) 333-8021

CIVIL ENGINEER
TBD

ARCHITECT
FACET ARCHITECTURAL DESIGN
A CASCO OVERSHPED CORPORATION CO.
13 SUMNER DR., STE. 100
ST. LOUIS, MO 63143
(314) 821-1100

STRUCTURAL ENGINEER
ME1
A CASCO OVERSHPED CORPORATION CO.
13 SUMNER DR., STE. 100
ST. LOUIS, MO 63143
(314) 821-1100

MECHANICAL, ELECTRICAL & PLUMBING ENGINEERS
ME1
A CASCO OVERSHPED CORPORATION CO.
13 SUMNER DR., STE. 100
ST. LOUIS, MO 63143
(314) 821-1100

Lovelace Medical Group
Ardent Health
ARDENT HEALTH SERVICES
COMBINED URGENT CARE & PRIMARY CARE
BENAVIDES NIM

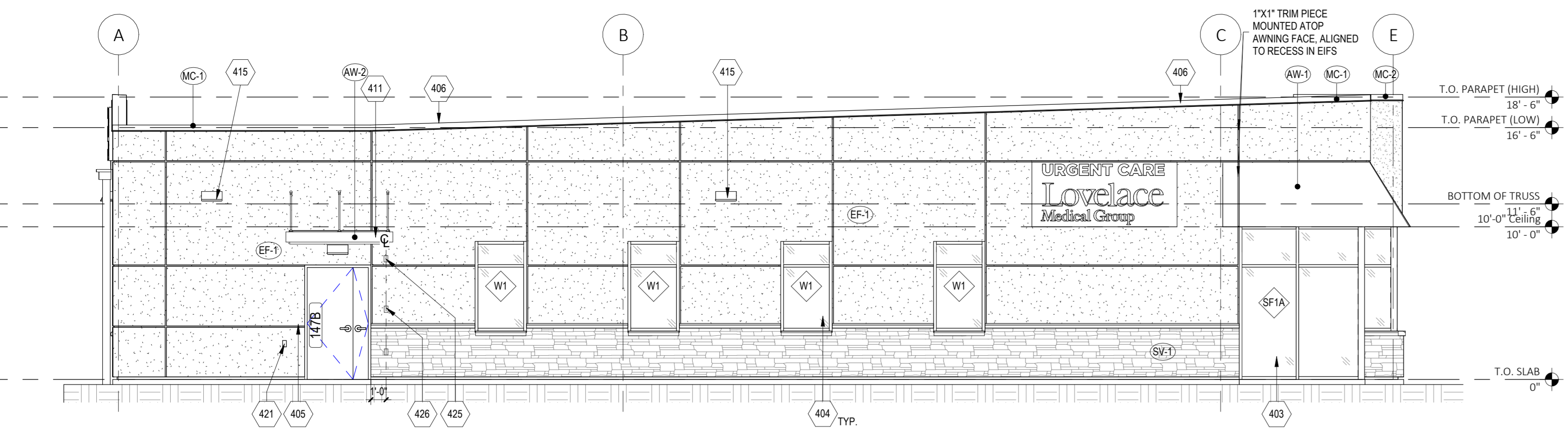
No.	CONSTR. DOC. & REVISIONS	Date	Description

Professional of Record:
CARON M. STEVENSON
License No.: 006073
Expiration Date: 12/31/25

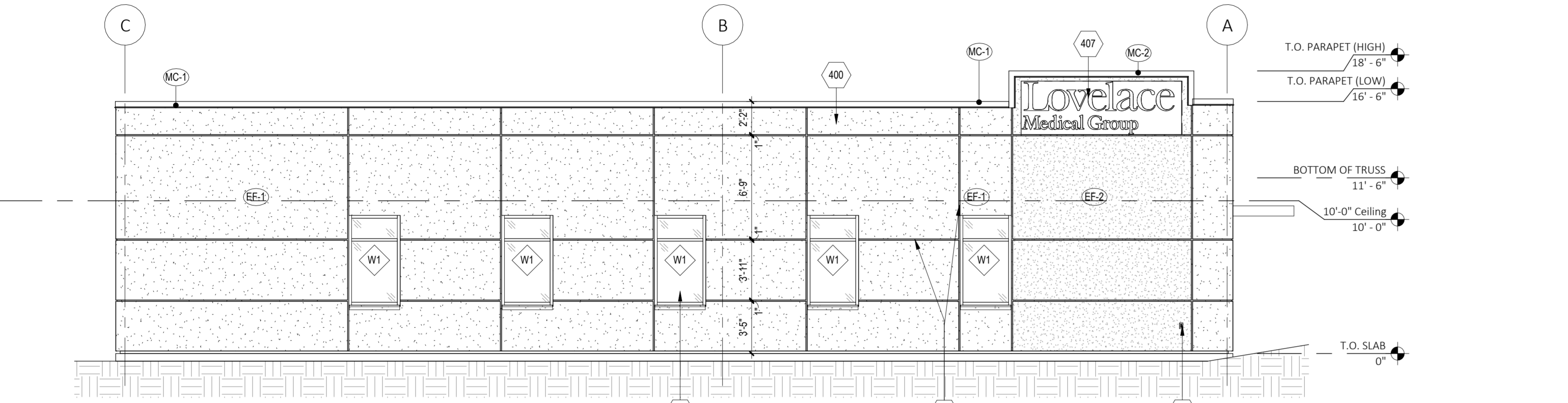
Drawn/Checked: JTC / SMH
Project Number: 2505153
Owner Review: ---
Bid Date: ---
Permit Date: ---
For Construction: ---

EXTERIOR ELEVATIONS

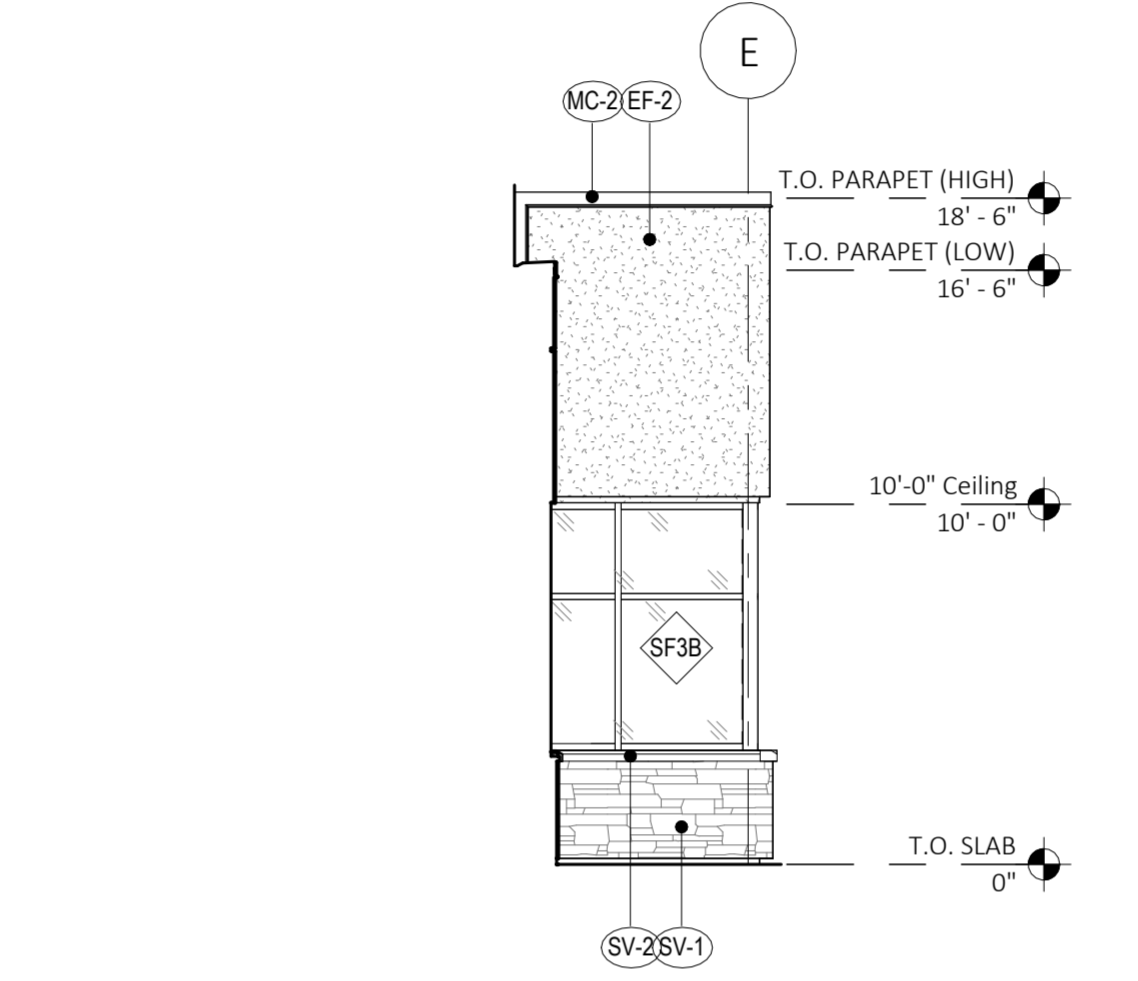
A4.00



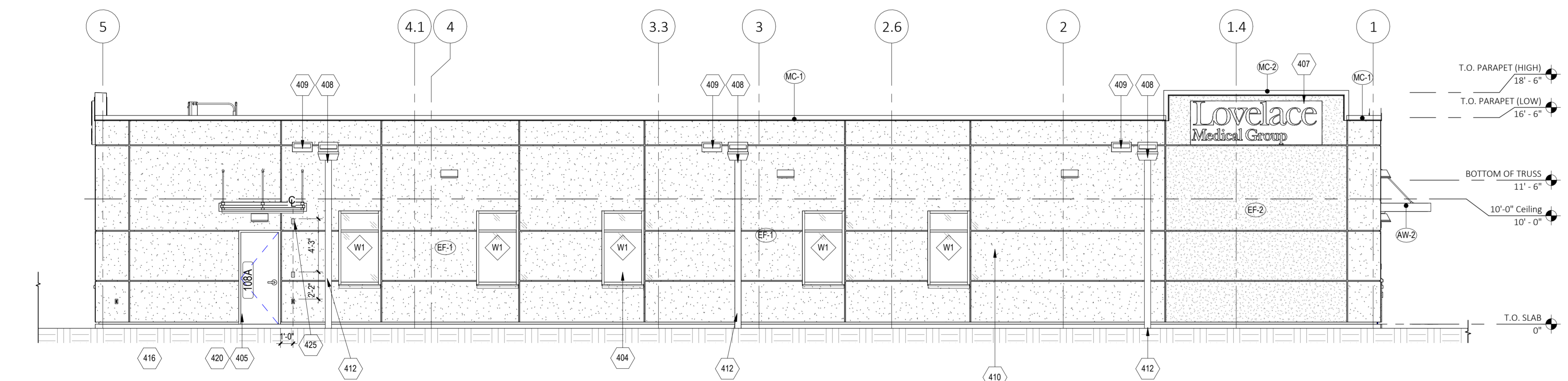
1 LEFT EXTERIOR ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



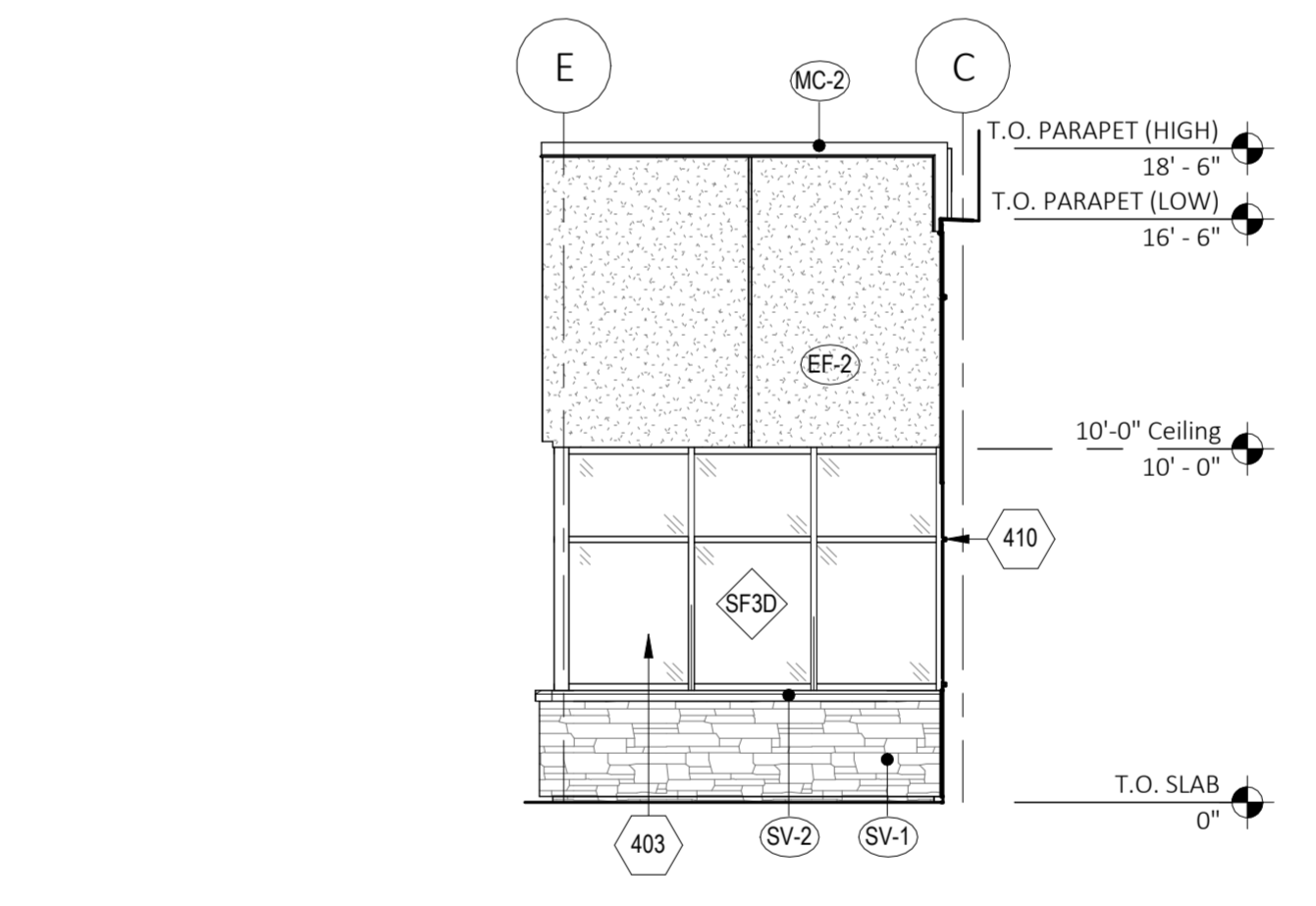
2 RIGHT EXTERIOR ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



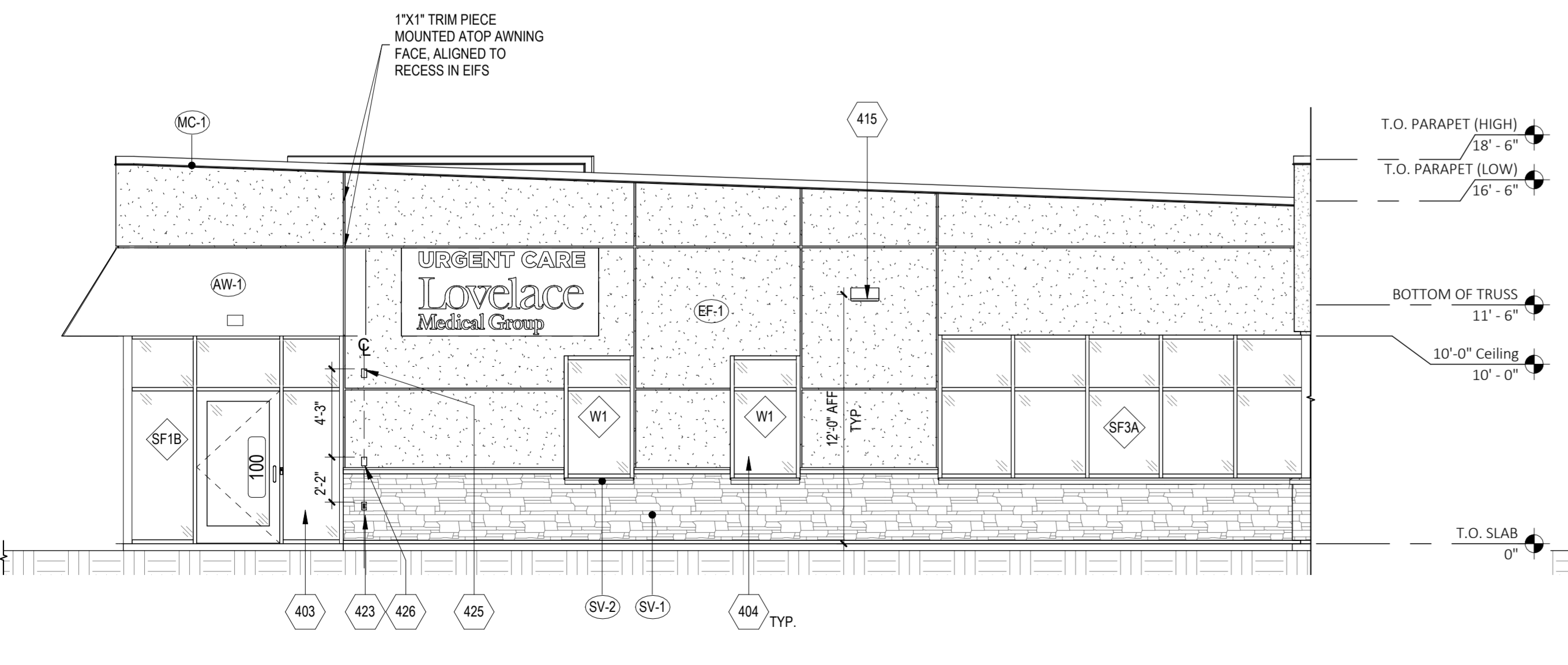
6 FRONT EXTERIOR ELEVATION A (SOUTH)
SCALE: 3/16" = 1'-0"



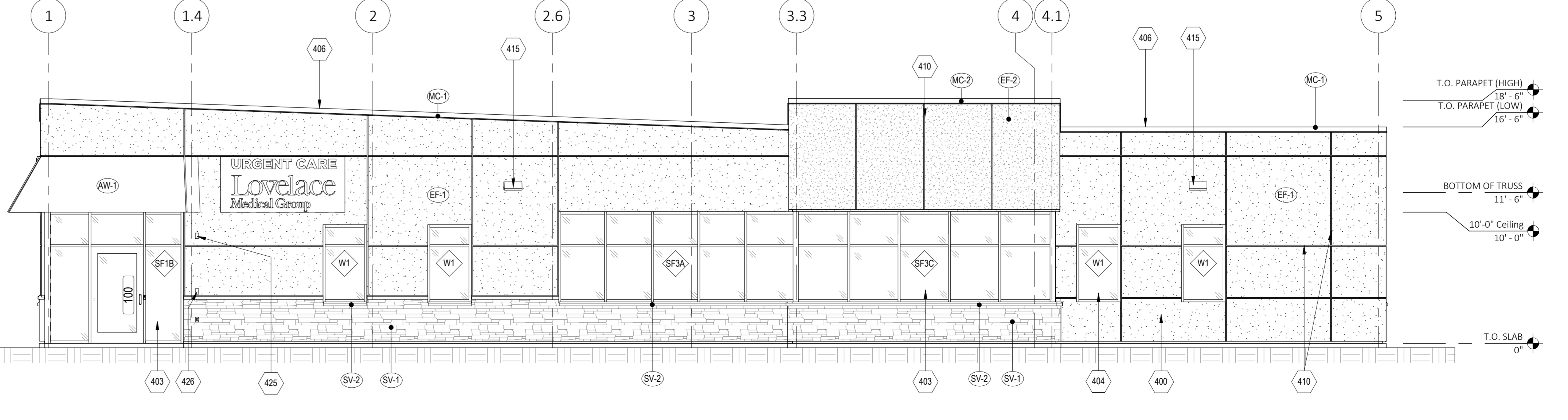
3 REAR EXTERIOR ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



7 FRONT EXTERIOR ELEVATION B (NORTH)
SCALE: 3/16" = 1'-0"



4 FRONT EXTERIOR ELEVATION A (EAST) FACING SKEWED WALL
SCALE: 3/16" = 1'-0"



5 FRONT EXTERIOR ELEVATION B (EAST) FACING STRAIGHT WALL
SCALE: 3/16" = 1'-0"

Jay Fulmer

From: Jay Fulmer
Sent: Friday, January 30, 2026 11:07 AM
To: 'mattearchuleta1@hotmail.com'; 'gering.mark@yahoo.com'
Cc: Sam Sarbacker; 'westgate9901@gmail.com'
Subject: 1125 Snow Vista Blvd SW - Public Notice - Administrative Site Plan
Attachments: 1125 Snow Vista Blvd SW.pdf; CABQ_Public_Notice_Checklist Signed.pdf

Mr. Archuleta and Mr. Gering,

Hope all is well. Our firm is representing Oman Gibson Associates (Sam Sarbacker copied) for the development of a new primary care/urgent care building (single story 8k sf+/-) immediately south of the proposed Taco Bell at 1125 Snow Vista Blvd SW.

As part of the application process, we are notifying the nearby neighborhood associations.

In addition to the notification checklist, attached are the site plan, landscape plan and building elevations.

If you have any questions relative to the project, please let us know.

Thank you - Jay

Jay Fulmer, PE

FULMER LUCAS

2002 Richard Jones Road | Suite B200

Nashville, Tennessee 37215

O | 615.345.3771

C | 615.516.8477

E | jay@fulmerlucas.com

www.fulmerlucas.com

Jay Fulmer

From: Jay Fulmer
Sent: Friday, January 30, 2026 11:04 AM
To: 'housealbchrome@gmail.com'; 'jgallegoswccdg@gmail.com'
Cc: Sam Sarbacker
Subject: 1125 Snow Vista Blvd SW - Public Notice - Administrative Site Plan
Attachments: 1125 Snow Vista Blvd SW.pdf; CABQ_Public_Notice_Checklist Signed.pdf

Mr. Gallegos and Mr. Otero,

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Thank you - Jay

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Jay Fulmer

From: Jay Fulmer
Sent: Friday, January 30, 2026 11:09 AM
To: 'aboard111@gmail.com'; 'jane.baechle@gmail.com'
Cc: 'wescona0@gmail.com'; Sam Sarbacker
Subject: 1125 Snow Vista Blvd SW - Public Notice - Administrative Site Plan
Attachments: 1125 Snow Vista Blvd SW.pdf; CABQ_Public_Notice_Checklist Signed.pdf

Ms. Baechle and Ms. Horvath,

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Thank you - Jay

Jay Fulmer, PE

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