

Legal Description & Location: Dennis Pavilions
10120 Coors BLVD NW

Request Description: _____

Hydrology:

- | | | |
|-------------------------------------|------------------------|------------------|
| • Sensitive Lands Analysis (5-2(C)) | <u> </u> Approved | <u> X </u> NA |
| • Grading and Drainage Plan | <u> X </u> Approved | <u> </u> NA |
| • AMAFCA | <u> X </u> Approved | <u> X </u> NA |
| • Bernalillo County | <u> </u> Approved | <u> X </u> NA |
| • NMDOT | <u> </u> Approved | <u> X </u> NA |
| • MRGCD | <u> </u> Approved | <u> X </u> NA |

Regina Che
Hydrology Department

11/10/2025
Date

Transportation:

- | | | |
|--------------------------------------|------------------------|-----------------|
| • Traffic Circulations Layout (TCL) | <u> X </u> Approved | <u> X </u> NA |
| • Traffic Impact Study (TIS) | <u> </u> Approved | <u> X </u> NA |
| • Neighborhood Impact Analysis (NIA) | <u> </u> Approved | <u> X </u> NA |
| • Bernalillo County | <u> </u> Approved | <u> X </u> NA |
| • MRCOG | <u> </u> Approved | <u> X </u> NA |
| • NMDOT | <u> </u> Approved | <u> X </u> NA |
| • MRGCD | <u> </u> Approved | <u> X </u> NA |

[Signature]
Transportation Department

11/10/2025
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? ✓ Yes No NA
- Availability Statement/Serviceability Letter Number 250306
- Note: Commitment for service is required prior to application approval.

[Signature]
ABCWUA

11/10/25
Date

- | | | |
|---|------------------------|------------------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | <u> </u> Approved | <u> </u> NA |
| <input type="checkbox"/> Solid Waste Department Signature on the Plan | <u> </u> Approved | <u> </u> NA |
| <input type="checkbox"/> Fire Marshall Signature on the Plan | <u> </u> Approved | <u> </u> NA |

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO INFRASTRUCTURE IMPROVEMENTS AGREEMENT
DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST

DEMI'S PAVILLIONS

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 13-A; TRACTS 13-A, 13-B, & 13-C, BLACK RANCH
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
DRC #	DRC #						/	/	/
		6' WIDE	CONCRETE SIDEWALK	COORS RD NW	NW PROPERTY CORNER	SW PROPERTY CORNER			
		N/A	PAINTED THROUGH/LEFT ARROW	EAST SIDE OF OLD AIRPORT RD & COORS RD	N/A	N/A	/	/	/
		N/A	3 STREET LIGHTS TO MATCH EXISTING SPACED ON +/- 100' CENTERS	ALONG COORS FRONTAGE	NW PROPERTY CORNER	SW PROPERTY CORNER	/	/	/
		N/A	ADA ACCESSIBLE RAMP	SOUTHWEST PROPERTY CORNER AT DRIVEWAY	N/A	N/A	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

- 1 _____
- 2 _____

AGENT / OWNER


DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeffrey T. Wooten, P.E.

NAME (print)

Wooten Engineering

FIRM

 11/4/2025

SIGNATURE - date

PLANNING - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

SHEET IS MEANT TO PLOT AT 24" X 36" SIZE TO CORRECT SCALE.

RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90-DAY MAINTENANCE PERIOD.

STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT AND WATER CONSERVATION ORDINANCE.

TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.

SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH.

MINIMUM PLANT SIZES ARE PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.

ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.

CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.

CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.

VEGETATION AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.

1. WORK COVERED IN THESE NOTES CONSISTS OF THE PLANTING OF TREES, SHRUBS AND MULCHING, INCLUDING THE FURNISHING OF ALL LABOR, EQUIPMENT, MATERIALS AND PERFORMING ALL WORK IN CONNECTION WITH THE DRAWINGS.

2. PLANT MATERIAL QUALITY, SIZE AND CONDITION SHALL BE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE COMMITTEE ON HORTICULTURAL STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

3. ALL PLANTS SHALL BY TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, AND FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS AND ALL OTHER FORMS OF INFECTIONS. THE LANDSCAPE ARCHITECT SHALL INSPECT ALL PLANT MATERIAL AT THE CONTRACTOR'S YARD PRIOR TO DELIVERY, DURING PLANTING AND AFTER PLANTING AT THE JOB SITE.

4. AT THE OPTION OF THE CONTRACTOR, THE OWNER'S REPRESENTATIVE WILL INSPECT PLANT MATERIAL AT A WHOLESALE NURSERY OF THE CONTRACTOR'S CHOICE PRIOR TO DELIVERY OF MATERIALS TO THE CONTRACTOR'S YARD. HOWEVER, AT NO ADDITIONAL EXPENSE TO THE OWNER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAVEL EXPENSES INCURRED BY THE ARCHITECT FOR ANY TRAVEL OUTSIDE OF THE ALBUQUERQUE METROPOLITAN AREA.

5. UNLESS OTHERWISE STATED ON THE DRAWINGS OR APPROVED BY ARCHITECT, ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED WITH NURSERY LABELS INDICATING SPECIES AND VARIETY.

6. CONTAINER GROWN PLANT MATERIAL SHALL HAVE BEEN ESTABLISHED IN ITS DELIVERY CONTAINER FOR NOT LESS THAN SIX MONTHS, BUT FOR NOT MORE THAN TWO YEARS. ANY ROOTBOUND MATERIAL WILL NOT BE ACCEPTED.

7. BALLED AND BURLAPPED PLANT MATERIAL SHALL HAVE A SOLID BALL OF EARTH OF MINIMUM SPECIFIED SIZE AND HELD IN PLACE SECURELY BY BURLAP AND A STOUT TWINE OR ROPE. BROKEN OR LOOSE BALLS WILL BE REJECTED.

8. UNLESS SPECIFICALLY NOTED ON THE DRAWINGS, ALL TREES SHALL HAVE A SINGLE TRUNK THAT IS STRAIGHT AND FREE OF "DOG-LEGS", "CROOKS", "Y-CROTCHES", OR OTHER DISFIGURING SHAPES. THE CENTRAL LEADER OF ALL TREES SHALL NOT HAVE BEEN PRUNED. TREES WITH DOUBLE LEADERS ARE NOT ACCEPTABLE, UNLESS SPECIFIED AS MULTI-TRUNKED.

9. ALL PLANT MATERIAL SHALL BE INSTALLED WITHIN THE FOLLOWING DATES: BALLED AND BURLAPPED PLANTS: MARCH 1ST - JUNE 1ST. CONTAINERIZED PLANTS: APRIL 1ST - AUGUST 31ST. SOD AND SEED INSTALLATION: APRIL 30 - AUGUST 31ST.

10. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. IF THE TYPE OF MATERIALS DIFFERING IN KIND, QUALITY OR SIZE FROM THAT SPECIFIED WILL BE ALLOWED ONLY AFTER THE ARCHITECT IS CONVINCED THAT ALL MEANS OF OBTAINING THE SPECIFIED MATERIALS HAVE BEEN EXHAUSTED. CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE THAT ALL MATERIALS NECESSARY TO COMPLETE THE PROJECT AS SPECIFIED HAVE BEEN LOCATED AND ALL REQUESTS FOR SUBSTITUTIONS MUST BE SUBMITTED NO LATER THAN 2 WEEKS PRIOR TO THE INITIATION OF WORK.

11. ALL PLANTING BEDS SHOWN ON PLANS SHALL BE MULCHED. NO BEDS WILL BE LEFT UNCOVERED OR NOT TOP DRESSED, UNLESS OTHERWISE SPECIFIED OTHERWISE SPECIFIED.

12. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE GUARANTEED FOR THE PERIOD OF ONE YEAR OR TWO GROWING SEASONS, WHICHEVER COMES FIRST, BEGINNING ON THE DATE OF FINAL CONTRACT ACCEPTANCE.

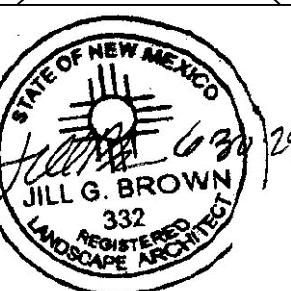


KEYED NOTES

1. WATER HARVESTING SWALE.
2. COLORED EXPOSED AGGREGATE SPECIALTY PAVING, COLOR TO BE DETERMINED BY ARCHITECT. SEE ARCH PLANS FOR DETAILS.
3. CONCRETE SIDEWALK, SEE ARCH PLANS FOR DETAILS.
4. CONCRETE STAIRS, SEE ARCH PLANS FOR DETAILS.
5. INSTALL STEEP SLOPE LANDSCAPE TREATMENT, SEE LANDSCAPE DETAIL FOR PLANTING ON SLOPE.
6. INSTALL BOLDER TERRACING ON STEEP SLOPE.
7. INSTALL STONE BENCH SEATING, SEE LANDSCAPE DETAIL FOR SEATING.
8. INSTALL PORTABLE TABLES AND CHAIRS, WABASH VALLEY, TABLE: 36" HIGHLAND ROUND PATIO TABLE: QUANTITY: 5, COLOR BLACK. WABASH VALLEY, CHAIRS: CHAIRS: COME IN GROUPS OF 4. HIGHLAND PATIO CHAIRS
9. INSTALL STONE WATER FEATURE BY STONE FOREST.COM, OWNER TO CHOOSE.
10. INSTALL CRUSHER FINES PATH. SEE LANDSCAPE DETAIL FOR PATH.

Penny Design, LLC
302 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505.280.5439

LANDSCAPE ARCHITECT: MY LANDSCAPE COACH.COM
NUMBER: 505-246-9027



10120 coors blvd nw
Albuquerque, NM 87114
demi's pavillions

DATE: 06/30/25

DRAWN BY: JGB

CHECKED BY:

ET NO:

SHEET TITLE:

PLANTING PLAN

LP-100

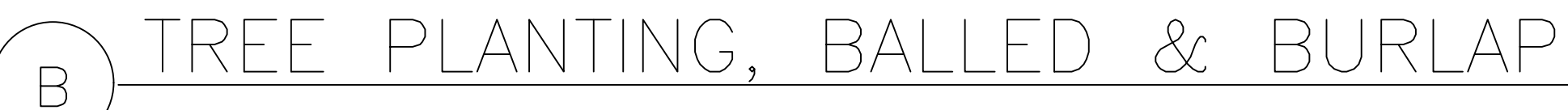
- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL AFTER REMOVING COBBLE. MIX WITH 30% COMPOST.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND SHRUB.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



B TREE PLANTING, BALLED & BURLAP

1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"–2" HIGHER IN SLOWLY DRAINING SOIL).
3. REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
4. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
5. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES.
6. DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
7. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

- A. TREE.
- B. BACKFILL WITH EXISTING SOIL AFTER REMOVING COBBLE. MIX WITH 30% COMPOST.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND TREE.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"—2" HIGHER IN SLOWLY DRAINING SOIL).
3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
4. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM ENTIRE ROOTBALL AND FROM PLANTING HOLE.
5. AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

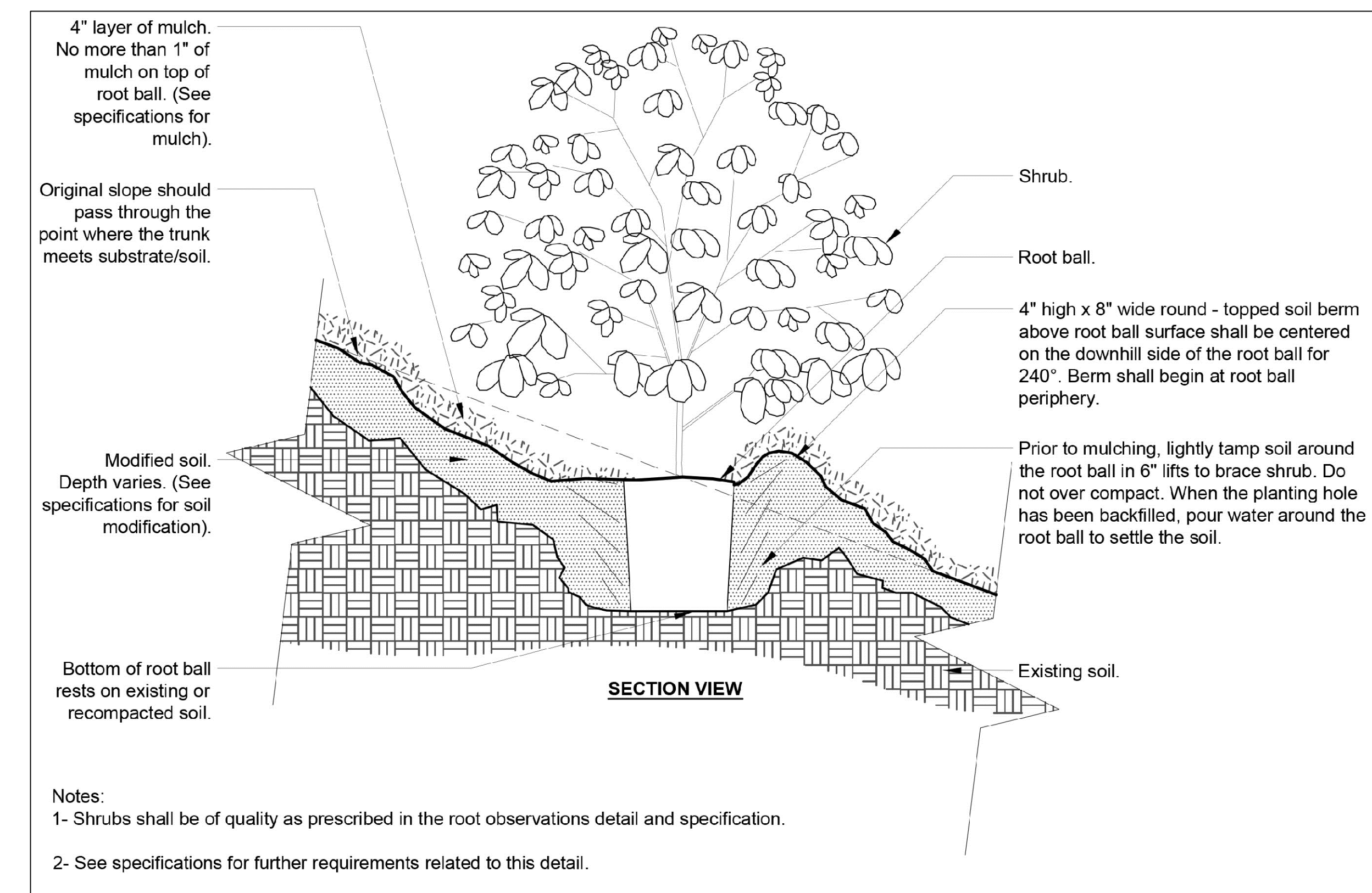
- A. TREE.
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF MULCH.
- D. 4" SPACE BETWEEN MULCH AND TREE.
- E. FINISH GRADE.
- F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- G. UNDISTURBED SOIL.



1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"–2" HIGHER IN SLOWLY DRAINING SOIL).
3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
4. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE.
5. AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

D SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) NOT TO SCALE

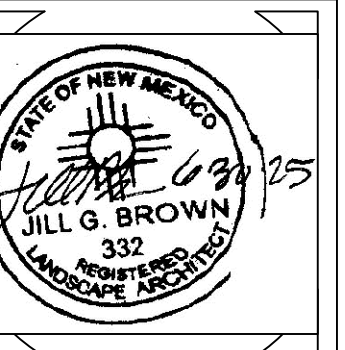
NOT TO SCALE



Penny Design, LLC
302 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505.280.5439

ALBUQUERQUE, NEW MEXICO 87107
505 . 280 . 5439

LANDSCAPE ARCHITECT: MY LANDSCAPE COACH.COM
NUMBER: 505-246-9027

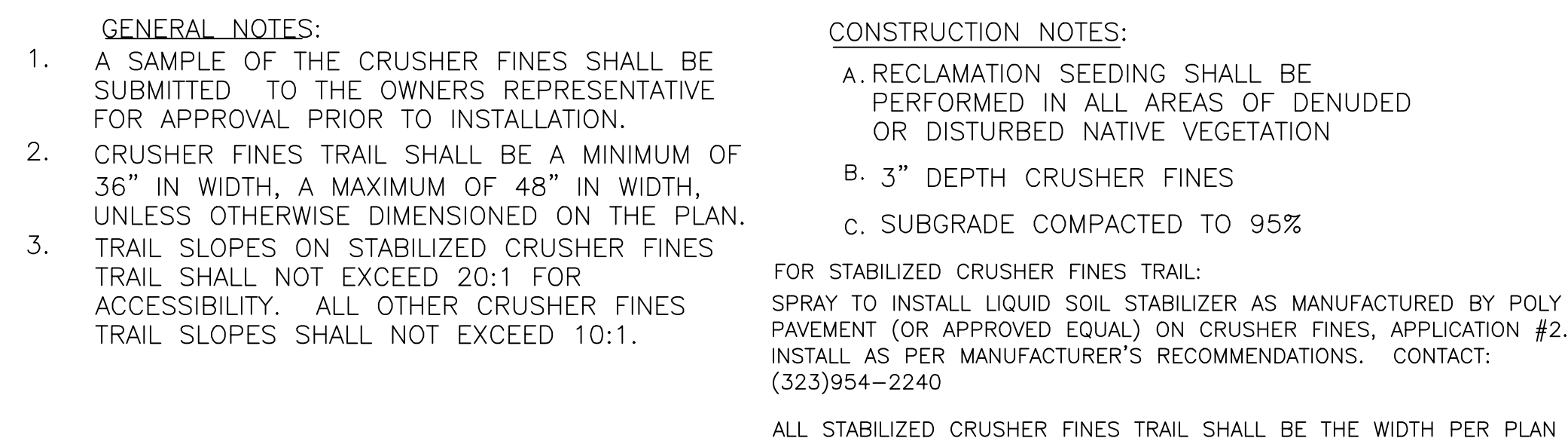


10120 coors blvd nw
Albuquerque, NM
87114

[illegible]

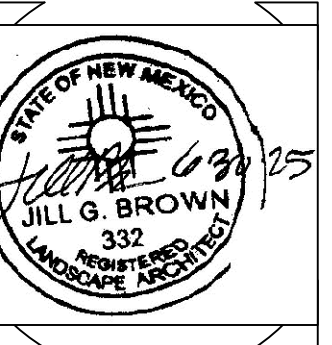
MEET TITLE:
PLANTING
DETAILS

D-102



Penny Design, LLC
302 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505.280.9439

LANDSCAPE ARCHITECT: MY LANDSCAPE COACH.COM
NUMBER: 505-246-9027



10120 coors bl vd nw
Albuquerque, NM
87114

[illegible]

DATE: 06/30/25

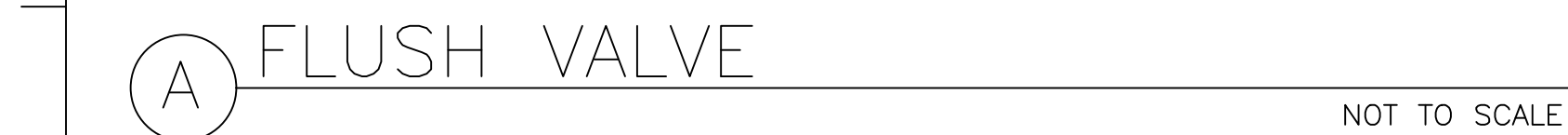
DRAWN BY: JGB

CHECKED BY:

CT NO: _____

HEET TITLE:
CONSTRUCTION
DETAILS

D-103

[illegible]

Charles Nguyen
CDR Holdings LLC
3554 White Horse Dr SE
Rio Rancho, NM 87124

11/10/2025

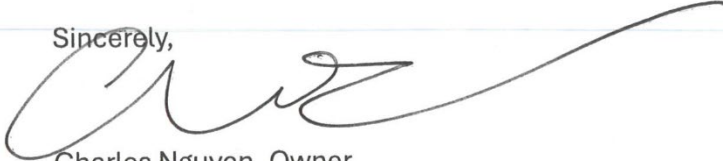
LETTER OF AUTHORIZATION

To the City of Albuquerque Environmental Planning Commission,

I authorize Penny Dudley, LEED AP of Penny Design, LLC to act as the agent and Don Dudley, AIA for the DFT submittal to the City of Albuquerque Planning Department.

Please contact me if you have any questions or concerns regarding this letter of authorization.

Sincerely,

A handwritten signature in black ink, appearing to be 'Charles Nguyen', written over a light blue horizontal line.

Charles Nguyen, Owner
505-264-0510

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 30, 2025

Scott McGee, P.E.
PO BOX 1273
Elephant Butte, NM 87935

RE: 10120 Coors Blvd NW
Grading and Drainage Plans
Engineer's Stamp Date: 9/2/25
Hydrology File: B14D013
Case # HYDR-2025-00330

Dear Mr. McGee:

Based upon the information provided in your submittal received 9/15/2025, the Grading and Drainage Plan is approved for Grading Permit, Building Permit, and for action by the DFT/DHO for Site Plan and Platting action. Please note that a pad certification is not needed for this project. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol

www.cabq.gov

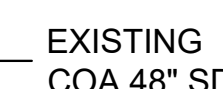
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services










SEPTEMBER, 2025

PUBLIC
SEMENT

OFFSITE INLET.
— SEE GRADING PLAN
FOR ADJACENT LOT

SWQ POND
V 180 CF
TOP 17.5
BOTTOM 16.5

TW	18.0
RW	14.0

	EXISTING CONTOUR — MAJOR
	EXISTING CONTOUR — MINOR
	NEW CONTOUR — MAJOR
	NEW CONTOUR — MINOR
	STORM DRAIN
	BASIN BOUNDARY
	ROAD FRACTION
	RETAINING WALL
	SPOT ELEVATION
F.F. = 5022.5	FINISH FLOOR ELEVATION
TC 23.0	TOP OF CONCRETE
FL 22.5	FLOWLINE
TW 12.5	TOP OF WALL
BW 7.5	BOTTOM OF WALL

KEYED NOTES 

- A. INSTALL PERMEABLE PAVING – SEE ARCHITECTURAL SITE PLAN.
- B. INSTALL NEW ZURN Z886 TRENCH DRAIN TO DISCHARGE IN DEPRESSED LANDSCAPE AREAS AT 1% (MIN.) SLOPE.
- C. CREATE 18"-WIDE CURB OPENING.
- D. INSTALL AREA DRAIN WITH RIM/INVERT ELEVATIONS PER TABLE.
- E. INSTALL 3" DEPTH GRAVEL MULCH (3/4" ANGULAR FACE).
- F. INSTALL RETAINING WALL WITH 6'-WIDE GRAVEL MULCH SWALE ON HIGH SIDE PER DETAIL.
- G. INSTALL 9'x9'x12" THICK RIP-RAP PAD ON GEOTEXTILE FABRIC USING 6"-9" ROCK

Line Table		
Line #	Direction	Length (ft)
L1	S 31°03'03" W	50.29'
L2	S 30°39'38" W	100.13'

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	115.90'	217.94'	30°28'11"	114.54'	S 15°25'33" W

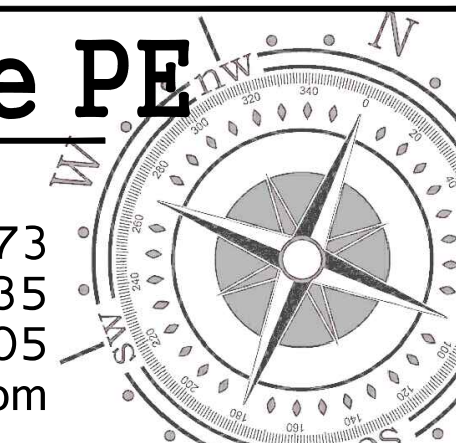
AD (#)	RIM	INV
1	19.2	16.2
2	18.0	16.0
3	17.5	13.7

Corrales Main Canal

Rev	Date	Details
1	10/9/25	AMAFCA review comments

Scott M McGee PE

PO Box 1273
Elephant Butte, NM 87935
505.263.2905
scottmmcghee@gmail.com



D:\AcadDwgs\Brett\Demis\Demis's Pavillions_Architecture - Site - Grading 052025.dwg

GRADING DETAILS
10120 COORS BLVD NW
SEPTEMBER, 2025

LOCATION: 10120 Coors Blvd NW

LEGAL DESCRIPTION: Tract 13-A Black Ranch

AREA: 2.47 ACRES (107,491 SF)

BENCHMARK: City of ABQ Station '8-B14' with ELEV= 5025.358 (NAVD 1988)

SURVEYOR: CSI - Cartesian Surveys Inc. dated January 2024

PRECIPITATION ZONE: 1
FLOOD HAZARD: From FEMA Map 35001C0109H (8/16/2012), this site is identified as being within Zone 'X' which is located within an area of 1% annual chance floodplain.

OFFSITE FLOW: The adjacent Coors Blvd runoff is carried north (within the R/W) in a bar ditch along the west side of the site. No offsite flow enters the site.

EXISTING CONDITIONS: The site is undeveloped and slopes from the west down to the east at 1-2%

PROPOSED IMPROVEMENTS: The 3 proposed commercial buildings vary in size from 4,450 -6,675 SF as shown. The parking area and roof runoff will be directed to onsite detention ponds which will then drain to the east to discharge to the Corrales Main Canal.

DRAINAGE APPROACH: This development falls within the North Coors DMP and is known as Basin 4.2.3. That DMP has an allowable discharge for this site of 5.7 CFS. Developed runoff from rooftops and parking areas is discharged to onsite detention ponds. This provides the Storm Water Quality volume needed and limits the discharge to the allowable.

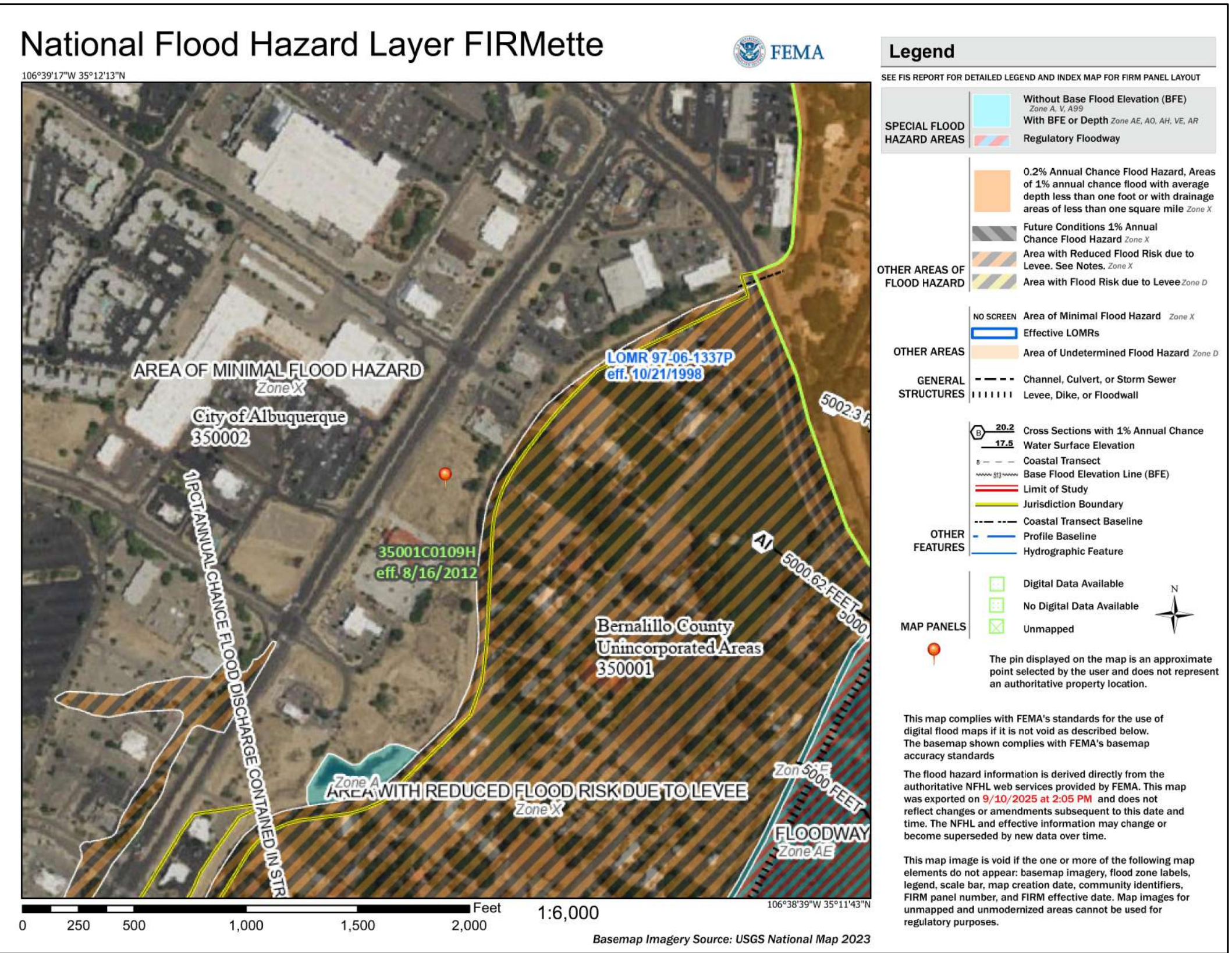
Precipitation Zone: 1

Existing land: 70% A 30% B $Q=[(0.7)(1.54)+(0.3)(2.16)](2.47)=4.3$ CFS
Proposed land treatment: 2% B, 44% C and 54% D
 $Q=[(0.02)(2.16)+(0.44)(2.87)+(0.54)(4.12)](2.47)=8.7$ CFS
Basin A: SWQ V= (30,750)(0.42/12) = 1,076 CF, 1,350 CF PROVIDED
Basin B: SWQ V= (21,645)(0.42/12) = 758 CF, 760 CF PROVIDED
Basin C: SWQ V= (5,040)(0.42/12) = 176 CF, 180 CF PROVIDED
Total V 2,010 2,310 CF

The SWQ Volume will be addressed by the onsite SWQ volume (V=2,310 CF) provided by the three proposed ponds.

DRAINAGE PLAN NOTES

- Earthwork, grading, trenching and paving construction shall be performed in accordance with the Geotechnical Engineering Services Report, Job No. 2482-AB, for CDR LLC Holding, prepared by GeoTek, Inc, March 27, 2024.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. SMM PE assumes no responsibility for subsurface analysis, foundation or structural design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
- SMM PE recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary noted on this Plan is shown for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey (by a licensed N M Registered Land Surveyor), is recommended prior to construction.
- All spot elevations are finished grade or top of pavement, unless noted otherwise.



Pipe diameter

8 in

Material

Plastic

Roughness coefficient

150

Pipe length

330 ft

Drop

12 ft

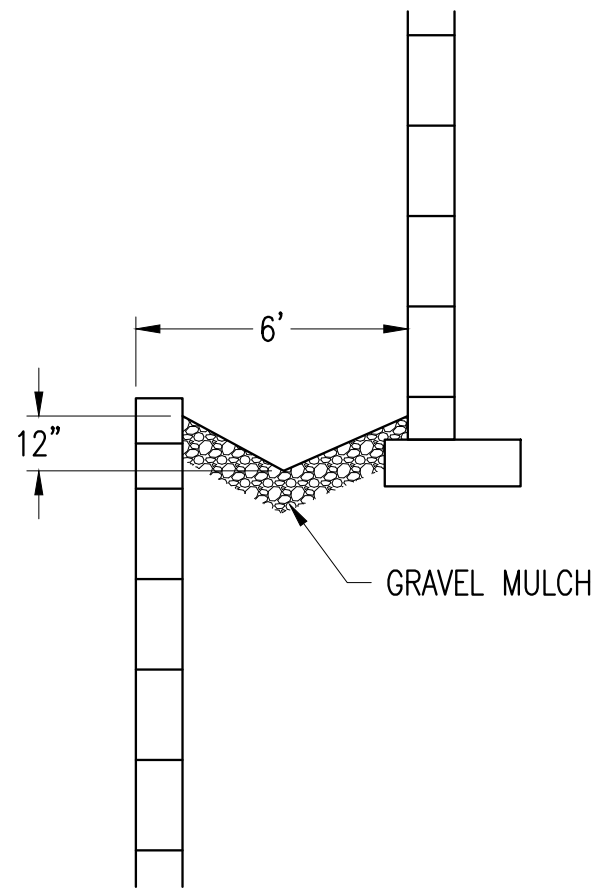
Flow velocity

10.677 ft/s

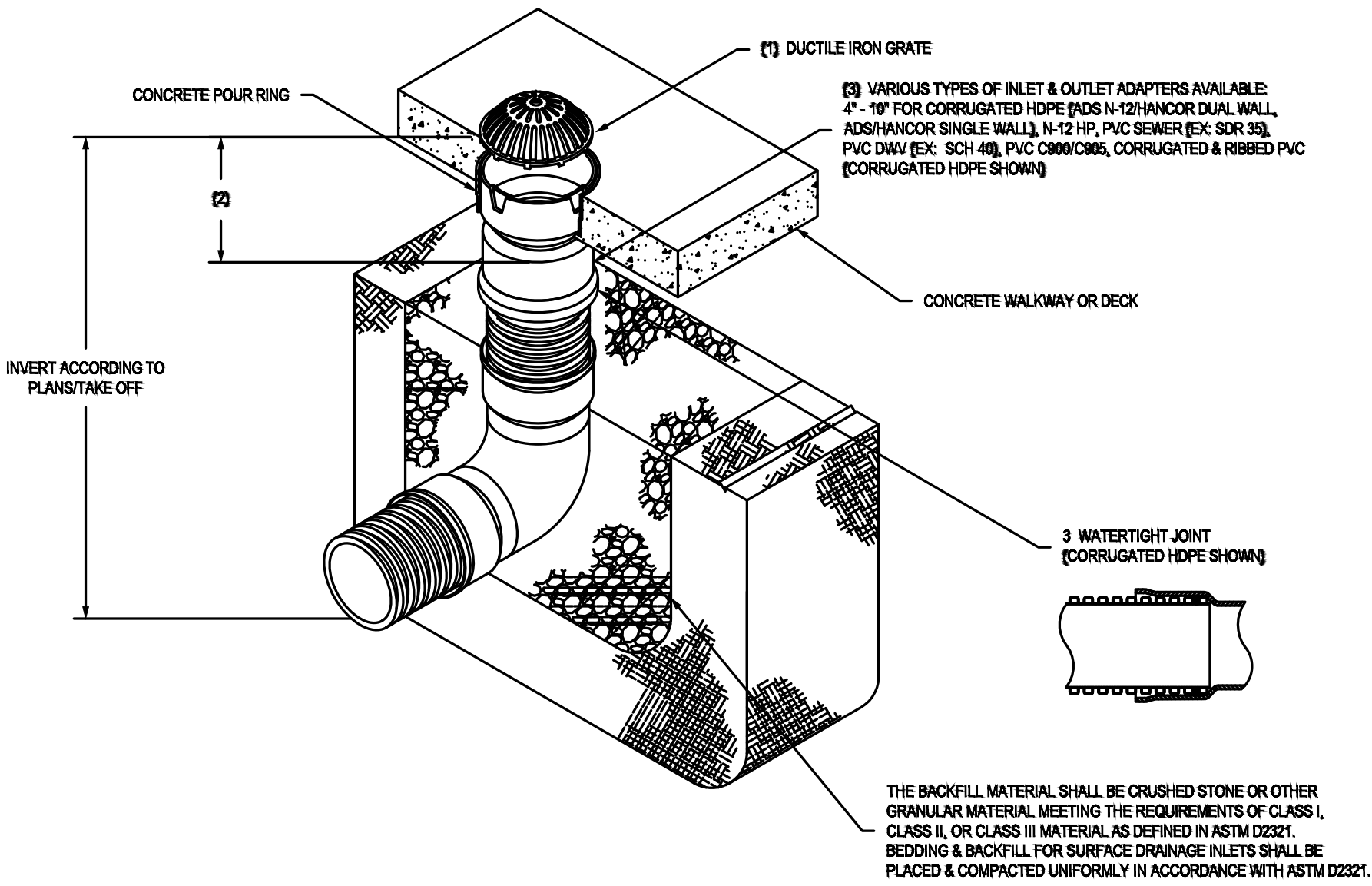
Flow discharge

3.727 ft³/s

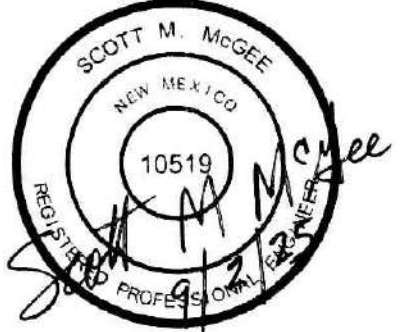
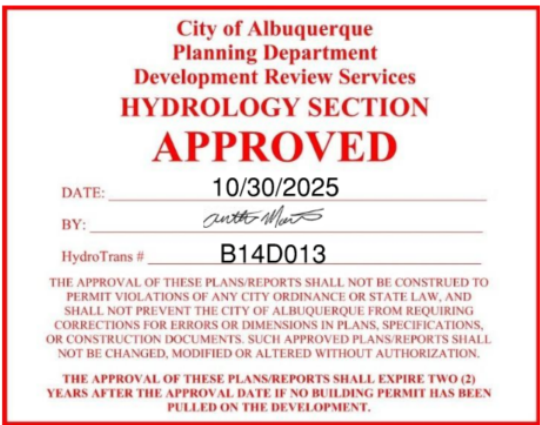
PIPE FLOW CALCULATOR



GRAVEL MULCH SWALE



NYLOPLAST 10" INLINE DRAIN: 2710AG __ X



Rev	Date	Details
1	10/9/25	AMAFCA review comments

Scott M McGee PE

PO Box 1273
Elephant Butte, NM 87935
505.263.2905
scottmmcgee@gmail.com

Charles Nguyen
CDR Holdings LLC
3554 White Horse Dr SE
Rio Rancho, NM 87124

10/18/2025

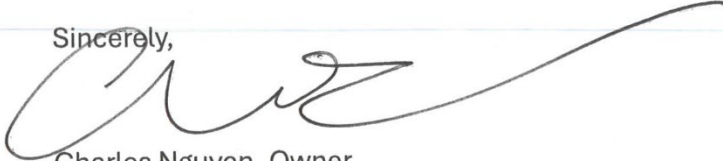
LETTER OF AUTHORIZATION

To the City of Albuquerque Planning Department,

I authorize Penny Dudley, LEED AP of Penny Design, LLC to act as the agent for the Zone Planning Change submittal to the City of Albuquerque Planning Department.

Please contact me if you have any questions or concerns regarding this letter of authorization.

Sincerely,

A handwritten signature in black ink, appearing to be 'Charles', with a long, sweeping horizontal line extending to the right.

Charles Nguyen, Owner
505-264-0510

△

Construction Documents

1 BUILDING DATA

PROJECT ADDRESS

10120 COORS BLVD NW
ALBUQUERQUE, NM 87114

LEGAL INFORMATION

UPC's: 101406522038520302
LEGAL DESCRIPTION: tr 13-a TRACTS 13-A, 13-b & 13-C
BLACK RANCH (BEING A REPLAT OF
TRACT 13 BLACK RANCH)
ACRES: 2.4677
IDO ZONING: MX-L (WEST PART OF THE
PROPERTY)/MX-T (EAST PART OF
THE PROPERTY)
ZONE MAP: B-14-Z
NEW BUILDING AREA: 17,182 SF
OCCUPANCY GROUP: B (SHELL)
CONSTRUCTION TYPE: TYPE II-
FIRE PROTECTION: ~~SPRINKLER~~ No Sprinkler
NEW BUILDING AREA: 17,182 SF

APPLICABLE CODES


2021	NEW MEXICO COMMERCIAL BUILDING CODE (2021 IBC)
2021	NEW MEXICO EXISTING BUILDING CODE (2021 IBC)
2018	NEW MEXICO ENERGY CONSERVATION CODE (2018 IBC)
2017	ICC/ANSI A117.1- ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2021	NEW MEXICO PLUMBING CODE (2021 UPC)
2021	NEW MEXICO MECHANICAL CODE (2021 UMC)
2020	NEW MEXICO ELECTRICAL CODE (2020 NEC)
2012	NATIONAL ELECTRICAL SAFETY CODE (2012 NESC)
2021	INTERNATIONAL FIRE CODE
2022	UNIFORM ADMINISTRATIVE CODE (CABO)

2 VICINITY MAP




IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page: **B-14-Z**

Easement	Escarpment
Petroglyph National Monument	
Areas Outside of City Limits	
Airport Protection Overlay (APO) Zone	
Character Protection Overlay (CPO) Zone	
Historic Protection Overlay (HPO) Zone	
View Protection Overlay (VPO) Zone	

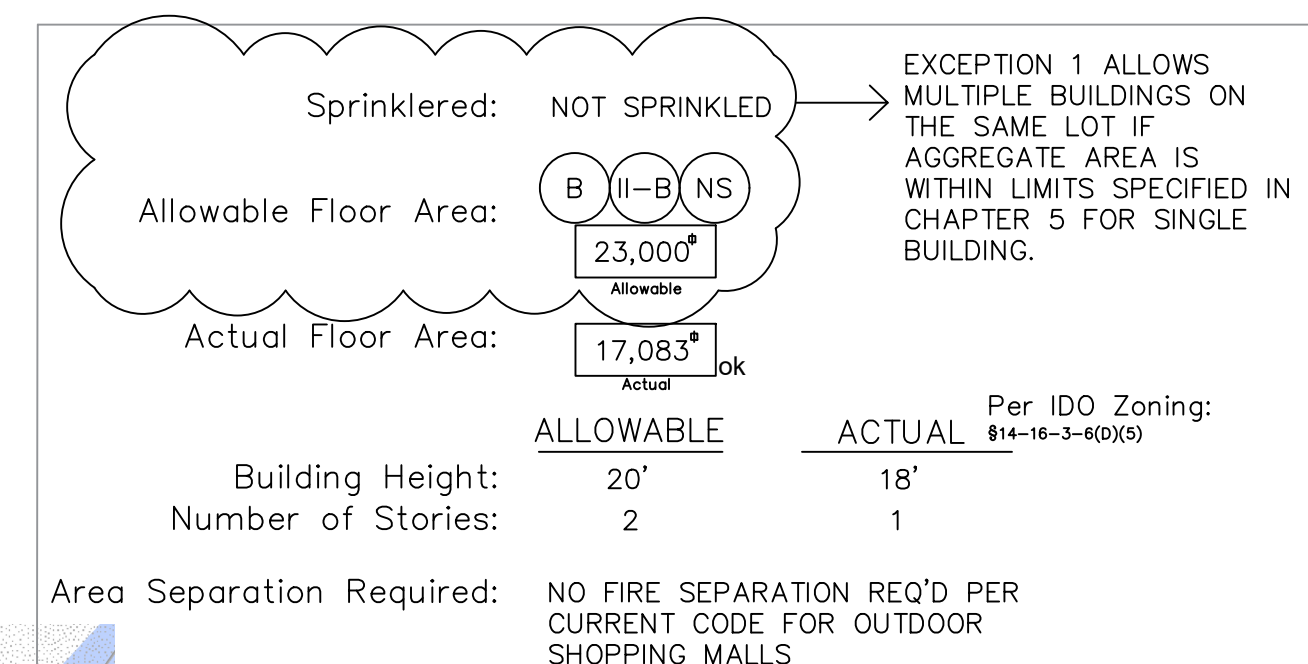
0 250 500 1,000 Feet

3 FIRE FLOW REQUIREMENTS

CONSTRUCTION TYPE:	TYPE II-B, NOT SPRINKLERED (SEE CODE)	
SQUARE FOOTAGE:	FIRE FLOW CALCULATION AREA (PER IFC B104.1): 6,674 SF	
FLOW DURATION:	1,750 GPM (PER TABLE B105.1 (2))	
MINIMUM NUMBER OF HYDRANTS:	1 (PER TABLE C102.1)	
NUMBER OF EXT'G HYDRANTS:	1	
AVERAGE SPACING BETWEEN HYDRANTS:	500 FT. (PER TABLE C102.1)	ALL DR
MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT:	250 FT. (PER TABLE C102.1)	TO BE
ACTUAL DISTANCE FROM ROAD:	(171')	NEW 6"

Fire Marshal's Site Plan Criteria

IDENTIFY THE SITE PERMANENT AS "FIRE 1": _____	SEE THIS SHEET
IF APPLICABLE PROVIDE A PRE-APPROVED SITE PLAN CONTAINING CALCULATED FIRE FLOW, HYDRANTS, AND ACCESS: _____	SEE THIS SHEET
HYDRANT LOCATION: _____	SEE THIS SHEET
FIRE DEPARTMENT ACCESS: _____	SEE THIS SHEET
FIRE LANES: _____	SEE THIS SHEET
KNOX BOX LOCATION: _____	SEE THIS SHEET
REMOTE STANDPIPE LOCATION: _____	N/A
FIRE DEPARTMENT CONNECTION (FDC) LOCATION: _____	N/A
POST INDICATOR VALVE (PIV) LOCATION: _____	N/A
BUILDING HEIGHT: _____	SEE THIS SHEET



E C102.1) ALL DRIVE AISLES
TO BE ASPHALT

NEW 6' SIDEWALK

2" WATER METER

EXT'G PUBLIC
FIRE HYDRANT #1

PREMISE ID PER CoA FIRE CODE § 505.1

C6 FIRE PLAN
1/64" = 1'-0"

NO OVERHEAD OBSTRUCTIONS



A6 OVERHEAD OBSTRUCTIONS
1/16" = 1'-0"

GENERAL SHEET NOTES

- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS TO THE FACE OF STUD UNLESS OTHERWISE NOTED
- ALL DIMENSIONS TO BE FIELD VERIFIED

SHEET KEYNOTES



A yellow permit stamp from the Albuquerque Fire Marshal's Division. The stamp features a fire hydrant on the left and the text: "ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION PERMIT PERMIT NUMBER: 25-100034 APPROVED DATE: 10/21/2025 APPROVED DOCUMENTS WERE REVIEWED AND APPROVED BY MARSHAL'S OFFICE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. 180 DAYS. FINAL INSPECTION IS REQUIRED. GPM. 1 HYDRANT".

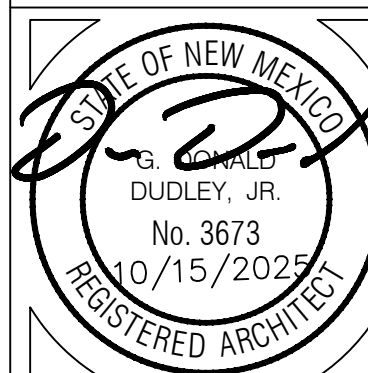
LEGEND

FIRE TRUCK ACCESS

FIRE HYDRANT



PENNY DESIGN, LLC
902 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505.280.5439



DEMI'S PAVILLIONS
10120 COORS BLVD
ALBUQUERQUE, NM 87114

DATE: 10/18/2025

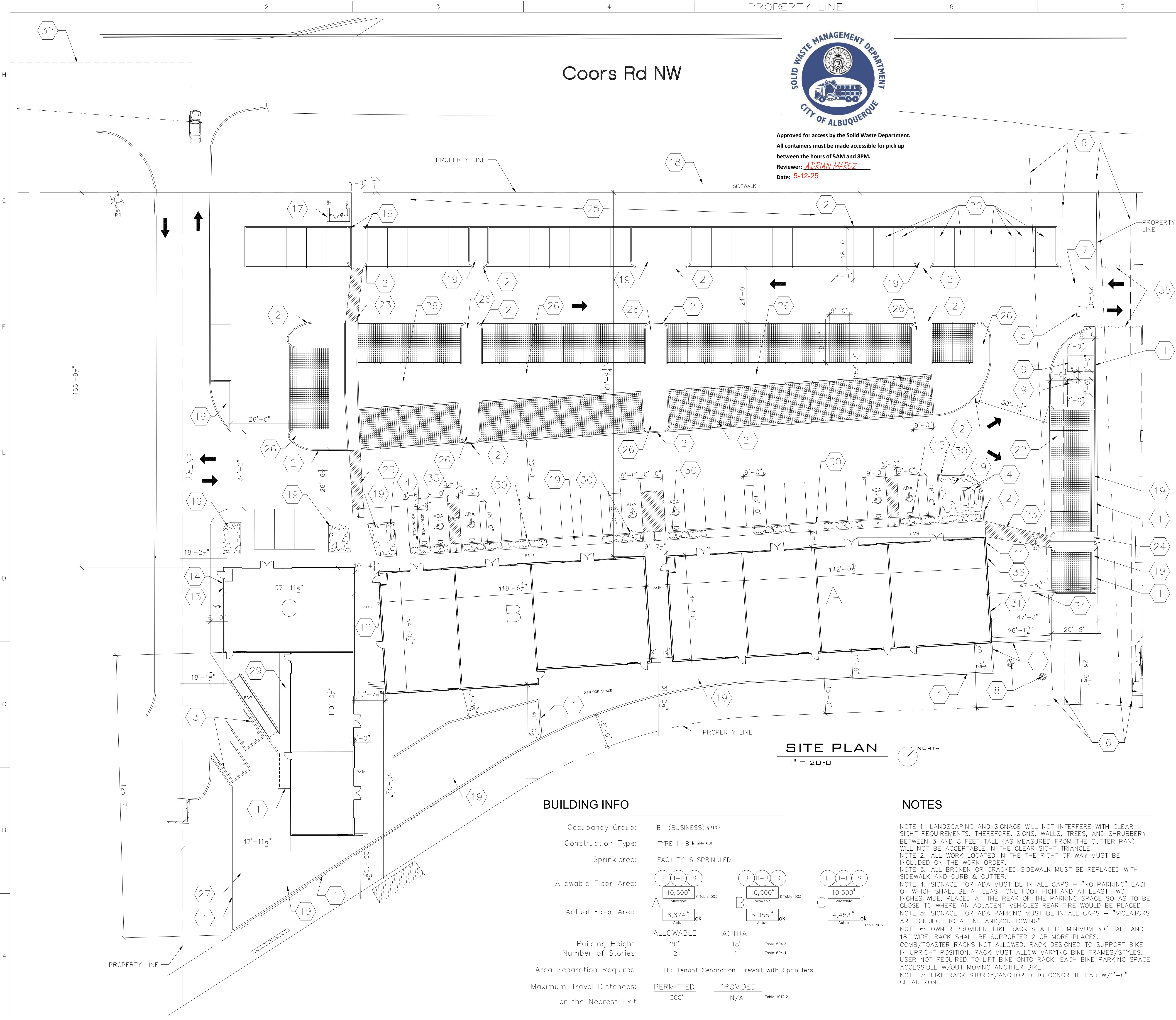
DRAWN BY: pd

CHECKED BY:

SET NO:

SHEET TITLE:
FIRE 1 PLAN

FIRE 1



Coors Rd NW



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: ADRIAN MAREZ
Date: 5-12-25

SITE PLAN
1" = 20'-0"

BUILDING INFO

Occupancy Group:	B (BUSINESS) §310.4		
Construction Type:	TYPE II-B § Table 601		
Sprinklered:	FACILITY IS SPRINKLERED		
Allowable Floor Area:	<div><div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div><div><div>A</div><div>6,674⁰</div><div>Actual ok</div></div></div> <div><div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div><div><div>B</div><div>6,055⁰</div><div>Actual ok</div></div></div> <div><div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div><div><div>C</div><div>4,453⁰</div><div>Actual Table 503</div></div></div>		
Actual Floor Area:	ALLOWABLE	ACTUAL	
Building Height:	20'	18'	Table 504.3
Number of Stories:	2	1	Table 504.4
Area Separation Required:	1 HR Tenant Separation Firewall with Sprinklers		
Maximum Travel Distances: or the Nearest Exit	PERMITTED 300'	PROVIDED N/A	Table 1017.2

NOTES

NOTE 1: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
NOTE 2: ALL WORK LOCATED IN THE THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
NOTE 3: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
NOTE 4: SIGNAGE FOR ADA MUST BE IN ALL CAPS - "NO PARKING" EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRE WOULD BE PLACED.
NOTE 5: SIGNAGE FOR ADA PARKING MUST BE IN ALL CAPS - "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
NOTE 6: OWNER PROVIDED. BIKE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE. RACK SHALL BE SUPPORTED 2 OR MORE PLACES. COMB/TOASTER RACKS NOT ALLOWED. RACK DESIGNED TO SUPPORT BIKE IN UPRIGHT POSITION. RACK MUST ALLOW VARYING BIKE FRAMES/STYLES. USER NOT REQUIRED TO LIFT BIKE ONTO RACK. EACH BIKE PARKING SPACE ACCESSIBLE W/OUT MOVING ANOTHER BIKE.
NOTE 7: BIKE RACK STURDY/ANCHORED TO CONCRETE PAD W/1'-0" CLEAR ZONE.

GENERAL SHEET NOTES

- DO NOT SCALE DRAWINGS
 - ALL DIMENSIONS TO THE FACE OF STUD UNLESS OTHERWISE NOTED
 - ALL DIMENSIONS TO BE FIELD VERIFIED
- SHEET KEYNOTES
- RETAINING WALL - SEE STRUCTURAL/SEE CIVIL
 - NEW CURB - SEE CIVIL
 - WASTE - BLOCK WALL MUST MAINTAIN 30°
 - BIKE RACK - SEE NOTE 6 & 7
 - EXISTING TRANSFORMER TO BE MOVED. DEMO EXISTING TRANSFORMER PAD - SEE ELECTRICAL - COORDINATE WITH PNM -SEE KEYNOTE 9
 - LINE OF EASEMENT
 - VEHICLE CROSS LOT ACCESS - SEE AS102
 - EXISTING TREE TO REMAIN
 - NEW TRANSFORMER PAD - SEE ELECTRICAL - COORDINATE WITH PNM
 - SIGHT TRIANGLE
 - BUILDING DESIGNATION (FIRE) - A - LETTERING TO BE PICKED BY OWNER
 - BUILDING DESIGNATION (FIRE) - B - LETTERING TO BE PICKED BY OWNER
 - BUILDING DESIGNATION (FIRE) - C - LETTERING TO BE PICKED BY OWNER
 - KNOX BOX
 - ADA SIGNAGE (TYP) - SEE NOTES 4 & 5
 - POSTED SIGN - "VIOLATORS SUBJECT TO FINE AND OR TOWING"
 - HOTBOX
 - NEW 6' SIDEWALK. SEE CIVIL
 - PLANTED AREA - SEE LANDSCAPE
 - 8 X EV CHARGING STATIONS - SEE ELECTRICAL
 - PERMEABLE PARKING PAVERS TO RUN LENGTH OF DETENTION POND (WEST AND EAST SIDE)
 - PERMEABLE PARKING PAVERS - ALL PARKING SPACES ON NORTH SIDE OF PROPERTY
 - STRIPED PEDESTRIAN PATH
 - PEDESTRIAN CROSS LOT ACCESS - SEE CIVIL
 - LANDSCAPE BUFFER ZONE TO RUN FULL LENGTH OF WEST PARKING - SEE LANDSCAPE
 - WATER DETENTION AREA - SEE CIVIL/SEE LANDSCAPE
 - TIERED LANDSCAPE AREA - SEE CIVIL FOR ALL OUTDOOR OPEN SPACES
 - PUBLIC PEDESTRIAN PATH
 - SEE CIVIL
 - BREAK IN GUTTER - SEE CIVIL
 - SEE ELECTRICAL
 - VIEW TRIANGLE
 - MOTORCYCLE SIGNAGE (TYP)
 - NO METERS LOCATED BEYOND THIS LINE - SEE ELECTRICAL
 - NEW ACCESS/CURB CUT
 - 4 X BOLLARDS - CONTRACTOR TO CONSULT OWNER BEFORE PLACING

SITE INFORMATION

UPC: 101406522038520302
Owner: CDR HOLDINGS LLC
Owner Address: 3554 WHITE HORSE DR SE
RIO RANCHO, NM 87124
Site Address: 10120 COORS BLVD 87114
Legal Description: tr 13-a TRACTS 13-A, 13-b & 13-C BLACK RANCH (BEING A REPLAT OF TRACT 13 BLACK RANCH)
Acres: 2.4677
Zone Map Name: B-14-Z

SETBACKS

FRONT: 35'-0"
SIDE: 0'
REAR: 15'-0

PARKING

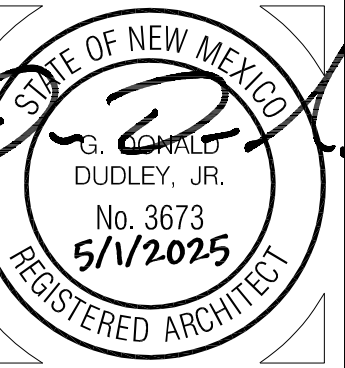
VEHICLE
REQUIRED: N/A
PROVIDED: 127
ADA
REQUIRED: N/A
PROVIDED: 6
MOTORCYCLE
REQUIRED: N/A
PROVIDED: 2
BICYCLE
REQUIRED: N/A
PROVIDED: 6

LEGEND

NEW CURB CUT

PENNY DESIGN, LLC

302 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505.280.9439



DEMI'S PAVILIONS
10120 COORS BLVD NW
ALBUQUERQUE, NM
87114

MARK	DATE	DESCRIPTION

DATE: 5/1/2025

DRAWN BY: pd

CHECKED BY:

SET NO:

SHEET TITLE:

SITE PLAN

AS101

**Justification Letter – 10120 Coors
SP-2025-00090**

(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. American Legal Publishing

The site plan complies with applicable standards in the IDO, the DPM and other adopted City regulations. No prior permits have been obtained on this property as it is undeveloped. See the EPC justification letter for reference on how the property meets requirements.

(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development OR the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity. American Legal Publishing

The City's existing infrastructure and public improvements are adequate and will be able to serve the proposed development. See attached documentation indicating approval (not limited to) from the Water Authority, NMDOT and PNM. The submitted Infrastructure list is been approved by Margaret Haynes, District 3 Traffic Engineer.

(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property The is in. American Legal Publishing

The site is located in an approved Master Development Plan area. It has never been developed. We worked with local authorities to produce a design that meets current IDO, DPM and other City requirements. Reference drawings are submitted with the submission.

(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

The site plan is not in an approved Framework Plan.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



CERTIFICATE OF ZONING

August 19, 2025

CDR Holdings, LLC
c/o Penny Design, LLC
400 Gold Ave Unit, Suite 850
Albuquerque, NM 87120

Plan # ZMA-2025-00003
Zoning Map Amendment (Zone Change)

FINAL ACTION: May 15, 2025

LEGAL DESCRIPTION:

Tract 13-A, of Tracts 13-A, 13-B, & 13-C, Black Ranch
(being a Replat of Tract 13 Black Ranch), located at
10120 Coors Blvd. NW, between Old Airport Ave NW
and 7 Bar Loop NW, containing approximately 2.5 acres.
(B-14-Z)

Staff Planner: Catherine Heyne

THE POSSIBLE ADMINISTRATIVE APPEAL PERIOD HAVING EXPIRED, THE ZONING ON THE
ABOVE REFERENCED PROPERTY IS NOW CHANGED AS FOLLOWS:

FROM: MX-T and MX-L

TO: MX-L

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of the zoning is secured. Approval of a zone map amendment does not constitute approval of plans for a building permit. Site Plans and Building Plans need to be reviewed, approved and signed-off by the Environmental Planning Commission (EPC), the Development Review Board (DRB), the Design Review Committee (DRC) and/or the Building and Safety Division as applicable, before a building permit can be issued.

Sincerely,

Digitally signed by
Michael Vos
Date: 2025.08.19
18:16:16 -06'00'

for Alan M. Varela
Planning Director

AV/MV/MJ

OFFICIAL NOTICE OF DECISION

Case # ZMA-2025-00003

August 19, 2025

Page 2 of 2

CC: Penny Designs LLC, penny@pennydesign.net
CDR Holdings, LLC, demi.nguyen70@gmail.com
Legal, acon@cabq.gov
Code Enforcement Division
Michelle Gricius, AGIS Division
EPC File

[illegible]

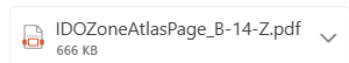


Flores, Suzanna A. <Suzannaflores@cabq.gov>

To: penny pennydesign.net



Mon 10/20/2025 1:25 PM



Dear Applicant:

As of October 20, 2025 there are **NO neighborhood** associations to notify. You will need to attach a copy of this e-mail from the Office of **Neighborhood** Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie

Sensitive Lands Analysis – 10120 Coors Blvd NW

Floodplains and flood hazard area: See attached

Steep Slopes:

Percentage or vertical to horizontal rise: See Attached Map

Description of erosive forces: Natural – Wind, Water, Rain, Gravity

Unstable soils: See attached Geo Technical Report

Scott M McFee

Wetlands (constant supply of water):

Vegetation:

- Rio Grande Cottonwood
- New Mexico Olive
- False indigo
- Coyote Willow
- Yerba Mansa
- Buffalo gourd
- Western white clematis
- Broom dalea
- needle and thread grass
- fragrant ash
- white prairie aster
- broom snakeweed
- goldenrod
- blue grama
- woods rose
- scarlet globemallow
- seep willow
- willow baccharis
- ravena grass
- saltbush
- chamisa
- sideoats grama

Wildlife:

- Mammals: Coyote, Beaver, Porcupine, NM Whiptail
- Amphibians: Turtles, gopher snakes,

-Insects: dragonflies

-Birds: Duck, Geese, Great Horned Owl, Cooper's hawk, great blue herons, bald eagles

-Fish: fathead minnows, red shiners

Arroyos: N/A

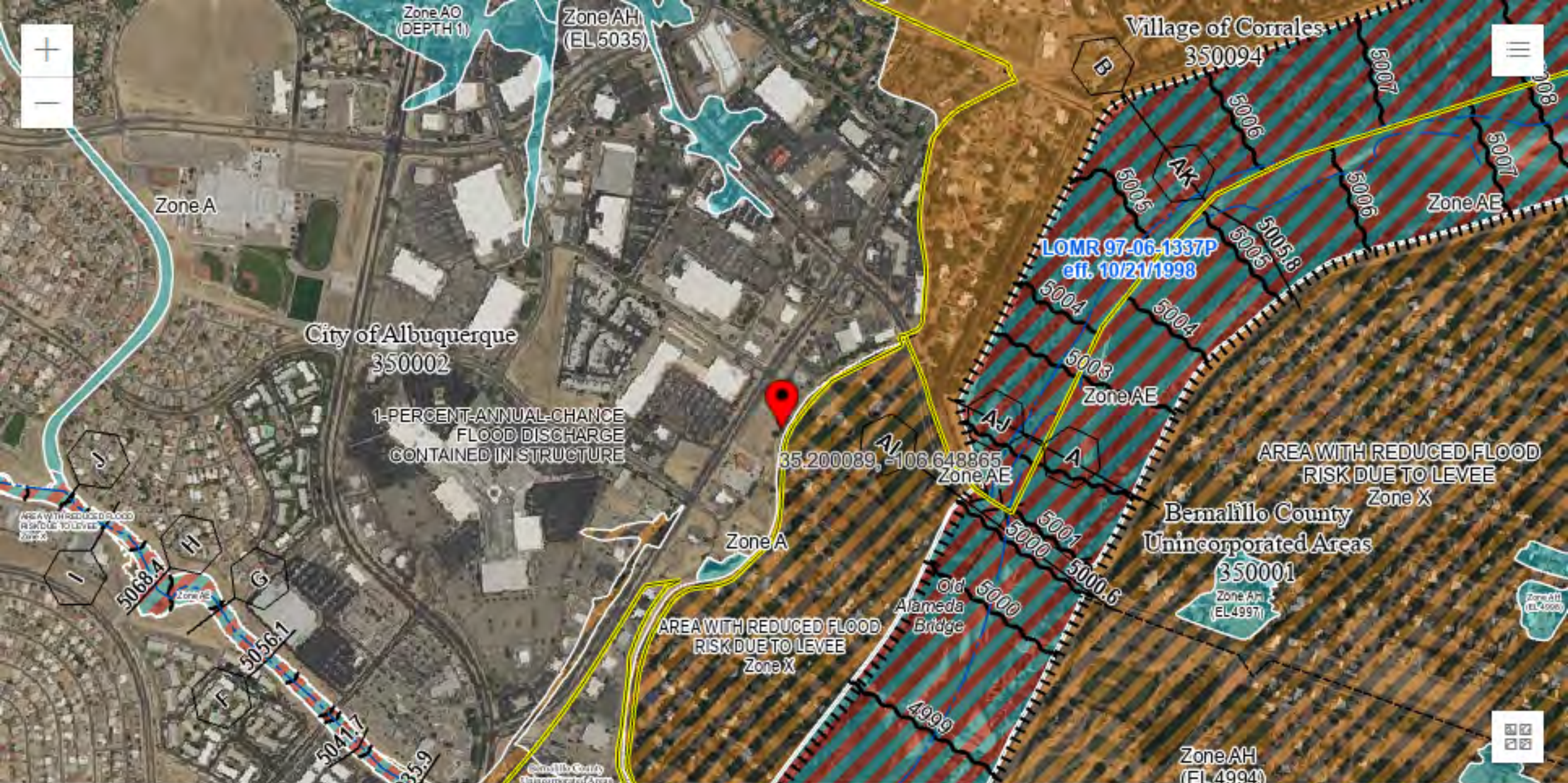
Irrigation Facilities: N/A

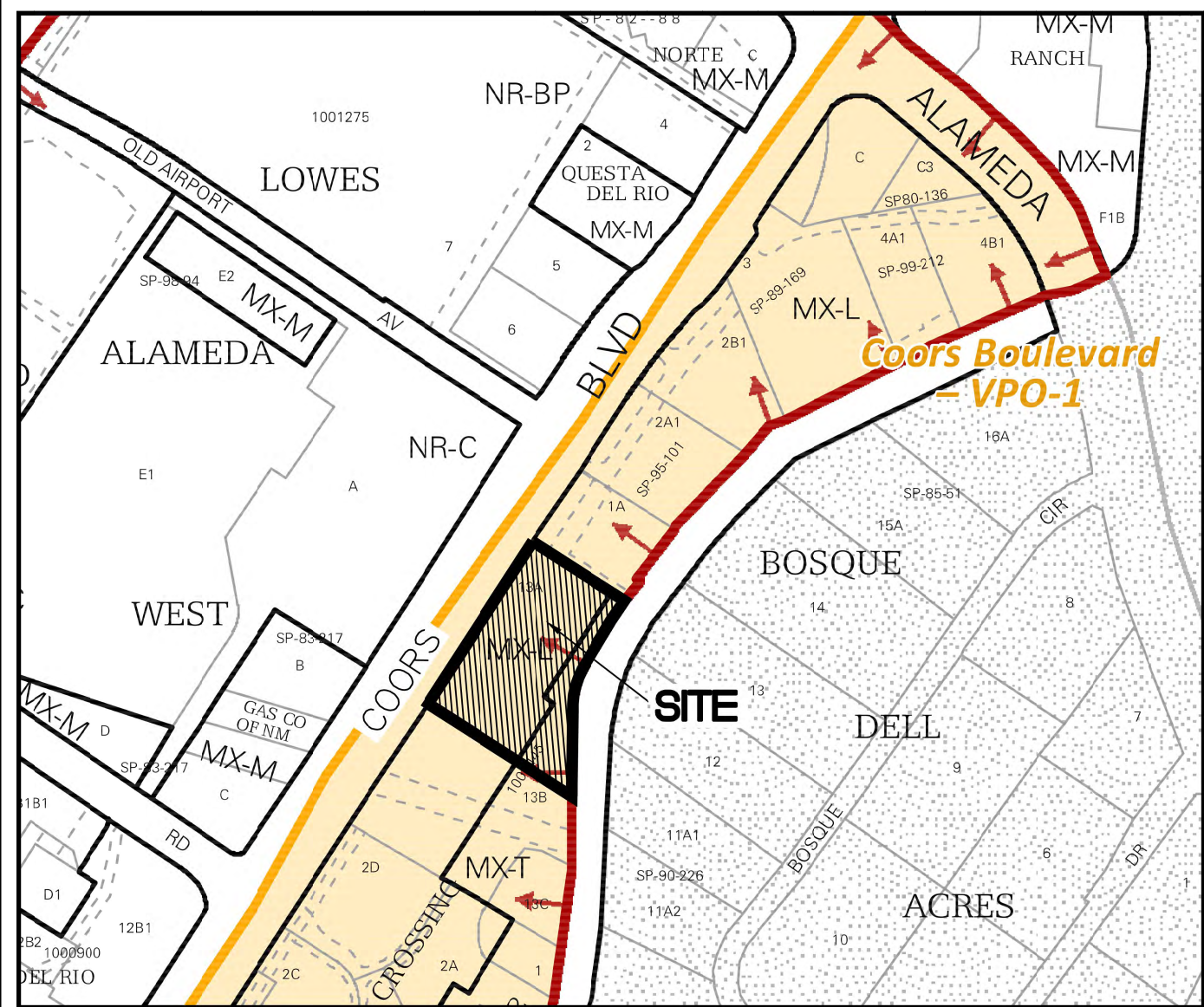
Escarpment: N/A

Rock Outcroppings: N/A

Large stands of Mature Trees: The City Forestry assessed the trees. See map for trees that will be removed.

Archeological Site: N/A





Vicinity Map

Easement Notes

- EXISTING 10' EASEMENT TO NEW MEXICO UTILITIES, INC. (10/18/1996, BK. BCR 96-28, PG. 1809, DOC. NO. 1996114937) AS SHOWN ON PLAT (12/29/2004, 2004C-400)
- EXISTING 20' EASEMENT TO NEW MEXICO UTILITIES, INC. (9/21/1981, BK. MISC. 880, PG. 4, DOC. NO. 8150361) AS SHOWN ON PLAT (12/29/2004, 2004C-400)
- EXISTING 15' STORM DRAIN EASEMENT GRANTED TO AMAFCA (12/18/1992, BK. 92-30, PG. 2697-2712, DOC. NO. 92127573) QUITCLAIMED TO CITY OF ALBUQUERQUE PER QUITCLAIM DEED (3/26/2002, BK. A33, PG. 9064, DOC. NO. 2002039165)
- EXISTING EASEMENT TO AMAFCA FOR UNDERGROUND STORM DRAINAGE WORKS (12/18/1992, 12/18/1992, BK. 92-30, PG. 2697-2712, DOC. NO. 92127573) AND AS SHOWN ON PLAT (12/29/2004, 2004C-400) SHOWN HEREON AS
- EXISTING APPURTENANT, PERPETUAL, NON-EXCLUSIVE, INGRESS EGRESS AND ACCESS EASEMENT (9/20/1989, BK. MISC. 790A, PG. 676-696, DOC. NO. 89-81278)
- EXISTING PRIVATE FLOATING DRAINAGE EASEMENT TO BE CONFINED WITHIN THE FUTURE PAVED DRIVE ISLES WITHIN TRACTS 13-A AND 13-B (12/29/2004, 2004C-400)
- EXISTING 5' X 30' ANCHOR EASEMENT (6/15/1989, C39-88)
- EXISTING 10' UTILITY EASEMENT (6/15/1989, C39-88)
- EXISTING 20' NEW MEXICO UTILITY EASEMENT (9/21/1981, BK. MISC. 880, PG. 11-17, DOC. NO. 81-50362) AND AS SHOWN ON PLAT (5/5/1995, 95C-164)
- EXISTING TEMPORARY SURFACE DRAINAGE EASEMENT GRANTED TO AMAFCA (6/15/1989, C39-88) QUITCLAIMED TO CITY OF ALBUQUERQUE (3/26/2002, BK. A33, PG. A33, PG. 9064, DOC. NO. 2002039165)
- EXISTING 10' NEW MEXICO UTILITIES WATERLINE EASEMENT (10/17/1996, BK. 96-28, PG. 349-352, DOC. NO. 96114386)
- EXISTING MST&T EASEMENT, LOCATION NOT DEFINED, SHOWN HEREON AS BLANKET IN NATURE (1/15/1930, BK. 112, PG. 68)
- EXISTING 10' PNM AND QWEST CORPORATION UNDERGROUND ELECTRIC EASEMENT (9/25/2002, BK. A42, PG. 2642, DOC. NO. 2002122987)
- EXISTING 10' PNM GAS SERVICES EASEMENT (9/25/2002, BK. A42, PG. 2629, DOC. NO. 2002122974)
- EXISTING RECIPROCAL CROSS-LOT DRAINAGE, PARKING AND ACCESS EASEMENT, BLANKET IN NATURE ACROSS TRACTS 1A, 2A-1 AND 2B-1 (5/5/1995, 95C-164)
- EXISTING NON-EXCLUSIVE ACCESS EASEMENT FOR VEHICULAR AND PEDESTRIAN ACCESS OVER ALL DRIVEWAYS AND CURB CUTS BETWEEN TRACTS 13A & 13B (10/21/1996, BK. 96-28, PG. 2724-2777, DOC. NO. 96115257) AND FURTHER DEFINED IN DOCUMENT (10/7/2004, BK. 85, PG. 1224, DOC. NO. 2004141617)
- EXISTING NON-EXCLUSIVE PARKING EASEMENT FOR THE PURPOSE OF PARKING WITHIN DESIGNATED PARKING AREAS WITHIN TRACTS 13-A & 13-B (10/21/1996, BK. 96-28, PG. 2724-2777, DOC. NO. 96115257) AND FURTHER DEFINED IN DOCUMENT (10/7/2004, BK. 85, PG. 1224, DOC. NO. 2004141617)
- EXISTING NON-EXCLUSIVE SURFACE DRAINAGE EASEMENT FOR OVER TRACTS 13A & 13-B (10/7/2004, BK. 85, PG. 1224, DOC. NO. 2004141617)

Benchmark -NAVD 88

ACS MONUMENT "8-B14" HAVING AN ELEVATION OF 5025.358 FEET.

Legal Description

TRACT NUMBERED THIRTEEN-A (13-A), OF BLACK RANCH, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 29, 2004, IN PLAT BOOK 2004C, PAGE 400.



Line Table		
Line #	Direction	Length (ft)
L1	S 31°03'03" W	50.29'
L2	S 30°39'38" W	100.13'

Curve Table				
Curve #	Length	Radius	Delta	Chord Length
C1	115.90'	217.94'	30°28'11"	114.54'

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
	FOUND MONUMENT AS INDICATED
	COVERED AREA
	CONCRETE
	UTILITY PEDESTAL
	WOOD FENCE
	WIRE FENCE
	METAL FENCE
	BLOCK WALL
	BOLLARD
	OVERHEAD UTILITY LINE
	UTILITY POLE
	PULL BOX
	ELECTRIC METER
	TRANSFORMER
	A/C UNIT
	GAS METER
	GAS VALVE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SIGN
	CURB CUT/INDICATION OF ACCESS TO ROADWAY
	UNDERGROUND GAS UTILITY LINE
	UNDERGROUND WATER UTILITY LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND STORM DRAIN UTILITY LINE
	SPOT ELEVATION
	BACK OF CURB ELEVATION
	FLOW LINE ELEVATION
	EDGE OF PAVEMENT ELEVATION
	TOP OF ASPHALT ELEVATION
	TOP OF CONCRETE ELEVATION
	TOP OF SLOPE ELEVATION
	TOE OF SLOPE ELEVATION

Notes

- FIELD SURVEY PERFORMED IN JANUARY 2024.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD. A TITLE COMMITMENT WILL BE REQUIRED TO SHOW OTHER EASEMENTS THAT MAY AFFECT THE SUBJECT PROPERTY.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE)
- WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. INVERT DATA SHOWN WITH A ± SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NM811 TICKET NO. 24JA160425)
- THE COORDINATES SHOWN HEREON REFERENCE MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-GROUND-CENTRAL ZONE), USING A GROUND TO GRID FACTOR OF 0.9996798583, WITH AN ORIGIN OF (0,0).

Surveyor's Certificate

I, BRIAN J. MARTINEZ, A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Brian J. Martinez 1/31/24
BRIAN J. MARTINEZ
N.M.R.P.S. NO. 18374

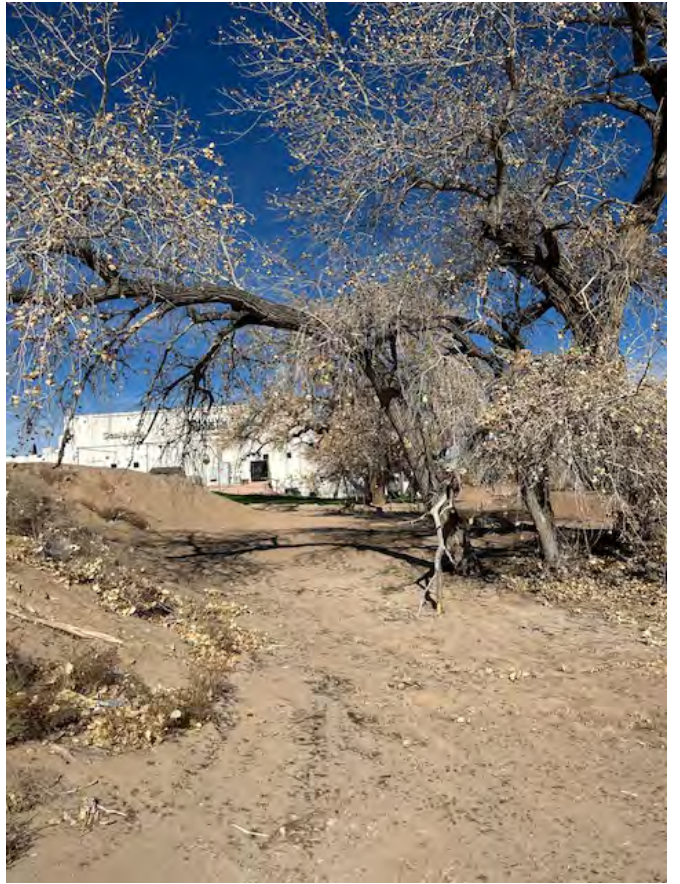
CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
cartesianbrian@gmail.com



THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.









DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted for at least 5 calendar days and for the required appeal period after any final decision. Evidence of the sign posting must also be provided within 3 days of application acceptance. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location which must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that:
I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (5) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:

 10.11.25

PROJECT NUMBER & ADDRESS:

SP-2025- 00090
10120 COORS BLVD NW

SITE PLAN CHECKLIST

Project #: _____ Application #: SP-2025-00090

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 10/10/25
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ☐ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Legend
- ☒ 6. Scaled vicinity map
- ☒ 7. Property lines (clearly identify)
- ☒ 8. Existing and proposed easements (identify each)
- ☒ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- Drawing Available if requested*
- ☒ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
 - ☒ B. Square footage of each structure
 - ☒ C. Proposed use of each structure
 - ☒ D. Signs (freestanding) and other improvements
 - ☒ E. Walls, fences, and screening: indicate height, length, color and materials
 - ☒ F. Dimensions of all principal site elements or typical dimensions
 - ☒ G. Loading facilities
 - ☒ H. Site lighting (indicate height & fixture type)
 - ☒ I. Indicate structures within 20 feet of site
 - ☒ J. Elevation drawing of refuse container and enclosure, if applicable.
 - ☒ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled. *see site plan*
 - ☒ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ☒ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ☒ 3. On street parking spaces
- ☒ B. Bicycle parking & facilities *see site plan*
 - ☒ 1. Bicycle racks – location and detail
 - ☒ 2. Other bicycle facilities, if applicable
- ☒ C. Vehicular Circulation (Refer to DPM and IDO) *see site plan*
 - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
 - ☒ 2. Drive aisle locations, including width and curve radii dimensions
 - ☒ 3. End aisle locations, including width and curve radii dimensions
 - ☒ 4. Location & orientation of refuse enclosure, with dimensions
 - ☒ 5. Loading, service area, and refuse service locations and dimensions
- ☒ D. Pedestrian Circulation
 - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

See

SITE PLAN CHECKLIST

- ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
 - ☒ 3. Location and description of amenities, including patios, benches, tables, etc.
 - ☒ E. Off-Street Loading
 - ☒ 1. Location and dimensions of all off-street loading areas
 - ☐ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ☐ 3. Striping and Sign details for one-way drive through facilities
- N/A

3. Streets and Circulation

- ☒ A. Locate and identify adjacent public and private streets and alleys.
 - ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ☒ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ☒ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ☒ 4. Identify existing and proposed medians and median cuts
 - ☒ 5. Sidewalk widths and locations, existing and proposed
 - ☒ 6. Location of street lights
 - ☒ 7. Show and dimension clear sight triangle at each site access point
 - ☐ 8. Show location of all existing driveways fronting and near the subject site.
- See site plan

- ☒ B. Identify Alternate transportation facilities within site or adjacent to site
 - ☐ 1. Bikeways and bike-related facilities
 - ☐ 2. Pedestrian trails and linkages
 - ☐ 3. Transit facilities, including routes, bus bays and shelters existing or required
- See EPC Justification Letter

4. Phasing

- ☐ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.
- N/A

SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
 - ☒ 2. Bar Scale
 - ☒ 3. North Arrow
 - ☒ 4. Property Lines
 - ☒ 5. Existing and proposed easements
 - ☒ 6. Identify nature of ground cover materials
 - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☒ C. Ponding areas either for drainage or landscaping/recreational use
- Updated

SITE PLAN CHECKLIST

- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ☐ A. Existing, indicating whether it is to preserved or removed.
 - ☐ B. Proposed, to be established for general landscaping.
 - ☐ C. Proposed, to be established for screening/buffering.
- ☐ 8. Describe irrigation system – Phase I & II . . .
- ☒ 9. Planting Beds, indicating square footage of each bed
- ☒ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ☒ 11. Responsibility for Maintenance (statement)
- ☒ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ☒ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ☒ 14. Planting or tree well detail
- ☒ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ☒ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ☒ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Building footprints
- ☒ 7. Location of Retaining walls

B. Grading Information

- ☒ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ☒ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ☒ 3. Identify ponding areas, erosion and sediment control facilities.
- ☒ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- Available if requested*
- ☒ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
 - ☒ B. Distribution lines
 - ☒ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
 - ☒ D. Existing water, sewer, storm drainage facilities (public and/or private).
 - ☒ E. Proposed water, sewer, storm drainage facilities (public and/or private)
 - ☒ F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A201 Uploaded*
- ☒ A. Scale
 - ☒ B. Bar Scale
 - ☒ C. Detailed Building Elevations for each facade
 - ☒ 1. Identify facade orientation
 - ☒ 2. Dimensions of facade elements, including overall height and width
 - ☒ 3. Location, material and colors of windows, doors and framing
 - ☒ 4. Materials and colors of all building elements and structures
 - ☒ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- N/A*
- ☐ 1. Site location(s)
 - ☐ 2. Sign elevations to scale
 - ☐ 3. Dimensions, including height and width
 - ☐ 4. Sign face area - dimensions and square footage clearly indicated
 - ☐ 5. Lighting
 - ☐ 6. Materials and colors for sign face and structural elements.
 - ☐ 7. List the sign restrictions per the IDO

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 30, 2025

Don Dudley, RA
G. Donald Dudley Architect, Ltd
400 Gold Ave, SW Studio 850
Albuquerque, NM 87102

don.dudley@dondudleydesign.com

Re: Demi's Pavilions
10120 Coors NW
Traffic Circulation Layout
Engineer's Stamp 5-1-25 (B14D013) TRANS-2025-00122

Dear Mr. Dudley,

The TCL submittal received 5-6-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

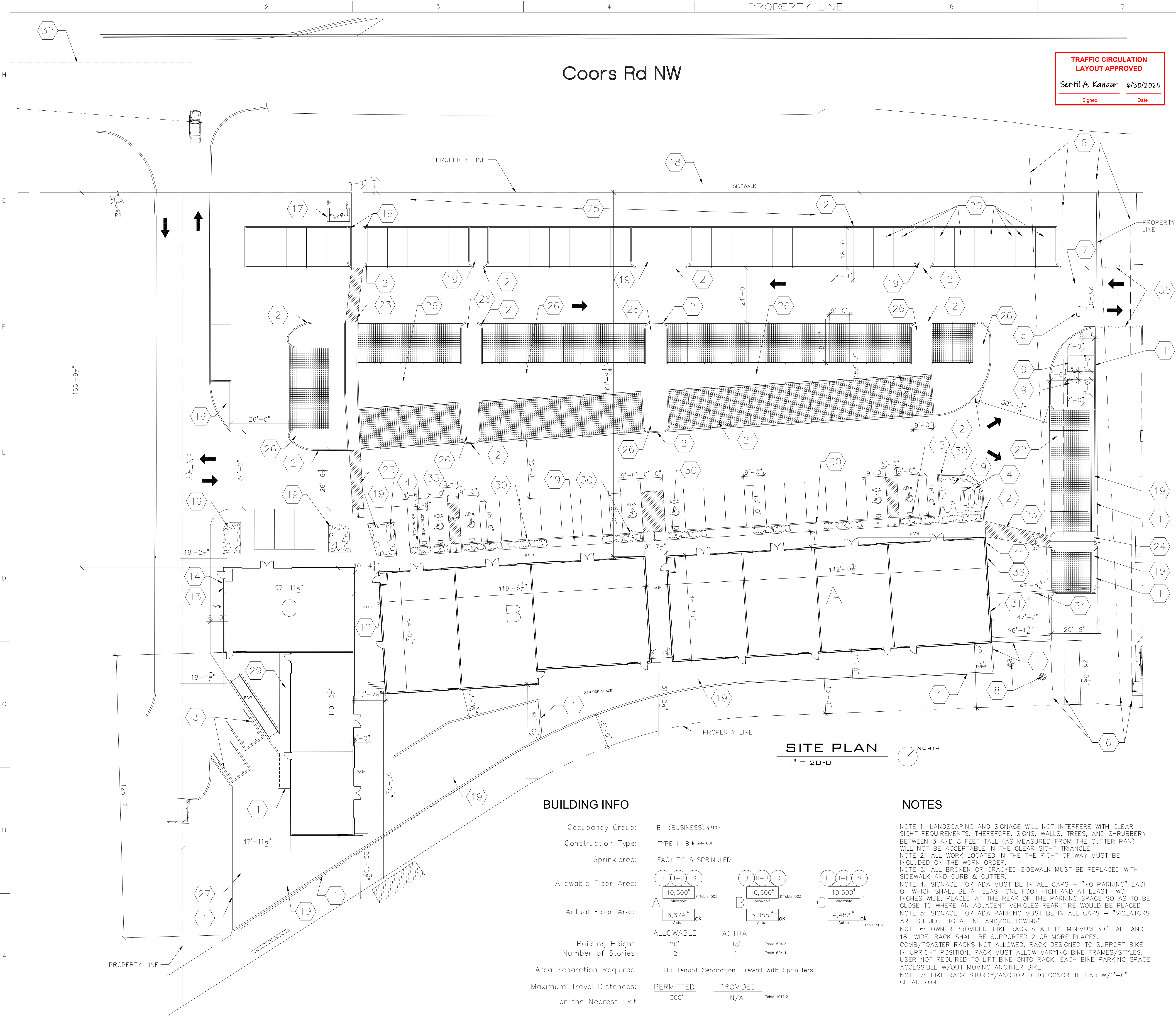
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



BUILDING INFO

Occupancy Group:	B (BUSINESS) §310.4				
Construction Type:	TYPE II-B § Table 601				
Sprinklered:	FACILITY IS SPRINKLERED				
Allowable Floor Area:	<table><tr><td><div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div><div><div>A</div><div>6,674⁰</div><div>Actual ok</div></div></td><td><div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div><div><div>B</div><div>6,055⁰</div><div>Actual ok</div></div><div>§ Table 503</div></td></tr></table>	<div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div> <div><div>A</div><div>6,674⁰</div><div>Actual ok</div></div>	<div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div> <div><div>B</div><div>6,055⁰</div><div>Actual ok</div></div> <div>§ Table 503</div>		
<div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div> <div><div>A</div><div>6,674⁰</div><div>Actual ok</div></div>	<div><div>B II-B S</div><div>10,500⁰</div><div>Allowable</div></div> <div><div>B</div><div>6,055⁰</div><div>Actual ok</div></div> <div>§ Table 503</div>				
Actual Floor Area:					
Building Height:	20' Table 504.3				
Number of Stories:	2 Table 504.4				
Area Separation Required:	1 HR Tenant Separation Firewall with Sprinklers				
Maximum Travel Distances:	<table><tr><td><u>PERMITTED</u></td><td><u>PROVIDED</u></td></tr><tr><td>300'</td><td>N/A</td></tr></table> <div>Table 1017.2</div>	<u>PERMITTED</u>	<u>PROVIDED</u>	300'	N/A
<u>PERMITTED</u>	<u>PROVIDED</u>				
300'	N/A				
or the Nearest Exit					

NOTES

NOTE 1: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE 2: ALL WORK LOCATED IN THE THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

NOTE 3: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

NOTE 4: SIGNAGE FOR ADA MUST BE IN ALL CAPS - "NO PARKING" EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRE WOULD BE PLACED.

NOTE 5: SIGNAGE FOR ADA PARKING MUST BE IN ALL CAPS - "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

NOTE 6: OWNER PROVIDED. BIKE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE. RACK SHALL BE SUPPORTED 2 OR MORE PLACES. COMB/TOASTER RACKS NOT ALLOWED. RACK DESIGNED TO SUPPORT BIKE IN UPRIGHT POSITION. RACK MUST ALLOW VARYING BIKE FRAMES/STYLES. USER NOT REQUIRED TO LIFT BIKE ONTO RACK. EACH BIKE PARKING SPACE ACCESSIBLE W/OUT MOVING ANOTHER BIKE.

NOTE 7: BIKE RACK STURDY/ANCHORED TO CONCRETE PAD W/1'-0" CLEAR ZONE.

GENERAL SHEET NOTES

- DO NOT SCALE DRAWINGS
 - ALL DIMENSIONS TO THE FACE OF STUD UNLESS OTHERWISE NOTED
 - ALL DIMENSIONS TO BE FIELD VERIFIED
- SHEET KEYNOTES
- RETAINING WALL - SEE STRUCTURAL/SEE CIVIL
 - NEW CURB - SEE CIVIL
 - WASTE - BLOCK WALL MUST MAINTAIN 30°
 - BIKE RACK - SEE NOTE 6 & 7
 - EXISTING TRANSFORMER TO BE MOVED. DEMO EXISTING TRANSFORMER PAD - SEE ELECTRICAL - COORDINATE WITH PNM -SEE KEYNOTE 9
 - LINE OF EASEMENT
 - VEHICLE CROSS LOT ACCESS - SEE AS102
 - EXISTING TREE TO REMAIN
 - NEW TRANSFORMER PAD - SEE ELECTRICAL - COORDINATE WITH PNM
 - SIGHT TRIANGLE
 - BUILDING DESIGNATION (FIRE) - A - LETTERING TO BE PICKED BY OWNER
 - BUILDING DESIGNATION (FIRE) - B - LETTERING TO BE PICKED BY OWNER
 - BUILDING DESIGNATION (FIRE) - C - LETTERING TO BE PICKED BY OWNER
 - KNOX BOX
 - ADA SIGNAGE (TYP) - SEE NOTES 4 & 5
 - POSTED SIGN - "VIOLATORS SUBJECT TO FINE AND OR TOWING
 - HOTBOX
 - NEW 6' SIDEWALK. SEE CIVIL
 - PLANTED AREA - SEE LANDSCAPE
 - 8 X EV CHARGING STATIONS - SEE ELECTRICAL
 - PERMEABLE PARKING PAVERS TO RUN LENGTH OF DETENTION POND (WEST AND EAST SIDE)
 - PERMEABLE PARKING PAVERS - ALL PARKING SPACES ON NORTH SIDE OF PROPERTY
 - STRIPED PEDESTRIAN PATH
 - PEDESTRIAN CROSS LOT ACCESS - SEE CIVIL
 - LANDSCAPE BUFFER ZONE TO RUN FULL LENGTH OF WEST PARKING - SEE LANDSCAPE
 - WATER DETENTION AREA - SEE CIVIL/SEE LANDSCAPE
 - TIERED LANDSCAPE AREA - SEE CIVIL FOR ALL OUTDOOR OPEN SPACES.
 - PUBLIC PEDESTRIAN PATH
 - SEE CIVIL
 - BREAK IN GUTTER - SEE CIVIL
 - SEE ELECTRICAL
 - VIEW TRIANGLE
 - MOTORCYCLE SIGNAGE (TYP)
 - NO METERS LOCATED BEYOND THIS LINE - SEE ELECTRICAL
 - NEW ACCESS/CURB CUT
 - 4 X BOLLARDS - CONTRACTOR TO CONSULT OWNER BEFORE PLACING

SITE INFORMATION

UPC: 101406522038520302
Owner: CDR HOLDINGS LLC
Owner Address: 3554 WHITE HORSE DR SE
RIO RANCHO, NM 87124
Site Address: 10120 COORS BLVD 87114
Legal Description: tr 13-a TRACTS 13-A, 13-b & 13-C BLACK RANCH (BEING A REPLAT OF TRACT 13 BLACK RANCH)
Acres: 2.4677
Zone Map Name: B-14-Z

SETBACKS

FRONT: 35'-0"
SIDE: 0'
REAR: 15'-0

PARKING

VEHICLE
REQUIRED: N/A
PROVIDED: 127

ADA
REQUIRED: N/A
PROVIDED: 6

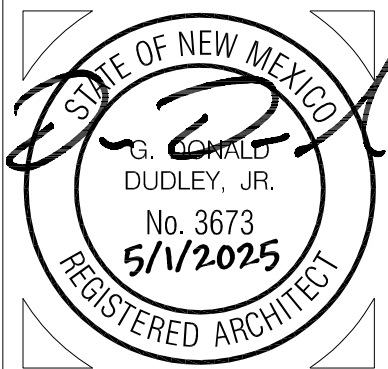
MOTORCYCLE
REQUIRED: N/A
PROVIDED: 2

BICYCLE
REQUIRED: N/A
PROVIDED: 6

LEGEND

NEW CURB CUT

PENNY DESIGN, LLC
302 SANDIARD NW
ALBUQUERQUE, NEW MEXICO 87107
505.280.9439



DEMI'S PAVILIONS
10120 COORS BLVD NW
ALBUQUERQUE, NM
87114

MARK	DATE	DESCRIPTION

DATE: 5/1/2025

DRAWN BY: pd

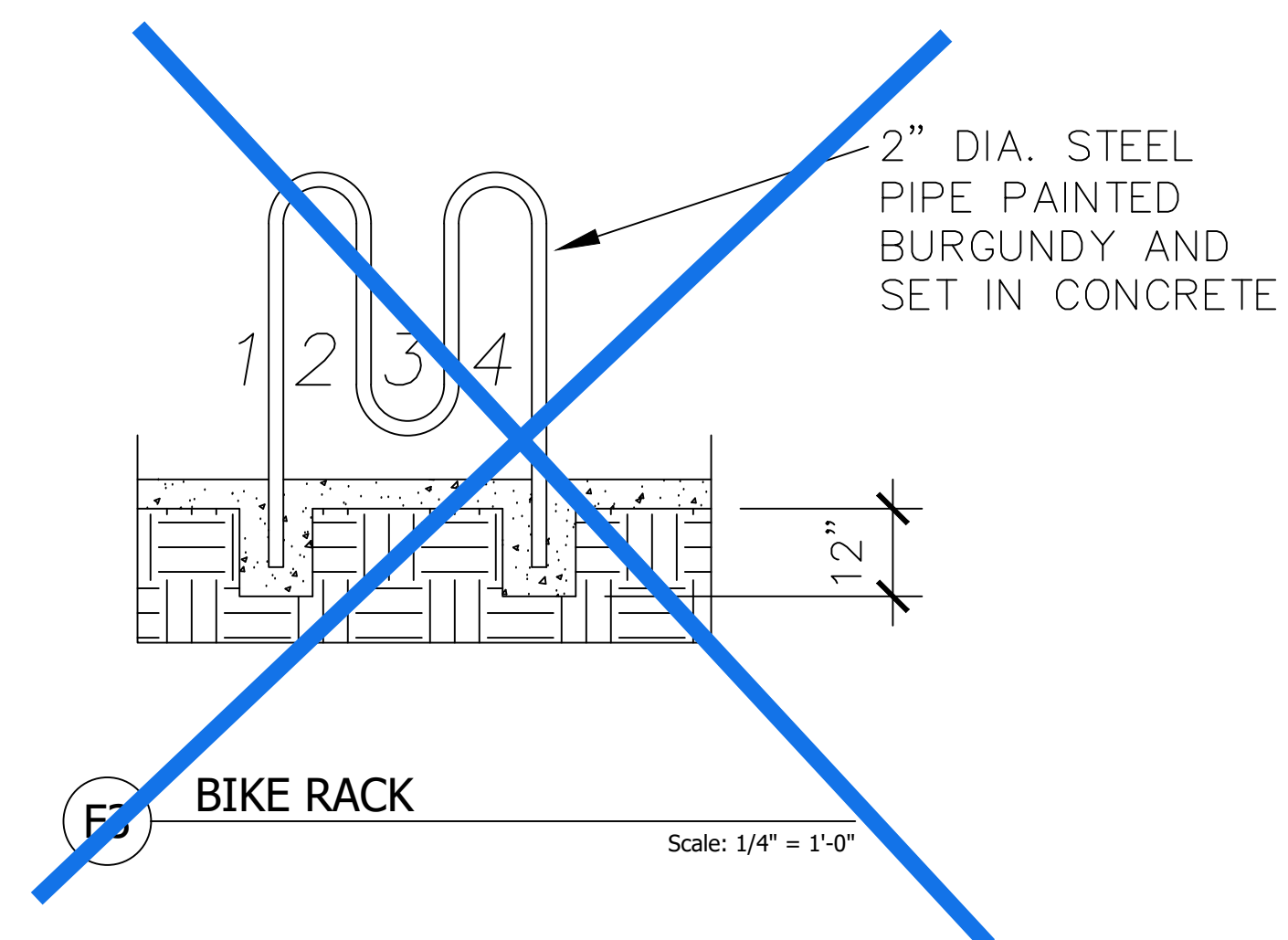
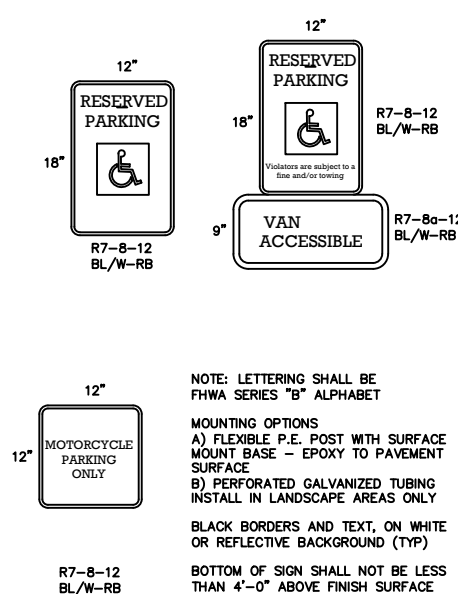
CHECKED BY:

SET NO:

SHEET TITLE:

SITE PLAN

AS101



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 6/30/2025

Signed Date

- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS TO THE FACE OF STUD UNLESS OTHERWISE NOTED
- ALL DIMENSIONS TO BE FIELD VERIFIED

SHEET KEYNOTES

LEGEND

PENNY DESIGN, LLC

DEMI'S PAVILLIONS
10120 COORS BLVD NW
ALBUQUERQUE, NM
87114

[illegible]

DATE: 6/15/2025

DRAWN BY: pd

CHECKED BY:

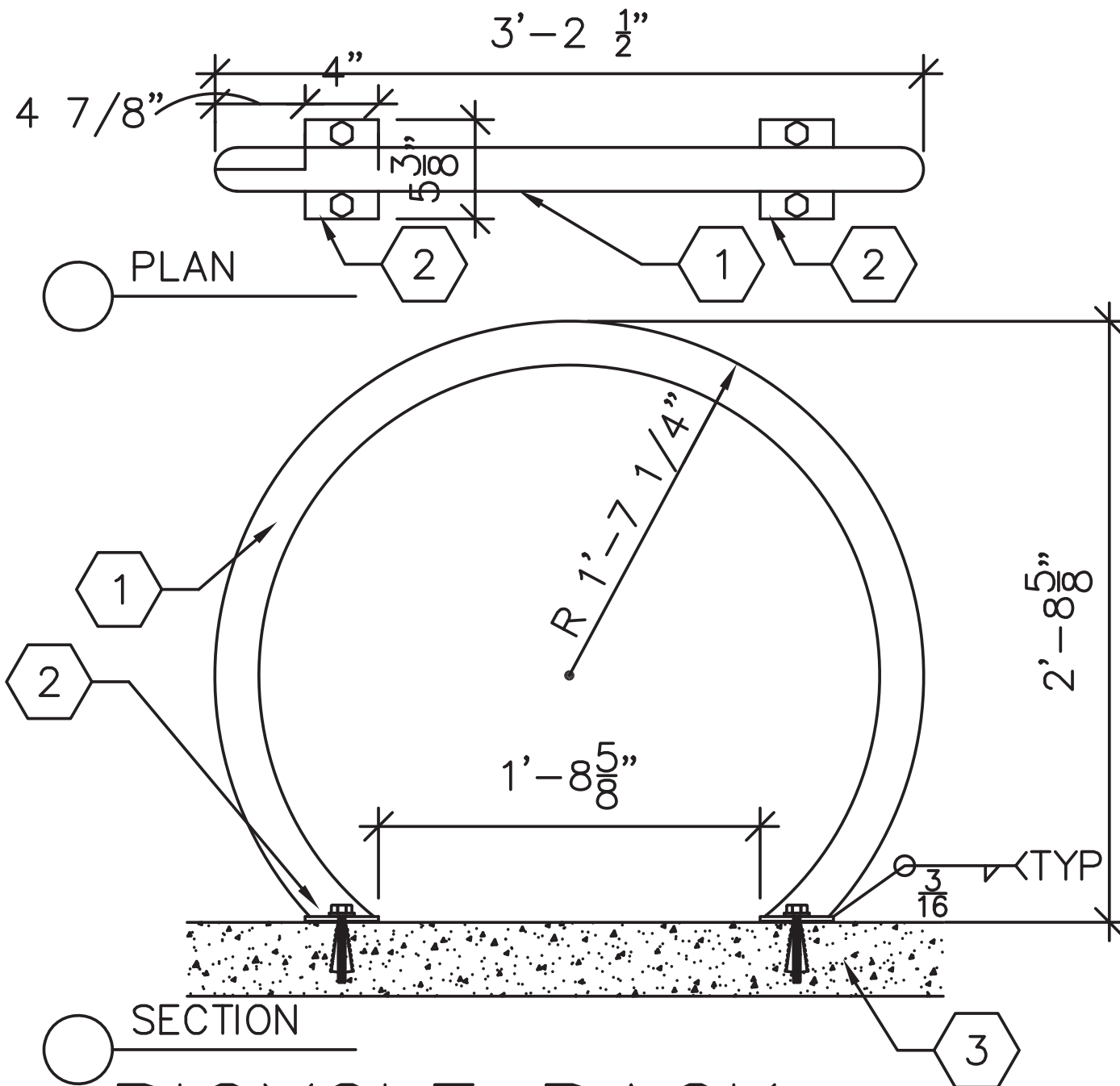
SET NO:

SHEET TITLE:

SITE DETAILS

A503

10120 Coors Blvd NW - DEMI'S PAVILIONS - TCL COMMENT (B14D013-TRANS-2025-00122)
Bike Rack Rev 1



1. BIKE RACK: 2 3/8" O.D. SCHED. 40 STEEL PIPE, ROLLED AS INDICATED, CONT. FULL PEN. WELDED TO BASEPLATES. SEE SPEC'S FOR FINISH.
2. BASEPLATE: 3/8" THICK STEEL. SECURE TO SIDEWALK W/ (2) (EA.) 1/2" EXP. ANCHORS @ 4" O.C. W/ 2 3/4" EMBEDMENT.
3. 4" THICK MIN. CONCRETE SLAB.

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 6/30/2025

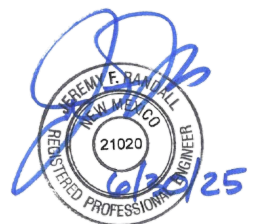
Signed

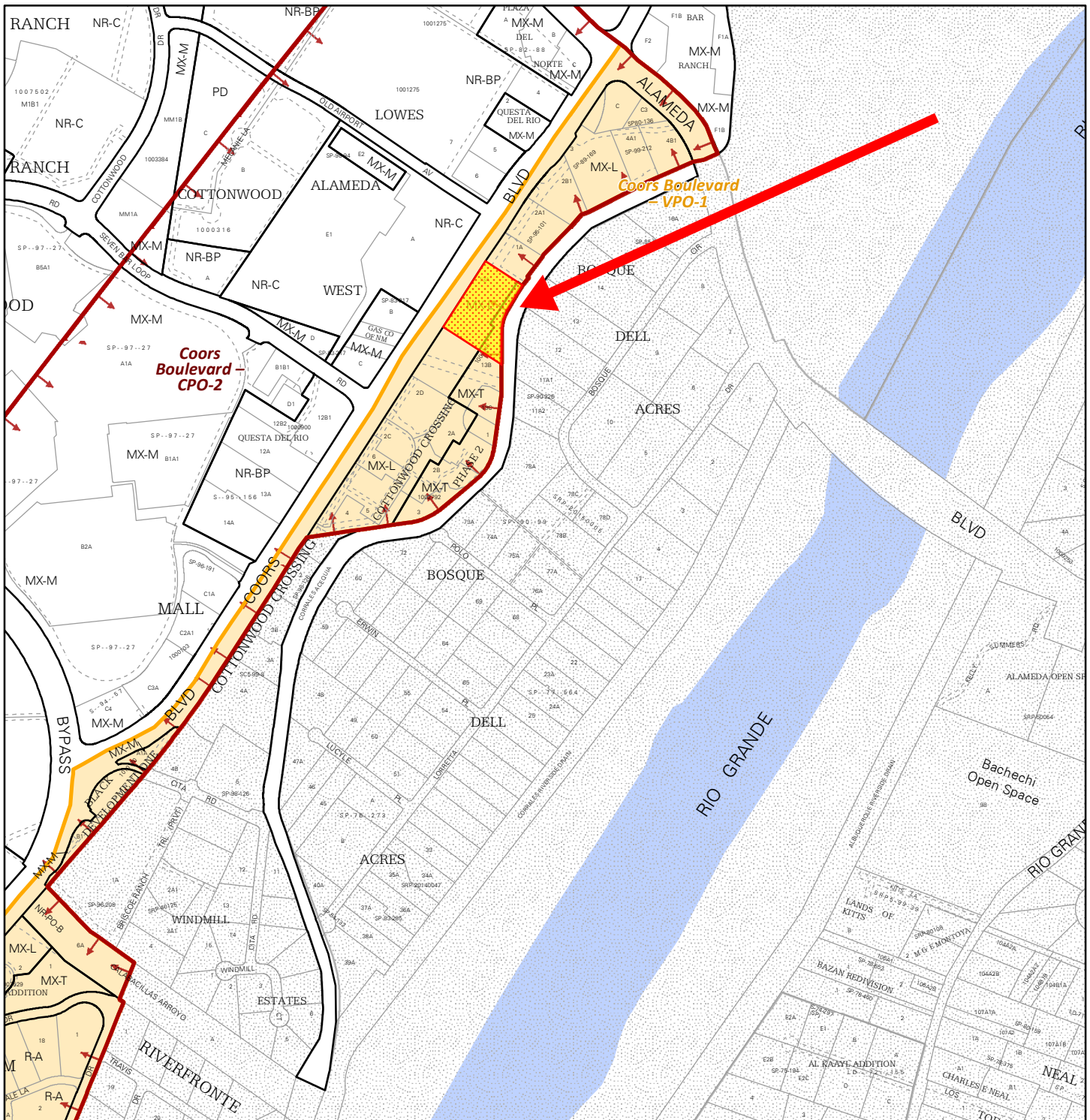
Date

BICYCLE RACK

$$3/4'' = 1' - 0''$$

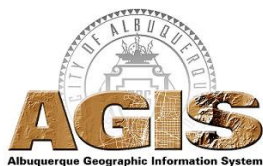
D3



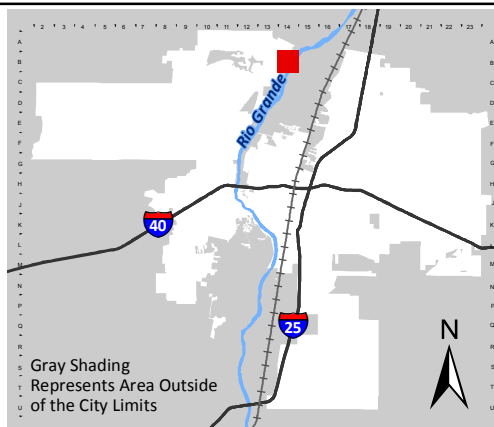


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
B-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet