



## PLAN SNAPSHOT REPORT PA-2025-00370 FOR CITY OF ALBUQUERQUE

**Plan Type:** Pre-Application Review      **Project:** Sketch Plat (PR-2025-020141)      **App Date:** 11/10/2025  
**Work Class:** Sketch Plan      **District:** City of Albuquerque      **Exp Date:** 05/09/2026  
**Status:** Fees Due      **Square Feet:** 0.00      **Completed:** NOT COMPLETED  
**Valuation:** \$0.00      **Assigned To:**      **Approval**  
**Description:** Sketch Plan - Yale Boulevard - HIJAZI MURAD      **Expire Date:**

<b>Parcel:</b> 101505653627141612	<b>Address:</b> 1401 Yale Blvd Se Albuquerque, NM 87106	<b>Zone:</b>
101505653925741608      Main	1401 Yale Blvd Se Albuquerque, NM 87106	
	99999 Yale Blvd Se      Main Albuquerque, NM 87106	

<b>Applicant</b> Renee Regal 9384 Valley View Drive NW Suite 100 Suite 100 Albuquerque, NM 87114 Business: (505) 366-4187 Mobile: (717) 443-3717	<b>Engineer</b> John Stapleton 9384 Valley View Dr NW Albuquerque, NM 87114 Business: (505) 545-9607	<b>Owner</b> Murad Hijazi 1401 Yale Blvd SE Albuquerque, NM 87106 Business: (505) 489-0101
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### Plan Custom Fields

Existing Project Number	PR-2025-020141	Existing Zoning	MX-M - Mixed-Use - Medium Intensity	Number of Existing Lots	1
Number of Proposed Lots	1	Total Area of Site in Acres	1.122	Site Address/Street	1405 YALE BLVD SE ALBUQUERQUE NM 87106
Site Location Located Between Streets	Yale Boulevard SE and Kathryn Avenue SE	Case History	N/A	Do you request an interpreter for the hearing?	No
Square Footage of Existing Buildings	1	Square Footage of Proposed Buildings	62496	Lot and/or Tract Number	6, 3, 5, 4
Block Number	4	Subdivision Name and/or Unit Number	CLAYTON HEIGHTS	Legal Description	LOTS 1 & 2 & THE N/2 OF LOT 3 BLK 4 CLAYTON HEIGHTS SUBD CONT 20,000 SQ FT M/L, S 1/2 LT3, LT 4, LT 5, LT 6 BLK 4 CLAYTON HGTS SUBDCONT .6629 AC
Existing Zone District	MX-M	Zone Atlas Page(s)	L-15	Acreage	0.4591, 0.6629
Calculated Acreage	0.45284171, 0.62625788	Council District	6	Community Planning Area(s)	Near Heights
Airport Protection Overlay	Albuquerque International Sunport / Air Space Protection Sub-area	Development Area(s)	Change	Current Land Use(s)	15   Vacant, 04   Commercial Services
IDO Use Development Standards Name	South Yale Small Area	IDO Use Development Standards Subsection	Off-premises Signs (Prohibitions) (5-12)	IDO Use Specific Standards Name	South Yale Small Area, South Yale Small Area, South Yale Small Area, Airport Protection Overlay Zone (Albuquerque International Sunport)
IDO Use Specific Standards Subsection	Liquor Retail (Restrictions) (4-3(D)), WTF (Restrictions) (4-3(E)), Drive-through or Drive-up Facility (Prohibitions)		(4-3(F)), Hot Air Balloon Takeoff and/or Landing (Prohibitions) (4-3(G))	Metropolitan Redevelopment Area(s)	Clayton Heights/Lomas del Cielo

# PLAN SNAPSHOT REPORT (PA-2025-00370)

IDO Administration & Enforcement Name	Airport Protection Overlay Zone (Albuquerque International Sunport), Albuquerque International Sunport / Air Space Protection Sub-area, Airport Protection Overlay Zone (Albuquerque International Sunport)	IDO Administration & Enforcement Subsection	Referrals to Commenting Agencies (6-4), Variance – ZHE / Variance in the APO Zone (6-6), Nonconforming Structures (6-8)	Pre-IDO Zoning District SU-2
Pre-IDO Zoning Description	YCC	Major Street Functional Classification	3 - urban minor arterial	FEMA Flood Zone X
Total Number of Dwelling Units	0	Total Gross Square Footage2	0	Total Gross Square Footage4
Total Gross Square Footage	0	Total Gross Square Footage3	0	

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Renee_Regal_11/10/2025.jpg	11/10/2025 10:29	Regal, Renee		Uploaded via CSS

Note	Created By	Date and Time Created
1. Submittal has been reviewed and is ready to be processed per Marcello	Renee Zamora	11/12/2025 14:15

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00059644	Technology Fee	\$3.50	\$0.00
	Sketch Plat/Plan Fee	\$50.00	\$0.00
Total for Invoice INV-00059644		\$53.50	\$0.00
Grand Total for Plan		\$53.50	\$0.00

Meeting Type	Location	Scheduled Date	Subject
DFT Meeting v.1	Zoom	11/19/2025	Sketch Plat

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Screening v.1		11/12/2025 14:40	11/12/2025 15:54
Associate Project Number v.1	Generic Action		11/12/2025 14:40
DFT Meeting v.1	Hold Meeting	11/12/2025 15:53	11/12/2025 15:53
Screen for Completeness v.1	Generic Action		11/12/2025 14:40
Verify Payment v.1	Generic Action		11/12/2025 15:54
Application Review v.1			
Sketch Plat/Plan Review v.1	Receive Submittal		
DFT Comments Submittal v.1	Generic Action		

# *Community Design Solutions*

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November 10, 2025

Development Hearing Officer  
City of Albuquerque  
600 2<sup>nd</sup> St NW  
Albuquerque, NM 87102

## **RE: Project Description for Sketch Plan Application**

Dear Development Hearing Officer,

Community Design Solutions, LLC (CDS), on behalf of our client, MURAD HIJAZI, submits this project description letter per the City's sketch plan application requirements.

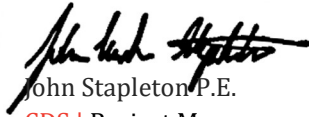
This request seeks to submit a sketch plan for review of the Yale Boulevard Apartments, approximately 67,000 sf, 5-story, 85-unit, multi-family residential housing facility. There will be 85 parking spaces provided for this property. The first story will be for parking and the surface parking lot will be in line with the second story of the building.

This proposed development consists of approximately 1.122 acres and is currently zoned MX-M (Mixed Use – Moderate Intensity).

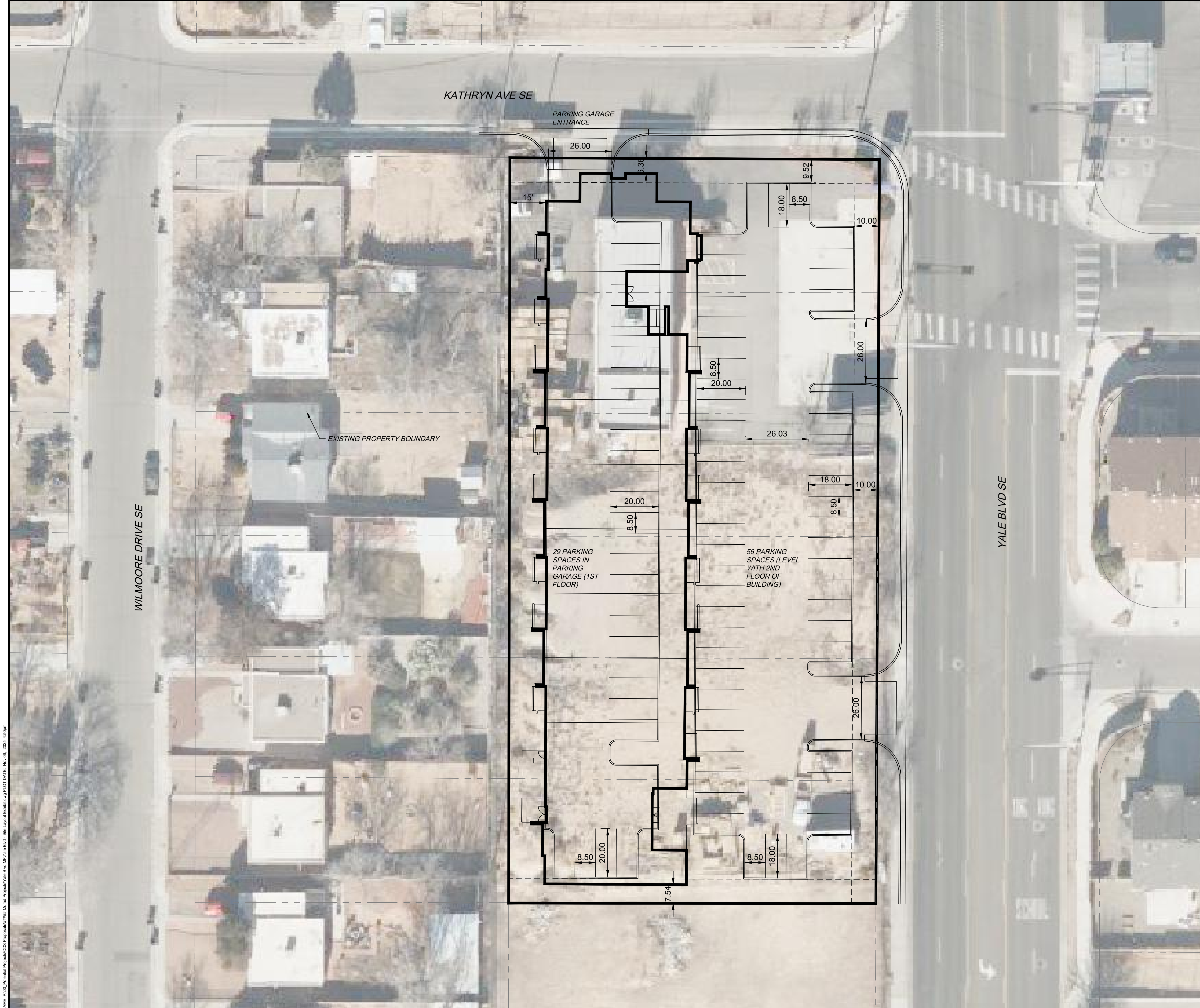
If you have any questions or require additional information, please feel free to contact us.

Sincerely,

Community Design Solutions, LLC



John Stapleton P.E.  
**CDS** | Project Manager  
505-545-9607

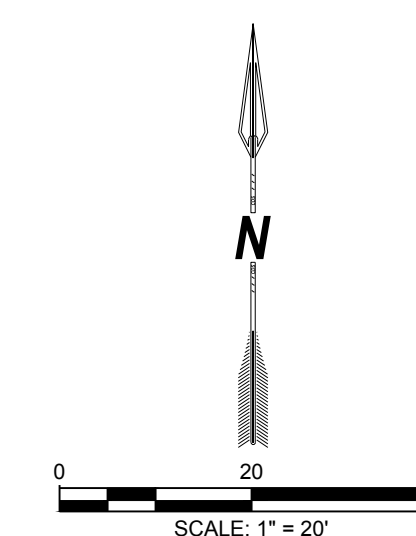


TOTAL PARKING: 85

ESTIMATED APARTMENT UNIT COUNT: 85

APPROXIMATELY 16,750 SF PER FLOOR

## SITE LAYOUT EXHIBIT WITH ORTHO



**CDS**

COMMUNITY DESIGN SOLUTIONS, LLC  
9384 VALLEY VIEW DR NW, SUITE 100  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: (505)366-4187



KATHRYN AVE SE

PARKING GARAGE  
ENTRANCE

WILMOORE DRIVE SE

- EXISTING PROPERTY BOUNDARY

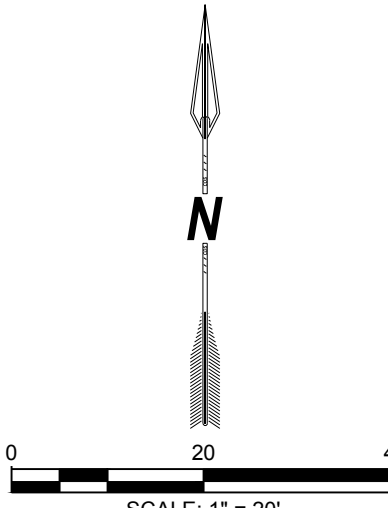
WYALE BLVD SE

TOTAL PARKING: 85

ESTIMATED APARTMENT UNIT COUNT: 85

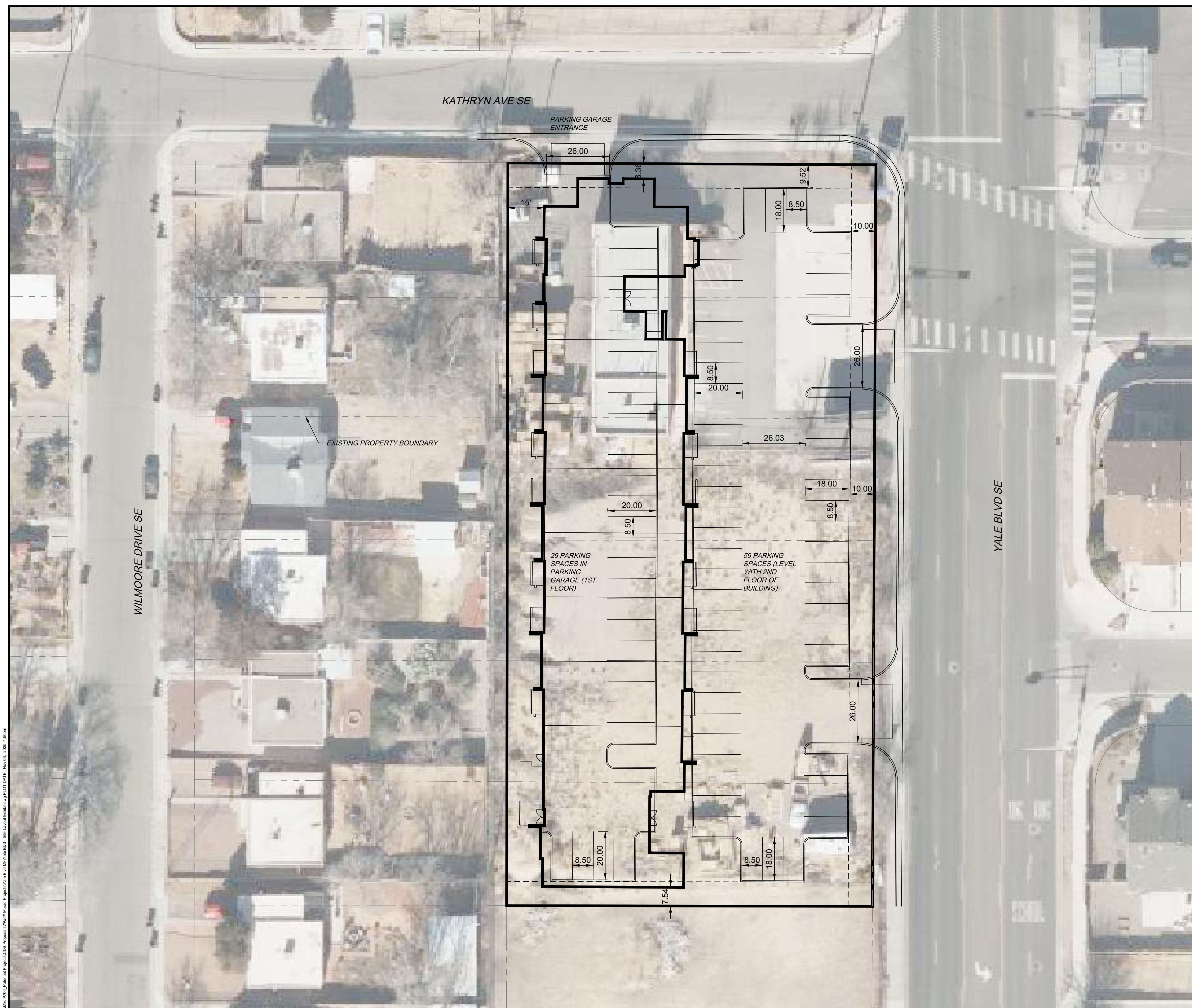
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# SITE LAYOUT EXHIBIT



# CDS

**COMMUNITY DESIGN SOLUTIONS, LLC**  
9384 VALLEY VIEW DR NW, SUITE 100  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: (505) 366-4187

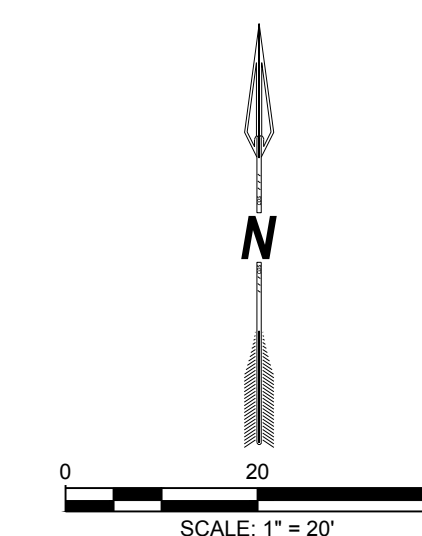


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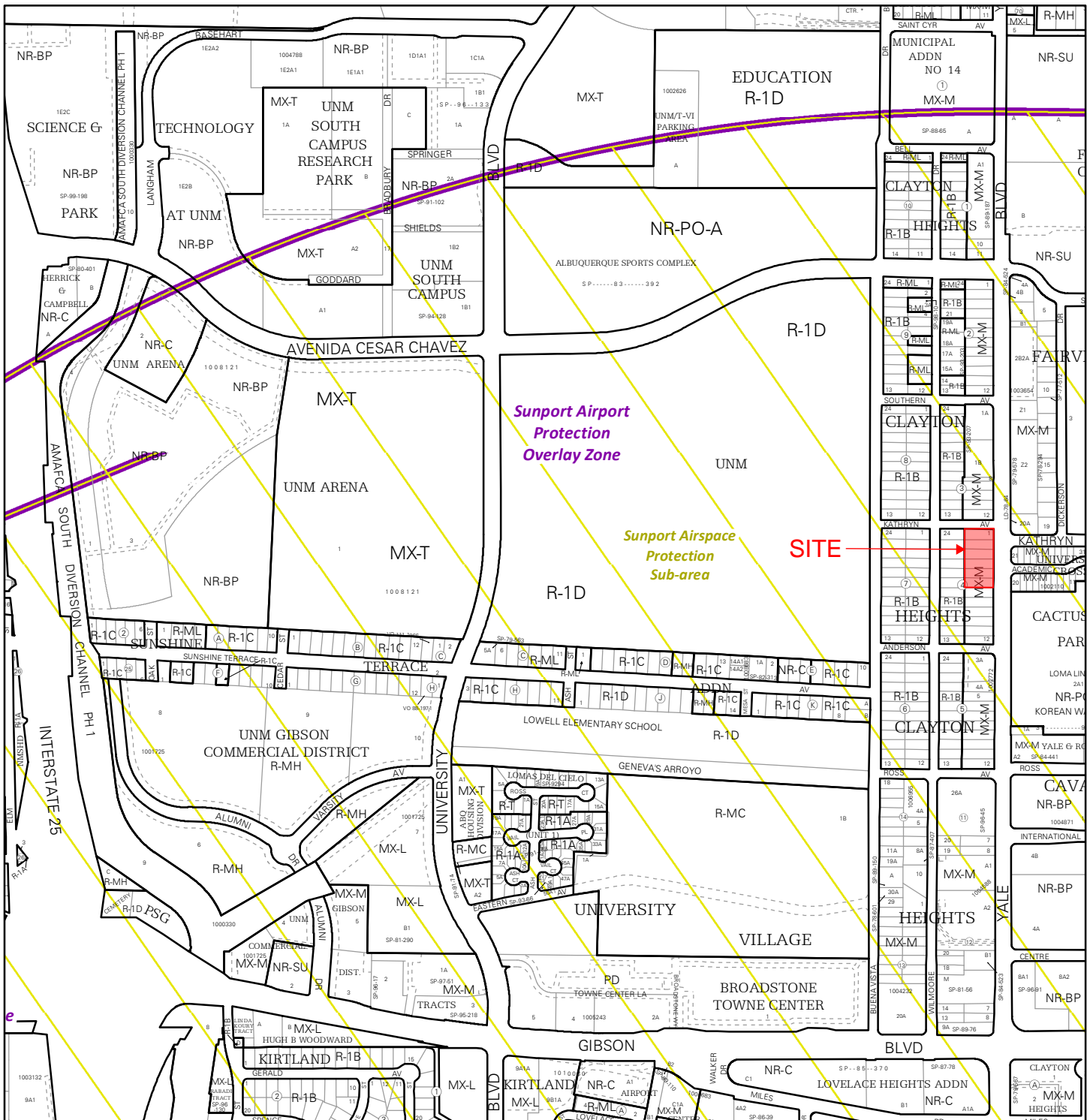


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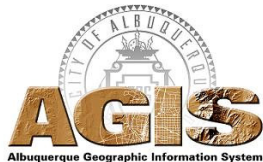




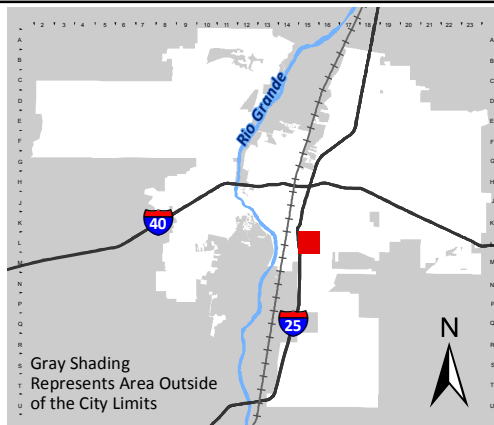


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**L-15-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet