

Site visit 6-19-12

NOTES

1. SEE TYPICAL SIDE YARD RETAINING WALL DETAIL SHEET 4.
2. SEE TYPICAL LOT LAYOUT DETAIL SHEET 4.
3. SEE EROSION CONTROL BERM DETAIL SHEET 4.
4. SEE SHEET 4 FOR LEGEND & GRADING NOTES.
5. SEE SHEET 4 FOR DOUBLE RETAINING WALL DETAIL.

LEGEND

- TOB = TOP OF BANK
- AB = ARROYO BOTTOM
- SBR = SPUR #8 RIGHT
- GCS4 = GRADE CONTROL STRUCTURE #4

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

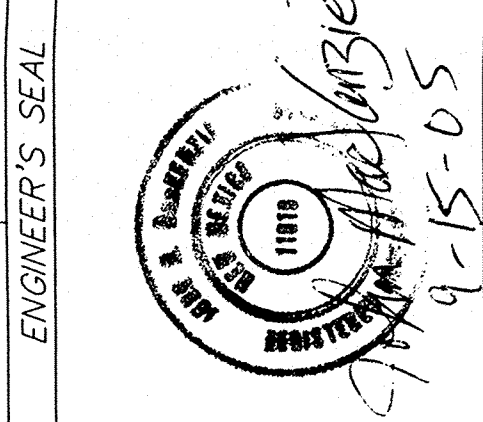
John Mackenzie
JOHN M. MACKENZIE JAMPE 11619

06-15-12
DATE

SCALE: 1" = 60'

60' 30' 0 60' 120'

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: ANASAZI RIDGE SUBDIVISION GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
NO.	DATE
DESIGNED BY JSD	DATE 10/04
DRAWN BY DER	DATE 10/04
CHECKED BY DMG	DATE 10/04
CITY PROJECT NO.	
ZONE MAP NO. A-10-Z	SHEET 1 OF 3

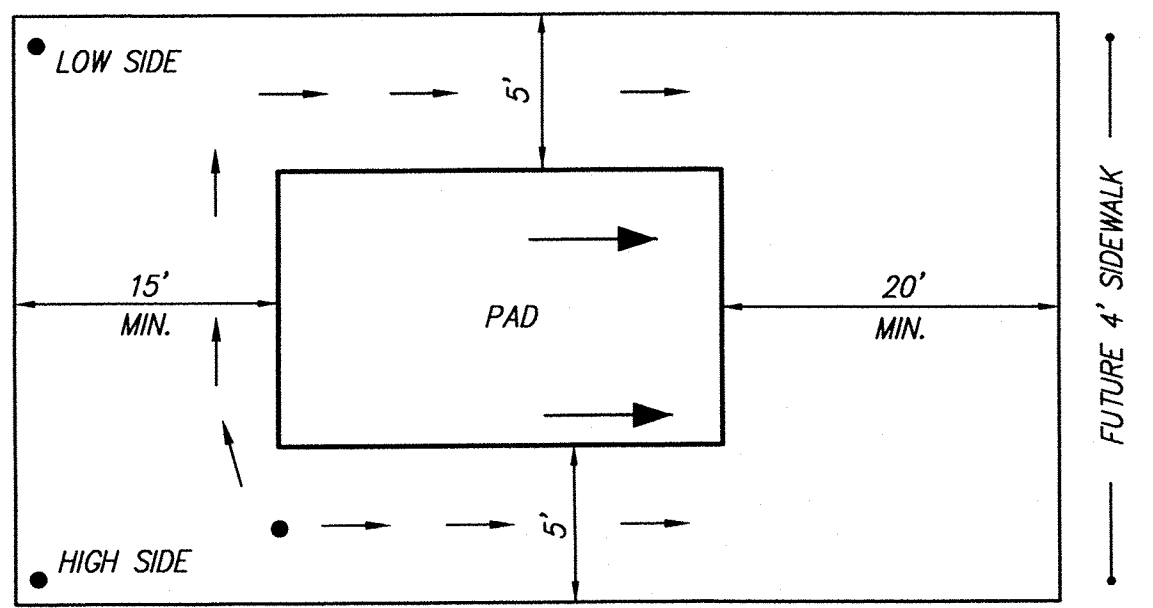


CONTRACTOR		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE
SURVEY INFORMATION		BENCH MARKS	
NO.	DATE	NO.	DATE
REVISIONS		MICRO-FILM INFORMATION	
NO.	DATE	NO.	DATE

Not This Project
AMAFA Calabacillas Project
Built for
9MM 6-20-12

This Project

this Project



TYPICAL LOT LAYOUT PLAN

N.T.S.

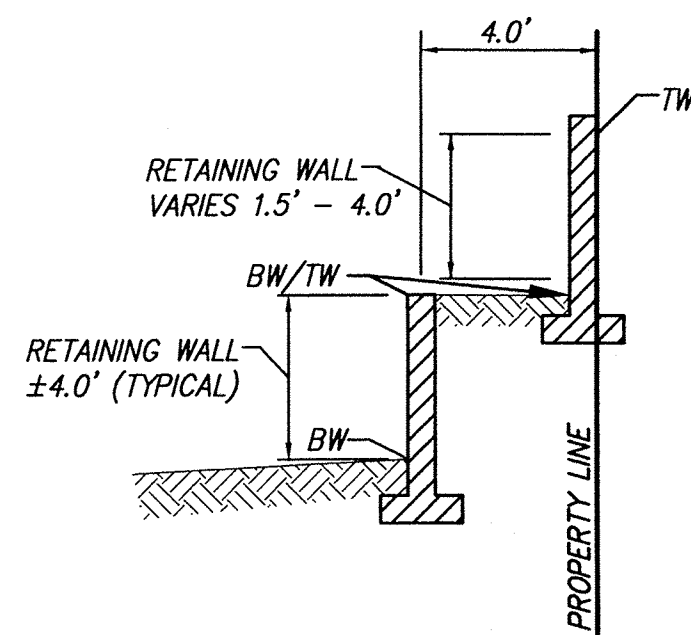
DRAINAGE CERTIFICATION

I, John M. Mackenzie, NMPE, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06-19-12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY ALDRICH, NMPS 7719 OF THE FIRM ALDRICH LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 13, 2012, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

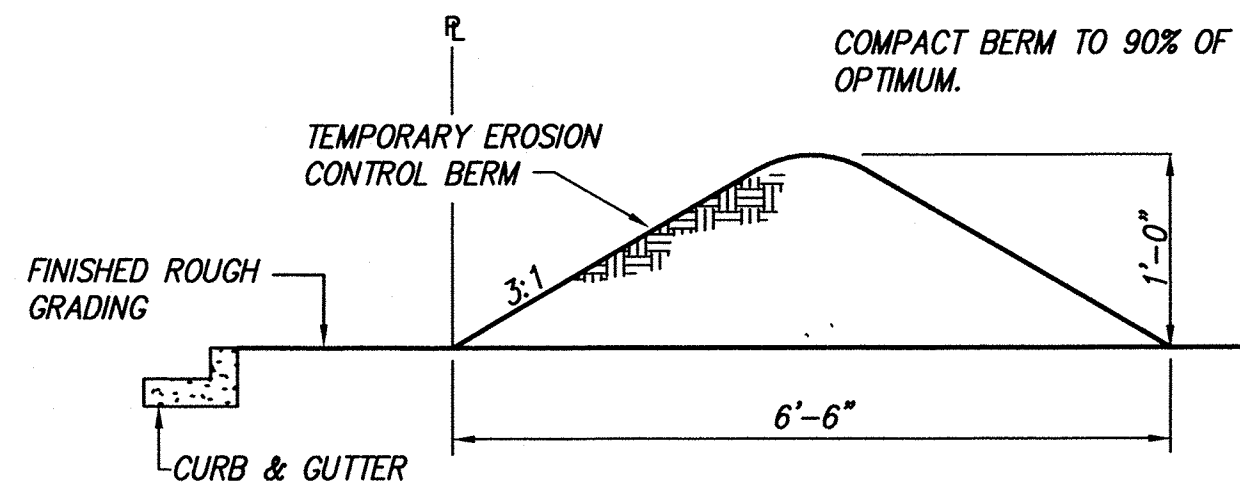
John M. Mackenzie
JOHN M. MACKENZIE NMPE 11619

06-19-12
DATE



DOUBLE RETAINING WALL DETAIL

N.T.S.

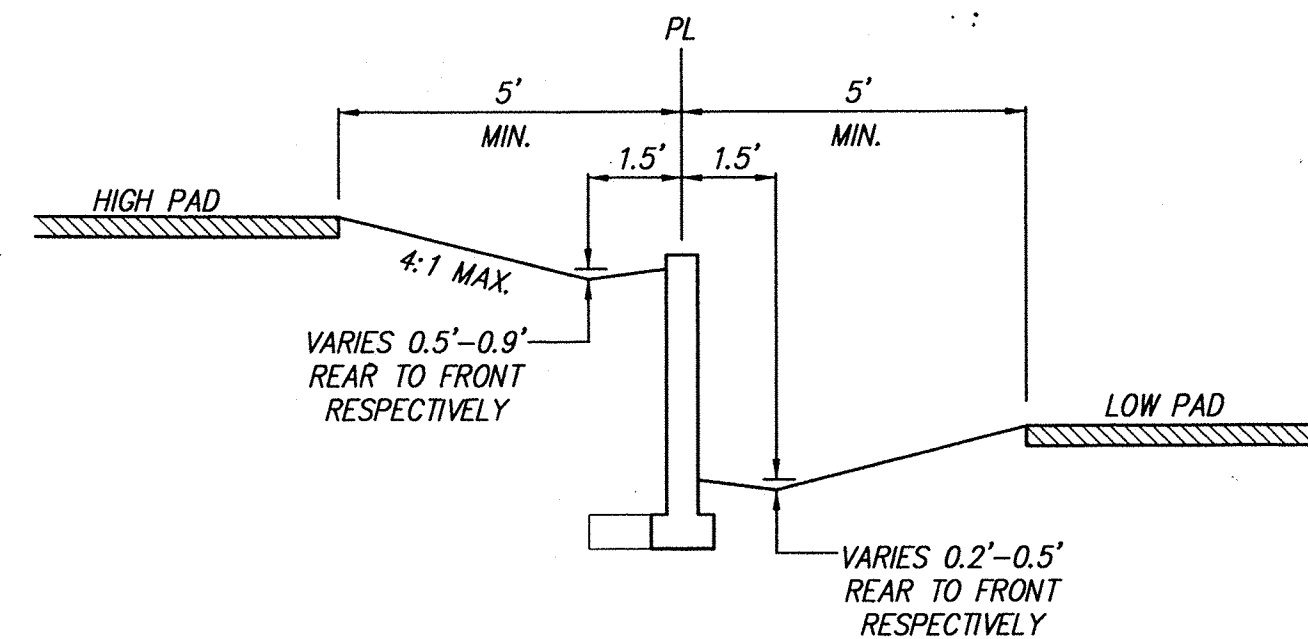


EROSION CONTROL BERM DETAIL

N.T.S.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
- ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



TYPICAL SIDEYARD RETAINING BLOCKWALL DETAIL

N.T.S.

WHERE ELEVATION DIFFERENCE BETWEEN ADJACENT PADS IS 1.5' OR MORE A SIDE YARD RETAINING WALL MUST BE CONSTRUCTED ON PROPERTY LINE. EACH LOT OWNER MUST CONSTRUCT, OPERATE AND MAINTAIN THEIR OWN SEPARATE DRAINAGE SWALE.

NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- A PERIMETER CMU WALL WILL BE CONSTRUCTED AROUND THE PROJECT SITE. INTERIOR PROPERTY BOUNDARIES WILL BE SEPARATED BY WALLS (SIDEYARDS AND BACK YARDS).

LEGEND

- 5385 EXISTING CONTOUR (MAJOR)
- 5384 EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- PP EXISTING POWER POLE
- E EXISTING OVERHEAD ELECTRIC
- FUTURE CURB & GUTTER
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW RETAINING WALL
- 92.39 NEW SPOT ELEVATIONS
- FP= 92.16 NEW FINISHED PAD ELEVATION
- NEW SLOPE
- NEW FLOW

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE:

**ANASAZI RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.

ZONE MAP NO.

SHEET OF

A-10-Z

3 3

A04JOBS\A4063AR\DWG\A4063-GD 09-15-05 DER ACH TAS