

CITY OF ALBUQUERQUE



June 20, 2012

John M. Mackenzie, P.E.
Mark Goodwin and Associates
P.O. Box 90606
Albuquerque, NM 87199

**Re: Anasazi Ridge Subdivision, Grading and Drainage Plan
Engineer's Stamp Date 9-15-05,
Certification Date 6-20-12 (A10/D002)**

Dear Mr. Mackenzie,

Based upon the information provided in your submittal received 6-20-12, the above referenced plan is approved for Release of Financial Guarantee by Hydrology.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: e-mail
Construction Services, Planning Department

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Anasazi Ridge Subdivision

ZONE MAP/DRG. FILE # A-10/2002

DRB#: 1003684

EPC#: _____

WORK ORDER#: 759581

LEGAL DESCRIPTION: Anasazi Ridge Subdivision

CITY ADDRESS: NE corner of Universe and McMahon Boulevard

ENGINEERING FIRM: Mark Goodwin & Associates, PA

ADDRESS: PO Box 90606

CITY, STATE: Albuquerque, NM

CONTACT: John MacKenzie

PHONE: 828-2200

ZIP CODE: 87199

OWNER: Collatz, Inc.

ADDRESS: 661 Quantum Road

CITY, STATE: Rio Rancho, NM

CONTACT: Arlan Collatz

PHONE: 970-901-2468

ZIP CODE: 87124

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: John MacKenzie

DATE: 06-20-12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DISCLOSED
JUN 20 2012

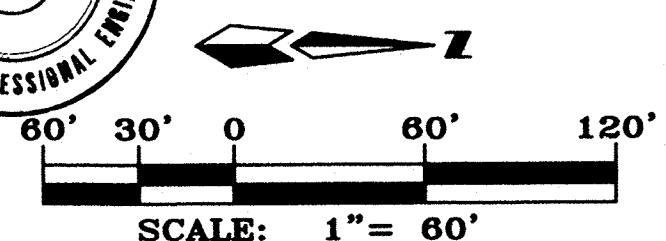


NOTES

- ### LEGEND

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THE ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

06-15-12
DATE



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

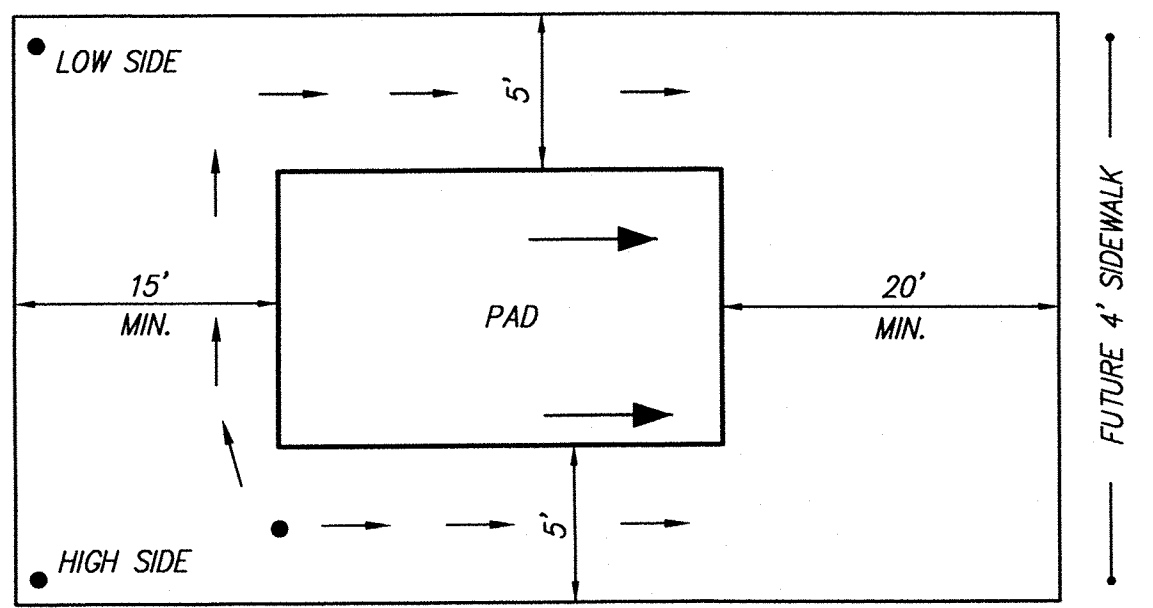
***ANASAZI RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN***

Rec 6-20-12
12:00pm

ENGINEER'S SEAL

The seal is circular with the text "STATE OF FLORIDA" around the top and "PROFESSIONAL ENGINEER" around the bottom. In the center, it says "NO. 1000". A signature, "J. H. MacFarlane", is written across the seal, and the date "9-15-05" is written to the right.

Not this Project
AMAFCAL Calabacillas Project
9MM 6-20-12



TYPICAL LOT LAYOUT PLAN

N.T.S.

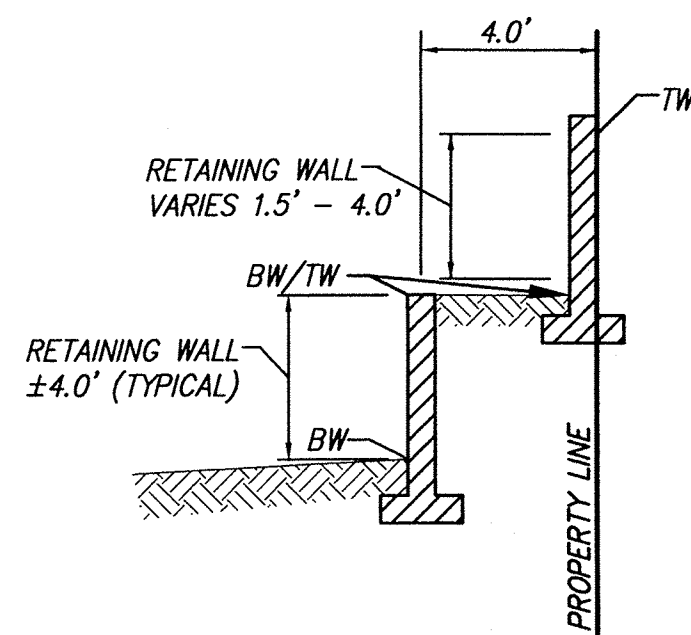
DRAINAGE CERTIFICATION

I, John M. Mackenzie, NMPE, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06-19-12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY ALDRICH, NMPS 7719 OF THE FIRM ALDRICH LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 13, 2012, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

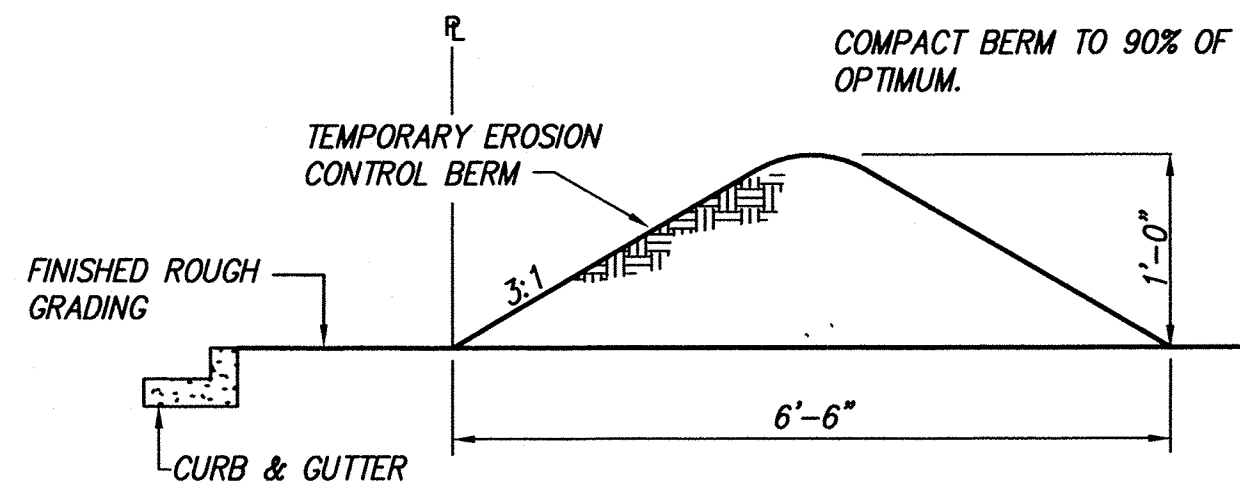
John M. Mackenzie
JOHN M. MACKENZIE NMPE 11619

06-19-12
DATE



DOUBLE RETAINING WALL DETAIL

N.T.S.

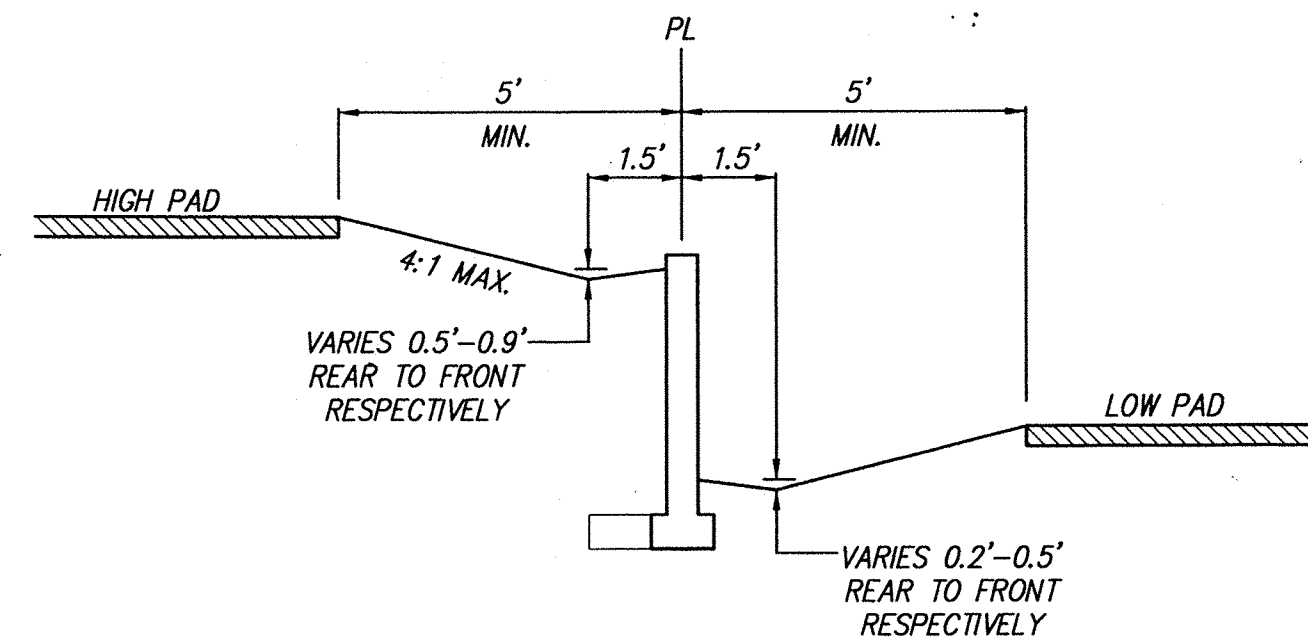


EROSION CONTROL BERM DETAIL

N.T.S.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
- ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



TYPICAL SIDEYARD RETAINING BLOCKWALL DETAIL

N.T.S.

WHERE ELEVATION DIFFERENCE BETWEEN ADJACENT PADS IS 1.5' OR MORE A SIDE YARD RETAINING WALL MUST BE CONSTRUCTED ON PROPERTY LINE. EACH LOT OWNER MUST CONSTRUCT, OPERATE AND MAINTAIN THEIR OWN SEPARATE DRAINAGE SWALE.

NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- A PERIMETER CMU WALL WILL BE CONSTRUCTED AROUND THE PROJECT SITE. INTERIOR PROPERTY BOUNDARIES WILL BE SEPARATED BY WALLS (SIDEYARDS AND BACK YARDS).

LEGEND

- 5385 EXISTING CONTOUR (MAJOR)
- 5384 EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- PP EXISTING POWER POLE
- E EXISTING OVERHEAD ELECTRIC
- FUTURE CURB & GUTTER
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW RETAINING WALL
- 92.39 NEW SPOT ELEVATIONS
- FP= 92.16 NEW FINISHED PAD ELEVATION
- NEW SLOPE
- NEW FLOW

dmg MARK GOODWIN & ASSOCIATES, P.A.
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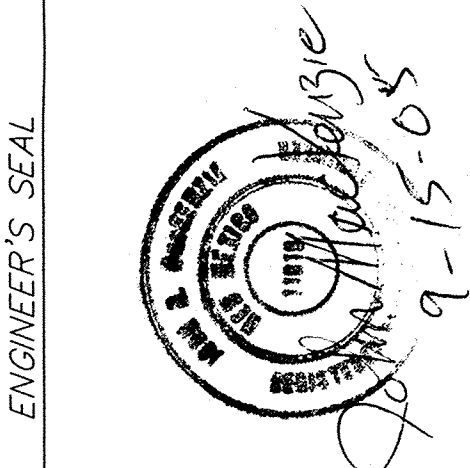
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE:

**ANASAZI RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	A-10-Z	3	3



NO.	DATE	REMARKS	BY

DESIGNED BY **JSD** DATE **10/04**

DRAWN BY **DMG** DATE **10/04**

CHECKED BY **DMG** DATE **10/04**