

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 19, 2023

Ron E. Hensley P.E.
The Hensley Engineering Group
300 Branding Iron Rd. SE
Rio Rancho , NM 87124

Re: Sams Academy/ 6441 Ventana Rd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-06-2021 (A10-D010)
Certification dated 01-10-23

Dear Mr. Hensley,

Based upon the information provided in your submittal received 01-13-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: SAMS Academy **Building Permit #:** _____ **Hydrology File #:** B10D010
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT A-2 BULK LAND PLAT FOR TRACTS A-1 & A-2 (A REPLAT OF TRACT A, VENTANA RANCH)
City Address: 6441 VENTANA RD. N.W.

Applicant: THE Group **Contact:** Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 1/11/23 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

TRAFFIC CERTIFICATION

I, David J. Pacheco, New Mexico Registered Architect #: 1606, of the firm David J. Pacheco, Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated January 28, 2022. The record information edited onto the original design document has been obtained by David J. Pacheco of the firm David J. Pacheco, Architects. I further certify that I have personally visited the project site on January 6, 2023 and have determined by visual inspection that the survey data provided is representative of actual site AS BUILT conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Approval and for a Certificate of Occupancy.

(Describe any exceptions and/or qualifications here in a separate paragraph.)

(Describe any deficiencies and/or required corrections here in a separate paragraph.)

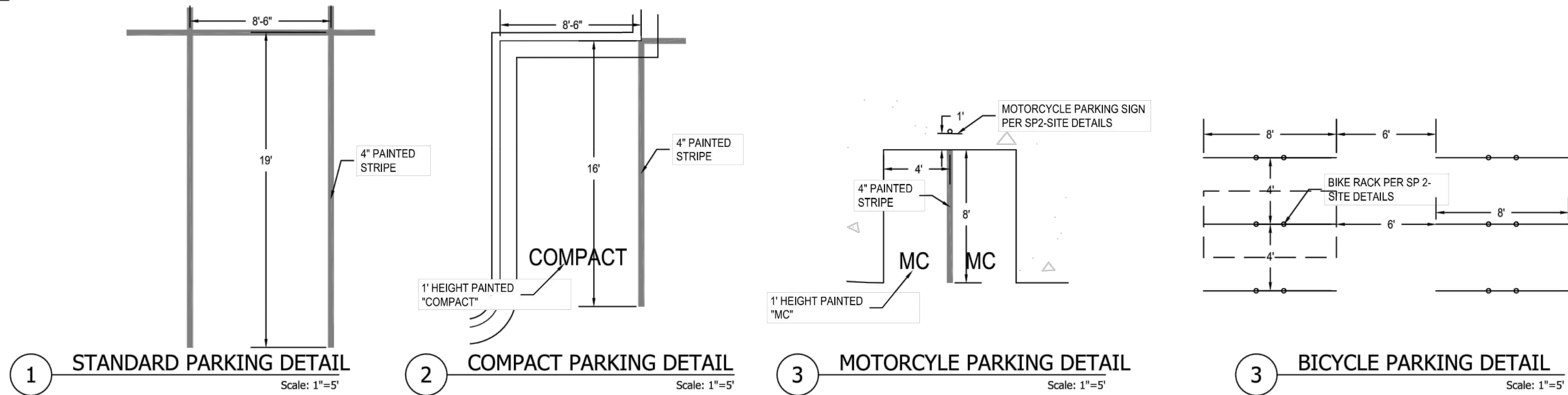
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

David J. Pacheco

January 10, 2023

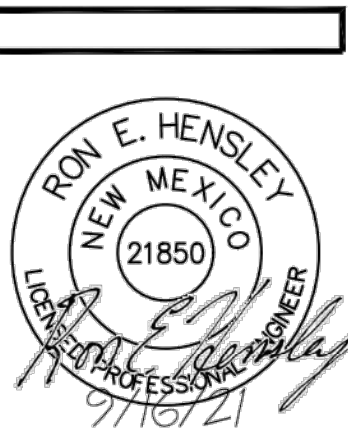
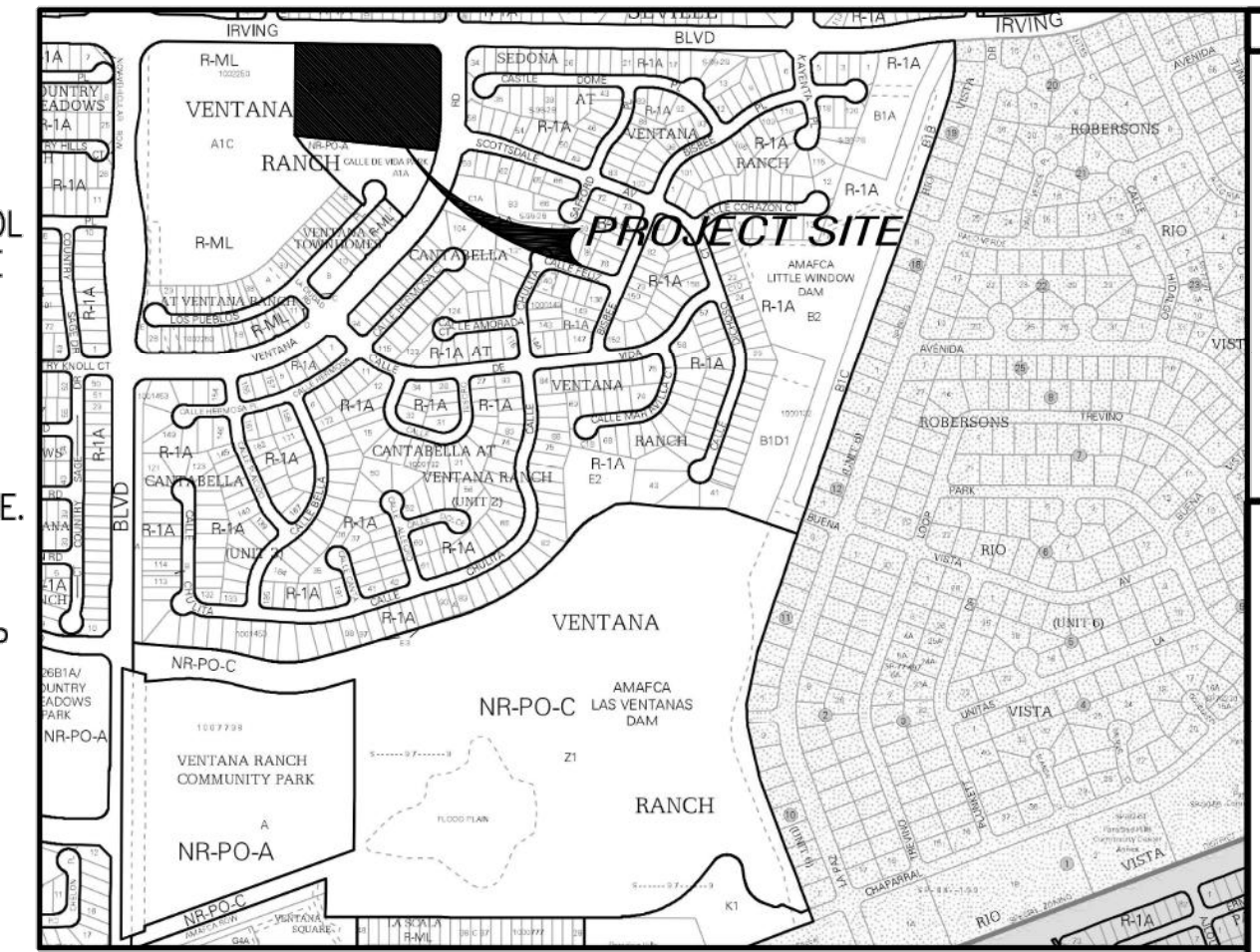
Date



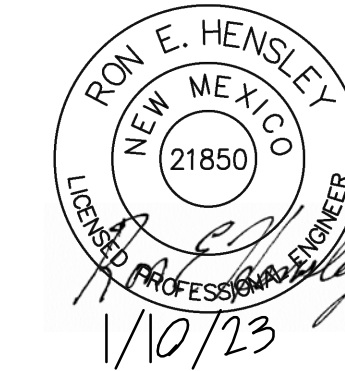
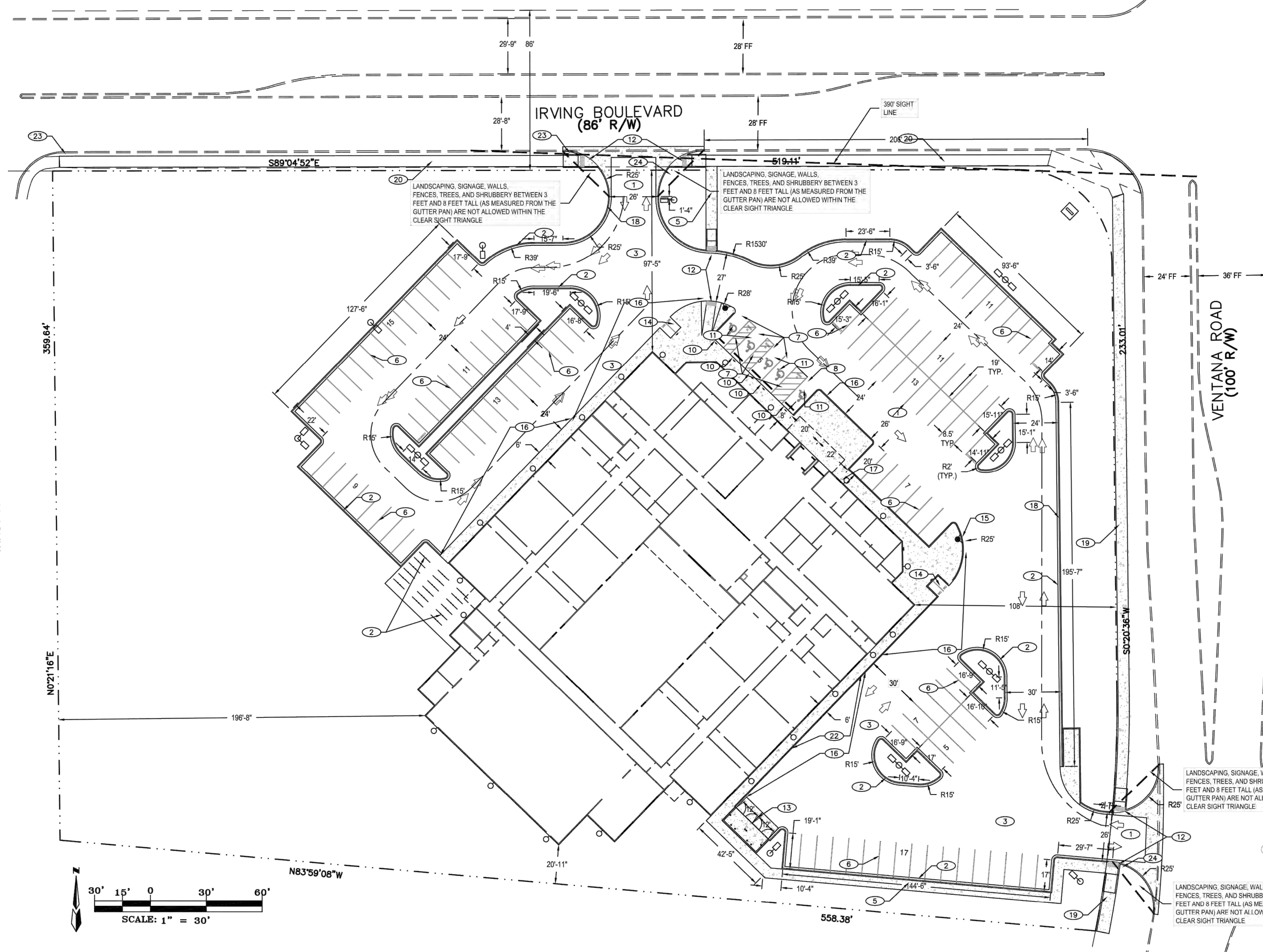


TRAFFIC SUMMARY
THE PROPOSED SCHOOL IS LOCATED IN THE SOUTHWEST QUADRANT OF THE IRVING BLVD./VENTANA RD. THE PLAN CONSISTS OF CLASSROOMS AND GYMNASIUM FOR A STUDENT/STAFF POPULATION CONSISTS OF 170 HS, 60 MS, 25 STAFF. CAPACITY OF THE SCHOOL WILL BE LIMITED TO 300 STUDENTS. THE PRIMARY ACCESS WILL BE VIA VENTANA RD. OPPOSITE SCOTTSDALE AVE. A SECONDARY RIGHT-IN/RIGHT-OUT ACCESS IS PROPOSED ON IRVING BLVD. STUDENT DROP-OFF IS PROPOSED AT A PORTICO IN THE CENTER FRONT OF THE BUILDING. STUDENT DROP-OFF CIRCULATION IN A COUNTER-CLOCKWISE DIRECTION SO THAT STUDENTS CAN BE DROPPED OFF AT THE BUILDING ON THE RIGHT SIDE OF THE VEHICLE.

QUEUING REQUIREMENT
AN EFFICIENT DROP-OFF SCHEDULE WILL BE MANAGED BY THE SCHOOL. IN THE EVENT THAT SCHOOL TRAFFIC BEGINS TO BACK UP ONTO IRVING BOULEVARD, THERE IS A COMMITMENT FROM THE SCHOOL TO MAKE SITE MODIFICATIONS TO ALLOW FOR ADDITIONAL QUEUING.



1. THIS SET OF DRAWINGS CONTAINS A WHOLE. IF IT IS THE SOLE CONTRACTOR INVOLVED IN THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN EACH SHEET. 2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN REVISIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOT RECOMMENDED.



TRAFFIC CERTIFICATION
I, RON E. HENSELEY, NMPE 21850, OF THE FIRM THE GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED READY FOR BUILDING PERMIT IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/10/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TOM PATRICK, NMPS 12851, OF THE FIRM COMMUNITY SCIENCES CORP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/08/2023, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TOL ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

GENERAL NOTES

- CURB DIMENSIONS ARE TO FACE OF CURB U.N.O.
- WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER
- SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT

DEVELOPMENT MANAGEMENT CONSULTANTS

PROFESSIONAL CONSTRUCTION MANAGERS & CONSULTING ENGINEERS

9320 Menaul Blvd. NE, ste. D
Albuquerque, NM 87112

DMC

Office: (505) 296-7100
Fax: (505) 296-7105

SITE DATA

LOCATION	6400 IRVING N.W., ALBUQUERQUE, NM
LEGAL DESCRIPTION	TRACT A-2, A REPLAT OF TRACT A, VENTANA RANCH
CURRENT ZONING	R-MIL
ZONE ATLAS PAGE	B-10
BUILDING CONSTRUCTION	2B
APPLICABLE CODE	2015 IBC / IFC
TOTAL LOT AREA	(5.00 AC) 217,800 SF
BUILDING FOOTPRINT AREA	36,800 SF
NET LOT AREA (LOT AREA - BUILDING AREA)	181,000 SF
PAVED AREA	10,534 SF
REQUIRED PARKING	25 + 3*6 + 2*6=55 SPACES 25 STAFF + 3 SPACES/H.S. CLASS + 2 SPACES/MID. CLASS
PARKING PROVIDED	124 SPACES 114 STANDARD SPACES 5 COMPACT SPACES
REQUIRED ADA PARKING	5 SPACES (1 VAN)
PROVIDED ADA PARKING	5 SPACES (1 VAN)
REQUIRED MOTORCYCLE PARKING	3 SPACES
PROVIDED MOTORCYCLE PARKING	4 SPACES
REQUIRED BICYCLE PARKING	300 STUDENTS 30 SPACES
PROVIDED BICYCLE PARKING	30 SPACES

KEYED NOTES

- NEW CURB RETURN DRIVEWAY ENTRANCE
- NEW CURB
- NEW ASPHALT PAVEMENT
- BICYCLE RACK
- 6" CONC. SIDEWALK
- PARKING STRIPING PER CABQ STANDARDS
- HANDICAP PARKING SPACE PER SP 2-SITE DETAILS AND CABQ STANDARDS
- HANDICAP VAN PARKING SPACE PER SP 2-SITE DETAILS AND CABQ STANDARDS
- HANDICAP ACCESSIBLE AISLE PER SP 2-SITE DETAILS AND CABQ STANDARDS
- HANDICAP ACCESSIBLE SIGNAGE PER SP 2-SITE DETAILS AND CABQ STANDARDS
- PAINTED HANDICAP PARKING SYMBOL PER SP 2-SITE DETAILS
- HANDICAP RAMP W/TRUNCATED DOME SURFACE PER SP 2-SITE DETAILS
- TRASH ENCLOSURE PER CABQ. REQUIREMENTS
- MOTORCYCLE PARKING SPACES 4'x8'
- NEW FIRE HYDRANT PER CABQ FIRE DEPT.
- CURB PAINTED RED WITH "NO PARKING FIRE LANE" PER IFC SEC. 505.3 MARKINGS
- PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC. 505
- KEEP RIGHT SIGN
- 6" CONC. SIDEWALK
- EXISTING ASPHALT TRAIL
- VALLEY GUTTER PER COA STD. SPEC. 2420
- BUS UNLOADING / LOADING ZONE
- "DO NOT BLOCK TRAFFIC" SIGN R10-7
- STOP SIGN R1-1



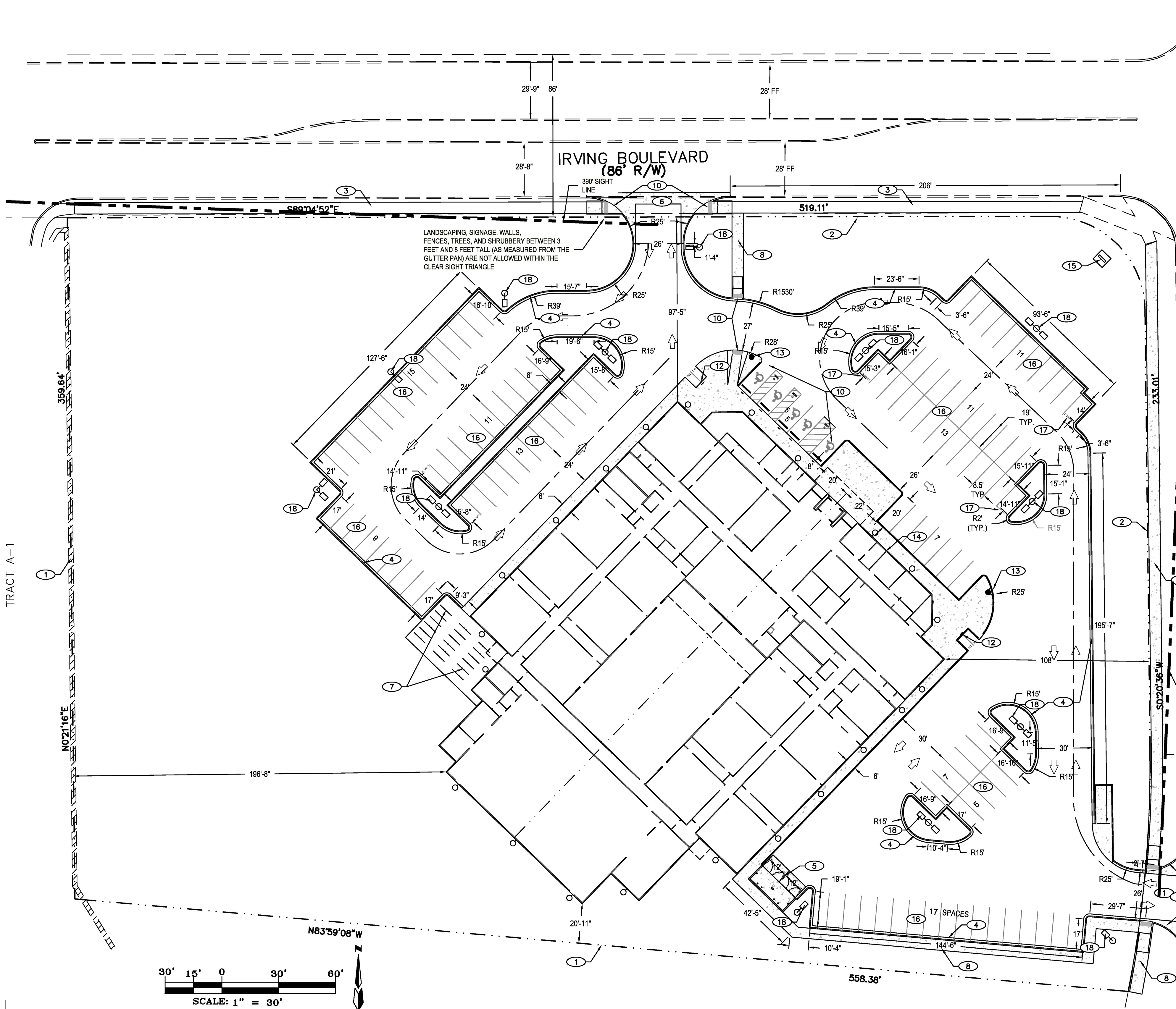
THE HENSELEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

PROJECT ADDRESS:
**6441 VENTANA RD NW
ALBUQUERQUE, NM**

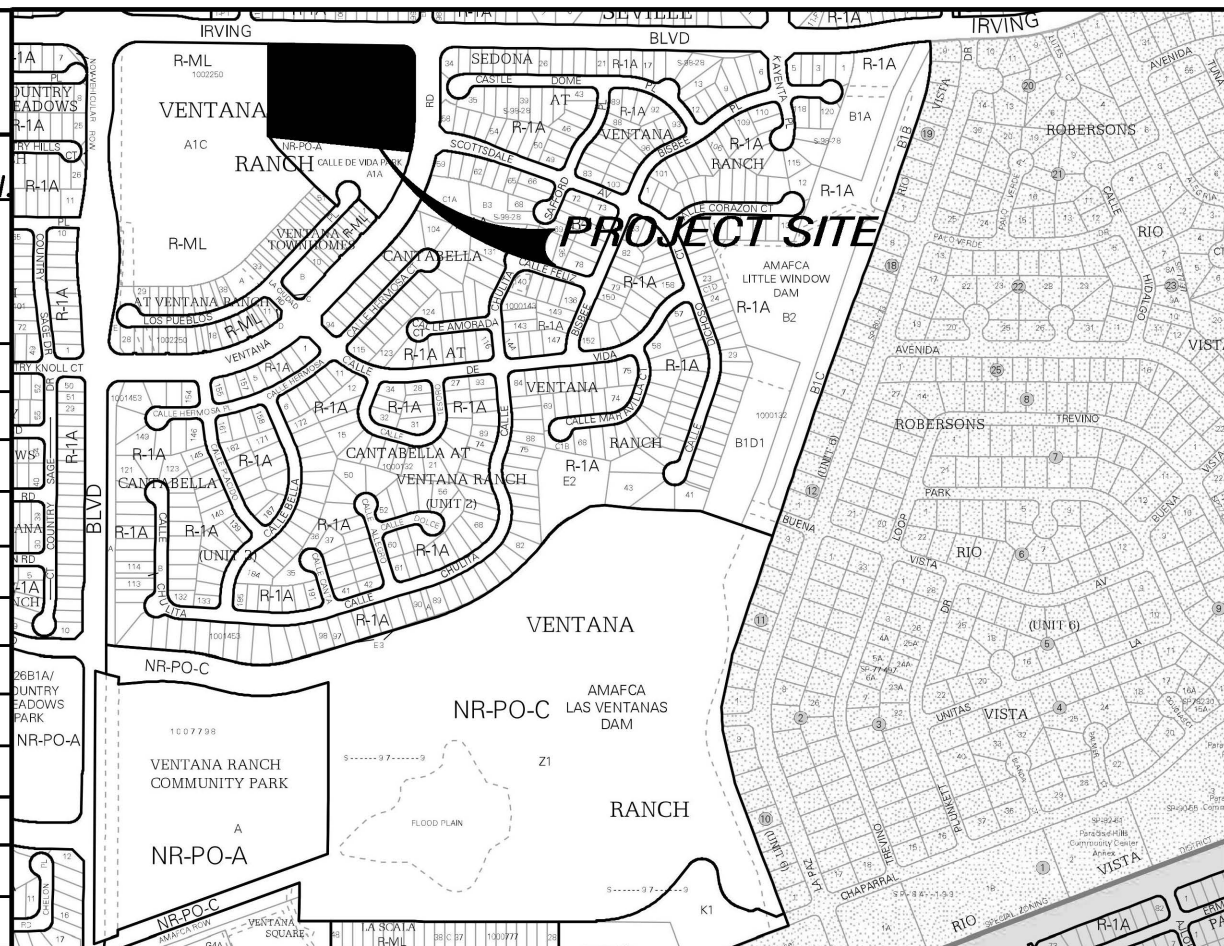
TRAFFIC CIRCULATION LAYOUT
PROJECT NAME:
SAMS ACADEMY

PROJECT NUMBER:
PROJECT PROGRESS:
PERMIT
DRAWN BY:
REH
CHECKED BY:
REH / REH
DATE:
SEPT. 16, 2021
SCALE:
1" = 30'
SHEET:

TCL



SITE DATA	
LOCATION	6441 VENTANA RD. N.W. ALBUQUERQUE, NM
LEGAL DESCRIPTION	TRACT A-2 A REPLAT OF TRACT A, VENTANA RANCH
CURRENT ZONING	R-MI
ZONE ATLAS PAGE	B-10
BUILDING CONSTRUCTION	2B
APPLICABLE CODE	2015 IBC / IFC
TOTAL LOT AREA	(5.00 AC) 217,800 SF
MAX. BUILDING HEIGHT ALLOWED	30 FEET
MAX. BUILDING HEIGHT	30 FEET
BUILDING FOOTPRINT AREA	36,800 SF
NET LOT AREA (LOT AREA - BUILDING AREA)	181,000 SF
NUMBER OF UNITS	1 BUILDING
LANDSCAPE AREA	71,253 SF
LANDSCAPE W/O TREES AND SHRUBS	60,248 SF
TOTAL LANDSCAPE AREA	109,747 SF
TOTAL LANDSCAPE % OF TOTAL LOT AREA	33%
PAVED AREA	10,534 SF
REQUIRED PARKING	25 + 3*6 + 2*6=55 SPACES 25 STAFF + 3 SPACES/H.S. CLASS + 2 SPACES/MID. CLASS
PARKING PROVIDED	114 STANDARD SPACES 5 COMPACT SPACES
REQUIRED ADA PARKING	5 SPACES (1 VAN)
PROVIDED ADA PARKING	5 SPACES (1 VAN)
REQUIRED MOTORCYCLE PARKING	3 SPACES
PROVIDED MOTORCYCLE PARKING	4 SPACES
REQUIRED BICYCLE PARKING	3 SPACES/CLASS 36 SPACES
PROVIDED BICYCLE PARKING	36 SPACES



- VICINITY MAP B-10-Z**
- GENERAL NOTES**
- A. CURB DIMENSIONS ARE TO FACE OF CURB U.N.O.
B. WORK WITHIN CITY ROW WILL REQUIRE CITY WORK ORDER
C. SITE LIGHTING - LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS
D. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT
- KEYED NOTES**
1. PROPERTY LINE
 2. RIGHT OF WAY
 3. EXISTING 6" ASPHALT TRAIL
 4. NEW CONCRETE CURB PER SP 2-SITE DETAILS
 5. DUMPSTER ENCLOSURE PER SP 2-SITE DETAILS
 6. NEW CURB RETURN DRIVEWAY ENTRANCE PER CABQ SPECIFICATIONS
 7. BICYCLE RACKS PER SP 2-SITE DETAILS
 8. 6" CONC. SIDEWALK WITH 1.5% (2% MAX) CROSS SLOPE PER SP2-SITE DETAILS
 9. ADA PARKING PER SP 2-SITE DETAILS
 10. HANDICAP RAMP W/TRUNCATED DOME SURFACE PER SP2-SITE DETAILS
 11. REFUSE ENCLOSURE PER SP-2 SITE DETAILS AND CABQ. REQUIREMENTS
 12. MOTORCYCLE PARKING SPACES 4'x8' WITH SIGN PER SP2-SITE DETAILS
 13. NEW FIRE HYDRANT PER CABQ FIRE DEPT.
 14. PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC. 505
 15. MONUMENT SIGN 4' OVERALL HEIGHT PER A2-SITE ELEVATIONS
 16. STANDARD PARKING SPACE (TYP.) PER TCL 1-TRAFFIC CIRCULATION LAYOUT
 17. COMPACT PARKING SPACE PER TCL 1-TRAFFIC CIRCULATION LAYOUT
 18. 16' ECOFORM POLE LIGHTING

PROJECT NUMBER:	PR-2021-005566
APPLICATION NUMBER:	SI-2021-01212
DRB SITE PLAN FOR BUILDING PERMIT IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRB PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<i>Jeanne Wolfenbarger</i> Jeanne Wolfenbarger (Dec 6, 2021 14:51 MST) TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Dec 6, 2021 DATE
<i>Blaine Carter</i> Blaine Carter (Dec 6, 2021 14:38 MST) ABCWUA	Dec 6, 2021 DATE
<i>Cheryl Lamerfeldt</i> Cheryl Lamerfeldt (Dec 6, 2021 12:52 MST) PARKS AND RECREATION DEPARTMENT	Dec 6, 2021 DATE
<i>Ernest Armijo</i>	Dec 6, 2021 DATE
CITY ENGINEER/HYDROLOGY <i>Robert Webb</i> Robert Webb (Dec 6, 2021 13:33 MST) CODE ENFORCEMENT	Dec 6, 2021 DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
Herman Gallegos <i>Herman Gallegos</i>	07-16-21 DATE
SOLID WASTE <i>SW</i>	Dec 6, 2021 DATE
DRB CHAIRPERSON, ALBUQUERQUE PLANNING	DATE
ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

THE group
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

DEVELOPMENT MANAGEMENT CONSULTANTS
PROFESSIONAL CONSTRUCTION MANAGERS & CONSULTING ENGINEERS

9320 Menaul Blvd. NE, ste. D
Albuquerque, NM 87112

DMC

Office: (505) 296-7100
Fax: (505) 296-7105

RON E. HENSLEY
NEW MEXICO
21850
Professional Engineer
10/27/21

PROJECT ADDRESS: **ALBUQUERQUE, NM**
CLIENT NAME:

DRAWING NAME: **SITE PLAN**
PROJECT NAME: **SAMS ACADEMY**

PROJECT NUMBER:

PROJECT PROGRESS: **PERMIT**

DRAWN BY: **REH**

CHECKED BY: **REH / REH**

DATE: **SEPT. 16, 21**

SCALE: **AS NOTED**

SHEET: **SP1**