

LOS DIAMANTES OFFSITE REGIONAL POND

CITY OF RIO RANCHO SANDOVAL COUNTY, NEW MEXICO CONSTRUCTION PLANS

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POND RATING TABLE

Elevation (ft)	Storage (ac-ft)	Discharge (cfs)	Comment
5490.00	0.0	0.0	
5490.58	0.0	0.0	First row invert
5491.00	0.1	5.0	
5491.15	0.1	7.3	First row top
5491.73	0.3	12.8	Second row invert
5492.00	0.4	14.7	
5492.31	0.6	22.7	Second row top
5492.89	1.0	30.2	Third row invert
5493.00	1.1	31.3	
5493.46	1.6	43.1	Third row top
5493.85	2.0	50.4	Slated top grate lowest EL (top of concrete)
5494.00	2.2	55.3	
5494.34	2.8	72.2	
5495.00	4.0	97.0	Top of Side face slopes for grate
5496.00	6.3	116.0	
5497.00	9.3	133.0	
5498.00	13.0	147.0	
5499.00	17.4	160.0	
5500.00	22.1	172.0	
5501.00	27.1	183.0	
5502.00	32.5	193.0	
5503.00	38.1	203.0	
5504.00	44.1	212.0	
5505.00	50.4	220.0	
5506.00	57.0	229.0	
5506.25	59.1	231.0	Emergency spillway EL
5507.00	64.0	605.0	
5508.00	71.3	1558.0	Top of pond

POND DATA

DESIGN STORM: 100-YR, 24-HOUR
INFLOW VOLUME: 145.6 AC-FT
OUTFLOW VOLUME: 145.3 AC-FT
OUTFLOW PEAK DISCHARGE: 211.3 CFS
DESIGN POND STORAGE VOLUME: 71.3 AC-FT
PEAK STORED VOLUME: 43.6 AC-FT
PEAK WATER SURFACE ELEVATION: 5503.90
POND INVERT ELEVATION: 5490.00
EMERGENCY SPILLWAY ELEVATION: 5506.25
TOP OF POND ELEVATION: 5508.00
FREEBOARD TO EMERGENCY SPILLWAY: 2.35 FT



VICINITY MAP

DEVELOPER: OWNER/ DEVELOPER

DATE:

CITY OF
RIO RANCHO: DEVELOPMENT SERVICES
ENGINEERING DIVISION

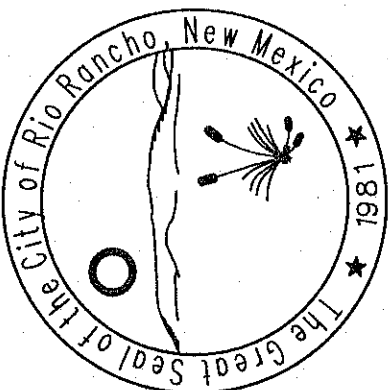
DATE:

SSCAFCA: EXECUTIVE ENGINEER

DATE:

AMAFCA: EXECUTIVE ENGINEER
APPROVED FOR CONSTRUCTION
WITHIN THE AMAFCA RIGHT-OF-WAY

DATE:



City of Rio Rancho

NO.	DESCRIPTION	DATE	BY
7			
6			
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2			
1			

REVISIONS (OR CHANGE NOTICES)

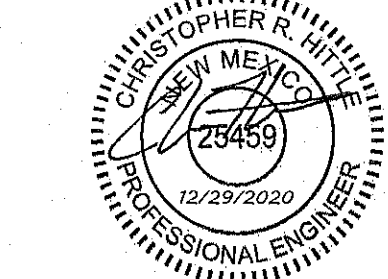
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 1000
RIO RANCHO, NEW MEXICO 87189
(505) 838-2200, FAX (505) 797-9539

LOS DIAMANTES
OFF SITE REGIONAL POND

COVER SHEET

ENGINEER'S SEAL



PROJECT NO. 10820

DESIGNED BY: CRH

DRAWN BY: KJJ

CHECKED BY: CRH

DATE: 12/28/20

DPW CHK:

SHEET:

1 of 30

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

GENERAL NOTES

- All construction shall be performed in accordance with 1) the project construction plans, 2) the project specifications, 3) the current edition of the City of Rio Rancho standard details, 4) the current edition of the NMDOT Standard Specifications for Highway and Bridge Construction, and 5) the New Mexico Standard Specifications for Public Works Construction and details, as prepared by the New Mexico Chapter, American Public Works Association and addendum. In the case of conflicting specifications, the City of Rio Rancho will determine which specification governs.
- The Contractor agrees to assume the sole and complete responsibility for the job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours, and the Contractor shall defend, indemnify and hold the City and Engineer harmless from any and all liability, real or alleged, in connection with the performance of the work on this project, except for liability arising from the sole negligence of the City or Engineer.
- No modifications to these plans shall be made without the written consent of the City, Engineer, and all approval signatories. The Engineer shall not be responsible for construction methods or techniques or for the prosecution of the work as shown on these plans. The Engineer shall not be held responsible for the acts or omissions of the Contractor, Subcontractors, or other persons performing any work, as shown in the project Contract Documents.
- A Right-of-Way Use Permit and Traffic Control Plan (TCP) are required for all work performed within the public Right-of-Way. Provisions contained within Chapter 96 of the City of Rio Rancho Municipal Code shall govern. All construction signing, barricading, and channelization devices shall conform to the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). The Contractor is responsible for the setup and maintenance of all traffic control devices. Any modifications to the approved traffic control plan must be approved by the City prior to any changes being implemented. A Traffic Control Supervisor must be available for the duration of the project 24 hours a day and seven days a week. Access to residents and businesses must be maintained at all times.
- The Contractor shall designate at least one emergency contact person, and shall provide telephone numbers where this person can be contacted at any time. This information shall be provided to the City's Project Manager.
- The Contractor is responsible for obtaining all necessary permits from all jurisdictional authorities before the start of construction.
- All work on this project shall be performed in accordance with applicable federal, state, and local laws, rules and regulations concerning construction safety, health, and environmental protection.
- Existing site improvements which are damaged or displaced by the Contractor shall be removed and replaced by the Contractor at the Contractor's own expense. The work shall be approved by the City before construction of the repairs. Repairs must be accepted by the City before final payment.
- The Contractor shall only utilize the designated staging areas for storage of all equipment and materials. The City assumes no responsibility or liability for the Contractor's equipment and material in the staging area. Security shall be the sole responsibility of the Contractor. If no staging area is designated on these plans, an offsite staging area shall be provided by the Contractor at the Contractor's expense, or the Contractor may negotiate with the City to use an onsite area.
- Unless otherwise noted, all roadway stationing is along the centerline of the roadway right-of-way.
- Unless otherwise noted, stationing of channels and/or pipes in drainage easements is along the centerline of the channel/pipe.
- The Contractor shall be responsible for determining, in advance of their construction operations, if overhead utility lines, support structures, poles, guys, etc., are an obstruction to construction operations. If any obstruction is evident, the Contractor shall be responsible for coordinating with the appropriate utility owner to remove or support the utility obstruction. All costs for these requirements are incidental to the Contract.
- Facilities which are not specifically located with actual vertical and horizontal controls on the construction documents, are shown approximate and in accordance with the best available information provided by various owners of the facilities, and supplemented by visual surface information where appropriate. Accuracy, location, and completeness of this information is the sole responsibility of the Contractor and should be verified, by any means necessary, before the initiation of construction. Should a conflict exist, the Contractor shall notify the City, Engineer, and the City's Project Manager immediately.
- It is mandatory that a preconstruction meeting be held before commencing construction. The Contractor is responsible for contacting the City's Project Manager to determine the time and location of the preconstruction meeting.
- At the preconstruction meeting, the Contractor shall submit a detailed construction schedule to the City's Project Manager. The schedule will be updated on a monthly basis and submitted with the monthly invoice.
- Any work performed without the approval of the City of Rio Rancho and/or all work and materials not in conformance with the specifications is subject to removal and replacement at the Contractor's expense.
- The Contractor shall contact NM 811 at 1-800-321-2537 for utility spots in accordance with applicable state law.
- The Contractor shall confine their work to within the construction limits and/or public right-of-way to preserve existing vegetation, landscaping, and private property. Approval of these plans does not give or imply any permission to trespass or work on private property. Permission must be granted in writing by the Owner of that property.
- It is the sole responsibility of the Contractor to keep the job site free from trash on a daily basis, and all materials will be neatly organized. Trash and/or non-used materials shall not be buried onsite.
- The Contractor shall park equipment and vehicles so as not to interfere with normal activities of residents, other Contractors, or Emergency Services.
- The Contractor will provide construction staking utilizing approved construction plans, the appropriate Right-of-Way maps, recorded plats, and City of Rio Rancho standard details. Each revision to the plans shall be recorded in the plan revision block. Plans shall include a location map with legal description(s) and location grid.
- The Contractor shall maintain an up-to-date and accurate set of Working Record Drawings, redlined drawings, in accordance with the City of Rio Rancho's Development Process Manual (DPM) Chapter II.7. These Working Record Drawings shall reflect all approved changes to the original plans throughout the construction process. At the completion of construction, the Contractor shall submit the Working Record Drawings as outlined in the City of Rio Rancho's DPM Chapter II.7. Also, the Contractor shall ensure that all submittals, permitting, and construction activities are in accordance with the City of Rio Rancho's DPM and applicable ordinances. All costs for these requirements are incidental to the Contract.
- No work shall be performed in a floodplain without written authorization from the City's Floodplain Manager.
- Any work performed in a drainage way, channel, arroyo, or floodplain must be protected by the means identified in the Temporary Erosion Control and Sediment plans accepted by the City.
- Vibration monitoring will be at the Contractor's discretion and incidental to the Contract.

AMAFCA GENERAL NOTES

- AMAFCA field engineer shall be notified 48 hours prior to any work within the AMAFCA R/W. Telephone (505)884-2215.
- No work shall be performed in the AMAFCA R/W between May 15 and October 15 without written permission from AMAFCA.
- All sub-grade, backfill, and embankment shall be compacted to 95% (+/- 2% of optimum moisture per ASTM D-1557) within the AMAFCA R/W. Testing reports shall be provided to AMAFCA field engineer.
- AMAFCA field engineer shall be notified 48 hours prior to final inspection of any facilities within the AMAFCA R/W.
- All disturbed ground areas shall be revegetated in accordance with City of Albuquerque standard specifications for public works construction, section 1012 Native Grass Seeding, as currently updated.
- Any monuments disturbed or destroyed shall be replaced by a NM licensed surveyor at the contractor's expense. AMAFCA shall be notified 48 hours prior to any monument placement.
- The maximum wheel load allowed in AMAFCA channel is 12,000 pounds.
- No tracked vehicles are allowed in AMAFCA channels regardless of location without written permission from AMAFCA.
- Cranes operating in AMAFCA channels with outriggers shall limit the outrigger footprint load area to less than 12,000 pounds.

SOILS

- Unless otherwise specified subgrade soils and structural fill materials shall be compacted to the following percentages of the ASTM D-1557 maximum density.

MATERIALS	PERCENT (%)
STRUCTURAL FILL IN THE BUILDING AREA	COMPACTION
SUB BASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL	
FILL OR ROAD	95
MISCELLANEOUS BACKFILL BELOW UNPAVED,	
NON-BUILDING AREAS	90
ROAD SUB GRADE	95
SIDEWALK SUB GRADE	95
CURB AND GUTTER SUBGRADE	95
ARROYOS	90

ROADWAY GENERAL NOTES

- No paving construction activities shall be started until all underground utilities within the roadway are completed, tested, and approved. All water valve boxes and electrical, telephone, television, and sewer manholes in the construction area shall be adjusted to finished grade.
- All signs, barricades, channelization devices, pavement markings, sign frames and erection of such devices shall conform to the requirements of the "Manual on Uniform Traffic Control Devices for streets and highways" (MUTCD), current edition.
- All street striping altered or destroyed during construction shall be replaced by the Contractor to match the original conditions (i.e. type, spacing) at the location prior to construction, or as shown in this plan set.
- Street grades shall be restored by the Contractor to the existing grades unless otherwise directed by the City of Rio Rancho. Smooth transitions shall be made between existing pavement which remains in place and pavement which is replaced. When abutting new pavement to existing, saw cut back existing pavement to a neat, straight line as required to remove any broken or cracked pavement. Refer to standard drawing PS-02.
- The location of all valves and manholes must be referenced at all times by the Contractor during construction and made accessible daily upon completion of all paving activities.

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

- The Contractor shall be responsible for fulfilling all necessary National Pollutant Discharge Elimination System (NPDES) requirements including, but not limited to, obtaining an NPDES permit before construction, filing out the Notice of Intent (NOI) application, and filing out the Notice of Termination (NOT) application. The Contractor shall also be responsible for the implementation of and inspection reports for the Storm Water Pollution Prevention Plan (SWPPP). The Contractor shall submit the SWPPP with the proposed construction staging area and temporary sanitary facilities clearly shown. Any check dams, silt fences, or other Best Management Practices (BMP) that are required in the approved SWPPP shall be included in and are incidental to the SWPPP bid amount.
- The Contractor is required to keep a current copy of the SWPPP at the construction site or at an easily accessible location so that it can be made available at the time of an onsite inspection or upon request by the EPA, a state, tribal, or local agency approving storm water management plans; the operator of a storm sewer system receiving discharges from the site; or representatives of the U.S. Fish and Wildlife Service (USFWS) or the National Marine Fisheries Service (NMFS).
- The Contractor shall conform to all City, County, State and Federal dust and erosion control regulations. The Contractor shall prepare and obtain any necessary dust or erosion control permits from the regulatory agencies.
- The Contractor shall either promptly remove any material excavated within the public Right-of-Way or install BMPs according to NPDES requirements to prevent discharge of excavated material within the public Right-of-Way during a rain or wind event. All costs for these requirements are incidental to the Contract.
- The Contractor shall implement the approved SWPPP and ensure that no soil erodes from the site into public Right-of-Way or onto private property.
- The Contractor shall mitigate erosion of temporary or permanent dirt swales by installing BMPs identified in the approved SWPPP in the swales perpendicular to the direction of flow, and at intervals as specified in the SWPPP.
- Construction areas shall be watered for dust control in compliance with government ordinances. The Contractor shall be responsible for locating and supplying water as required. Watering, as required for construction and dust control, shall be considered incidental to construction and no measurement or payment shall be made therefore.
- Any areas disturbed by construction and not covered by landscaping or an impervious surface shall be re-vegetated with native grass seeding. When construction activities cease and earth disturbing activities will not resume within 14 days, stabilization measures must be initiated. Unless indicated otherwise on these plans or on the landscaping plan, native grass seeding shall be in accordance with Section 1012 of the New Mexico Standard Specifications for Public Works Construction, APWA NM Chapter, current edition.
- All waste products from the construction site, including items designated for removal, construction waste, construction equipment waste products (oil, gas, tires, etc.) garbage, grubbing, excess cut material, vegetative debris, etc. shall be appropriately disposed of offsite at no additional cost to the City. It shall be the Contractor's responsibility to obtain permits required to haul or dispose of waste products. It shall be the Contractor's responsibility to ensure that the waste disposal site complies with government regulations regarding the environment, endangered species, and archaeological resources.
- The Contractor shall be responsible for the cleanup and reporting of spills of hazardous materials associated with the construction site. Hazardous materials include gasoline, diesel fuel, motor oil, solvents, chemicals, paints, etc. which may be a threat to the environment. The Contractor shall report the discovery of past or present spills to the New Mexico Environment Department Emergency Response Team at (505) 827-9329.
- The Contractor shall comply with all applicable regulations concerning surface and underground water. Contact with surface water by construction equipment and personnel shall be minimized. Equipment maintenance and refueling operations shall be performed in an environmentally safe manner in compliance with government regulations.
- Where storm inlets are susceptible to inflow of silt or debris from construction activities, protection shall be provided on their upstream side using BMPs according to NPDES requirements. All costs for these requirements are incidental to the Contract.
- Storm Water Pollution Prevention Plans (SWPPP) and accompanying Federal EPA Administrative Procedures shall meet the City of Rio Rancho guidelines and procedures outlined in the current addition of the New Mexico State Highway and Transportation Department Storm Water Management Guidelines for Construction and Industrial Activities Manual.
- The Contractor shall provide adequate means for cleaning trucks and/or other equipment of mud before entering public streets. It is the Contractor's responsibility to clean streets and take whatever measures are necessary to ensure that all roads are maintained in a clean, mud and dust-free condition at all times.
- No work may begin in a an arroyo or other drainage way until authorization has been provided by the U.S. Army Corp. of Engineers and the City of Rio Rancho Flood Plain Manager.

CAUTION:

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City of Rio Rancho

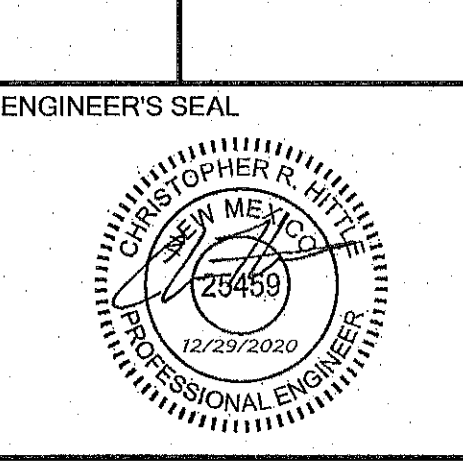
7	6	5	4	3	2	1	NO.	DESCRIPTION	DATE	BY

OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ENGINEERS
ALBUQUERQUE, NEW MEXICO 87189
(505)828-2200, FAX (505)797-9559

LOS DIAMANTES
OFF SITE REGIONAL POND

STANDARD NOTES



PROJECT NO.	10820
DESIGNED BY:	CRH
DRAWN BY:	KJJ
CHECKED BY:	CRH
DATE:	12/28/20
DPW CHK:	
SHEET:	
	2 of 30

	ANALYSIS POINT
@	AT
BC	BEGIN CURVE
BCR	BEGIN CURB RETURN
BK	BOOK
BLDG	BUILDING
BM	BENCH MARK
BOP	BEGINNING OF PROJECT
BVC	BEGIN VERTICAL CURVE
BW	BASE OF WALL
CATV	CABLE TV LINE
CB	CATCH BASIN
CF	CURB FACE
CG	CURB AND GUTTER
CL	CHAIN LINK
C	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
CORR	CITY OF RIO RANCHO
CY	CUBIC YARDS
DUE	DRAINAGE UTILITY EASEMENT
DI	DROP INLET
DIA	DIAMETER
Δ	DELTA
EA	EACH
EC	END CURVE
ECR	END CURB RETURN
ELEV	ELEVATION
EOP	END OF PROJECT
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EVC	END VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FI	FIRE HYDRANT
FL	FLOW LINE
FOC	FACE OF CURB
FP	FINISHED PAD
G	GAS
GM	GAS METER
SV	GATE VALVE
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
INT	INTERSECTION
INV	INVERT
INV EL	INVERT ELEVATION
F	LINEAR FEET
L	LIGHT POLE
T	LEFT
HM	MANHOLE
NG	NATURAL GROUND
OC	ON CENTER
HE	OVERHEAD ELECTRIC LINE
B	PULL BOX
C	POINT OF CURVATURE
CC	POINT OF COMPOUND CURVATURE
G	PAGE
GL	PROFILE GRADE LINE PER TYPICAL SECTION
I	POINT OF INTERSECTION
	PROPERTY LINE
RC	POINT OF REVERSE CURVATURE
T	POINT OF TANGENCY
UE	PUBLIC UTILITY EASEMENT
VVC	POLYVINYL CHLORIDE PIPE
VMT	PAVEMENT
EA	RECIPROCAL EASEMENT AGREEMENT
AD	RADIUS
CP	REINFORCED CONCRETE PIPE
D	ROOF DRAIN
REF	REFERENCE
T	RIGHT
/W, ROW	RIGHT-OF-WAY
	SLOPE
SAS	SANITARY SEWER LINE
O	STORM DRAIN
S	SQUARE FEET
STA	STATION
STD	STANDARD
W	SIDEWALK
Y	SQUARE YARDS
	TANGENT
A	TOP OF ASPHALT
NAC	TOP OF ASPHALT CURB
OC	TOP BACK OF CURB
C	TOP OF CONCRETE
L	TELEPHONE LINE, RISER OR BOX
	TOP OF PIPE
TRANS	TRANSVERSE
/	TOP OF WALL
P	TYPICAL
C	UNDERGROUND ELECTRICAL LINE
C	UNDERGROUND TELEPHONE LINE
	VERTICAL CURVE
RT	VERTICAL
I	VERTICAL POINT OF INTERSECTION
W	WATERLINE
M	WATER METER
EL	WATER SURFACE ELEVATION
/V	WATER VALVE

	EXISTING GUARDRAIL
	EXISTING CURB AND GUTTER
	EXISTING TOP CURB/FLOWLINE
	EXISTING CONCRETE/SIDEWALK
	EXISTING WALL OR HEAD WALL
	EXISTING CHAIN LINK/WROUGHT/IRON FENCE
	EXISTING TOP WALL/BOTTOM WALL
	EXISTING CONTOUR-MAJOR
	EXISTING CONTOUR-MINOR
	EXISTING SPOT ELEV
	EXISTING SANITARY SEWER MANHOLE
	EXISTING CLEANOUT
	EXISTING STORM DRAIN MANHOLE
	EXISTING CATCH BASIN/DROP INLET
	EXISTING WATER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING IRRIGATION MANHOLE
	EXISTING SPRINKLER CONTROL VALVE
	EXISTING MONITOR WELL
	EXISTING WATER SPIGOT
	EXISTING GAS VALVE
	EXISTING GAS MARKER-UG
	EXISTING GAS METER
	EXISTING ELECTRIC TRANSFORMER
	EXISTING ELECTRIC PEDESTAL
	EXISTING POWER POLE-METAL/CONCRETE BASE
	EXISTING POWER POLE-WOOD
	EXISTING POLE ANCHOR
	EXISTING OVERHEAD ELECTRIC
	EXISTING ELECTRIC PULLBOX
	EXISTING ELECTRIC MANHOLE
	EXISTING TELEPHONE/FIBER OPTIC MANHOLE
	EXISTING TELEPHONE/FIBER OPTIC PEDESTAL
	EXISTING TELEPHONE/FIBER OPTIC MARKER-UG
	EXISTING CABLE TV PEDESTAL
	EXISTING STREET LIGHT
	EXISTING STREET LIGHT PULL BOX
	EXISTING TRAFFIC SIGNAL PULLBOX/CABINET
	EXISTING TRAFFIC SIGNAL
	EXISTING SIGN
	EXISTING BOLLARD
	EXISTING TREE
	EXISTING MAILBOX
	EXISTING PAVEMENT

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City of Rio Rancho

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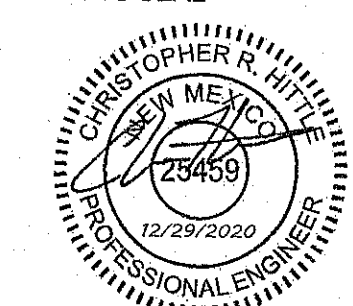
OWNER/DEVELOPER
D DEVELOPMENT, LLC

dmg
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2700 FAX (505) 797-0630

LOS DIAMANTES
OFF SITE REGIONAL POND

LEGEND

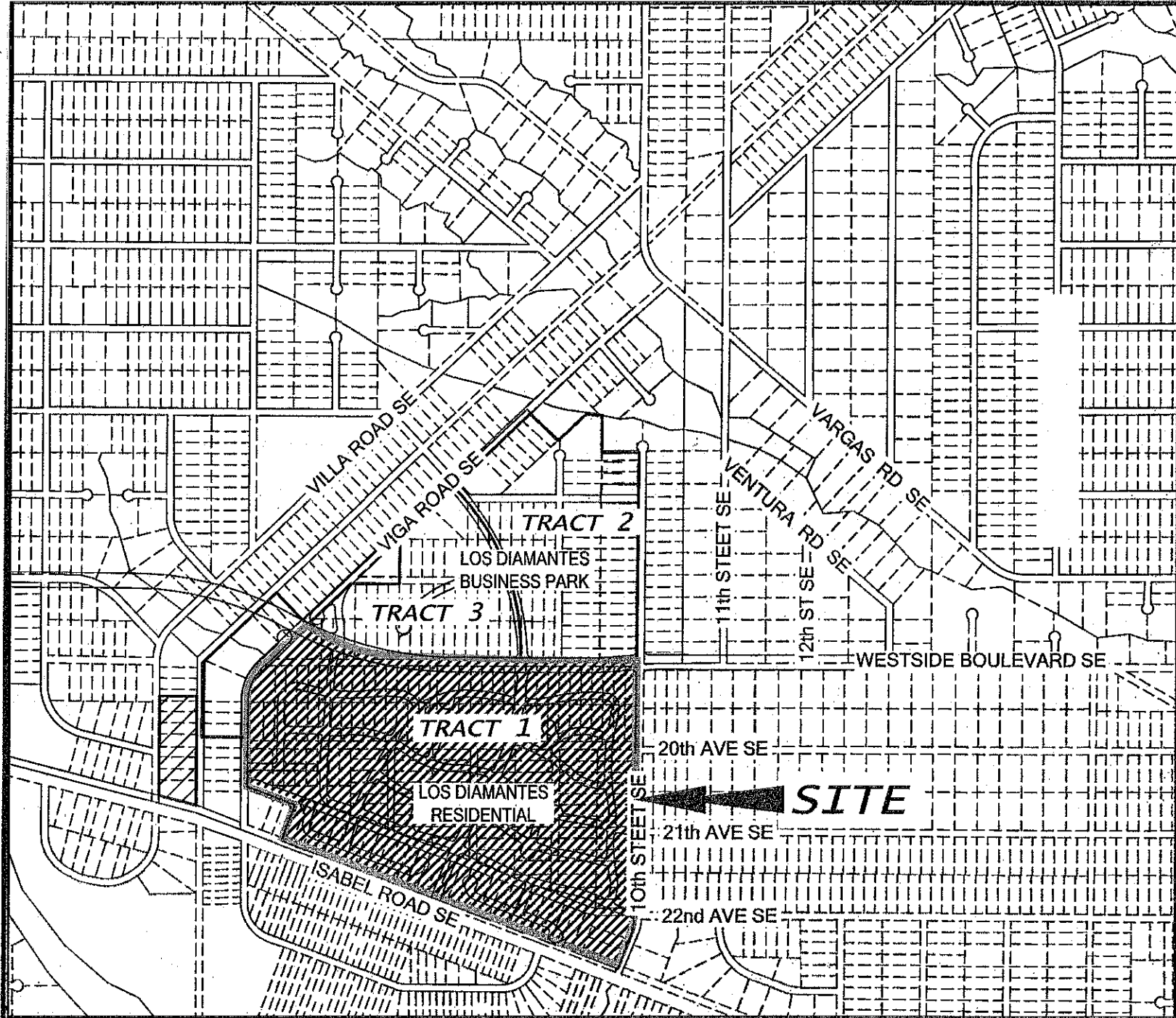
ENGINEER'S SEAL



PROJECT NO.	10820
DESIGNED BY:	CRH
DRAWN BY:	KJJ
CHECKED BY:	CRH
DATE:	12/28/20

SHEET:

3 of 30



LOCATION MAP

SCALE: NTS

SUBDIVISION DATA

GROSS ACREAGE:..... 117.5705 AC.
NO. OF EXISTING LOTS/TRACTS:..... 1 TRACT
NO. OF LOTS/TRACTS ELIMINATED: 0 LOTS / 1 TRACT
NO. OF LOTS/TRACTS CREATED:..... 488 LOTS / 38 TRACTS
PUBLIC RIGHT OF WAY CREATED:..... 29.1185 AC.
DATE OF SURVEY: MAY, 2015

FREE CONSENT AND DEDICATION

TRACT 1, LOS DIAMANTES SUBDIVISION LOCATED WITHIN UNIT 10, RIO RANCHO ESTATES, CITY OF RIO RANCHO, SANDOVAL COUNTY, NEW MEXICO, WITHIN THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S), SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER, WATER, SEWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS AND OWNERS(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

LD DEVELOPMENT LLC

PIERRE AMESTOY, MANAGING MEMBER

10-24-19
DATE

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
SS
COUNTY OF BERNALILLO

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 24, 2019
BY PIERRE AMESTOY, MANAGING MEMBER FOR LD DEVELOPMENT LLC, A NEW MEXICO
LIMITED LIABILITY COMPANY.

MY COMMISSION EXPIRES: 8-19-2023

NOTARY PUBLIC

LEGAL DESCRIPTION

A TRACT OF LAND WITHIN THE TOWN OF ALAMEDA GRANT, CITY OF RIO RANCHO, SANDOVAL COUNTY, NEW MEXICO BEING ALL OF TRACT 1, LOS DIAMANTES SUBDIVISION, RIO RANCHO ESTATES, UNIT 10, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANDOVAL COUNTY, NEW MEXICO ON 09/27/2019 IN RIO RANCHO ESTATES PLAT BOOK 3, PAGE 4441, AND CONTAINING 117.5705 ACRES MORE OR LESS.

PURPOSE OF PLAT

1. TO GRANT EASEMENTS AS NECESSARY.
2. TO ELIMINATE EXISTING PROPERTY LINES AS SHOWN HEREON.
3. TO COMBINE LOTS AND VACATED RIGHT-OF-WAY INTO FOUR TRACTS

SUBDIVISION NOTES

1. FIELD SURVEY PERFORMED IN MAY 2015.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. ALL BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
4. BASIS OF BOUNDARY IS THE FOLLOWING PLAT OF RECORD:

"NORTHERLY PORTION, SOUTHWESTERLY PORTION, UNIT TEN RIO RANCHO ESTATES"
(05-13-1968, RRE PLAT BOOK 1, PAGE 74)

5. DEDICATION OF PUBLIC RIGHT-OF-WAY INCLUDES THE USE OF THE ROADWAYS AND RIGHTS-OF-WAY FOR ALL USES TYPICALLY ASSOCIATED WITH THE USE OF A RIGHT-OF-WAY AND PURPOSES APPURTENANT THERETO, INCLUDING, BUT NOT LIMITED TO, THE PASSAGE AND ACCOMMODATION OF VEHICULAR AND PEDESTRIAN TRAFFIC, AND THE CONSTRUCTION, OPERATION, USE, MAINTENANCE, INSPECTION, REPAIR, ALTERATION, AND REPLACEMENT OF A PAVED ROAD WITHIN THE BOUNDARIES OF THE RIGHT-OF-WAY AREA, AND FOR ALL OTHER PURPOSES FOR WHICH A PUBLIC STREET AND RIGHT-OF-WAY IS COMMONLY USED, INCLUDING BUT NOT LIMITED TO INSTALLING, REPAIRING, MAINTAINING, ALTERING, REPLACING, RELOCATING AND OPERATING PUBLIC AND PRIVATE UTILITIES IN, INTO, UPON, OVER, ACROSS, AND UNDER ANY SUCH RIGHT-OF-WAY.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
2. NEW MEXICO GAS COMPANY (NMGC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST COMMUNICATIONS D/B/A CENTURY LINK (QWEST) FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND ENCLOSURES.
4. CABLE ONE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICES.
5. CITY OF RIO RANCHO UTILITIES (WATER AND SANITARY SEWER) FOR INSTALLATION, MAINTENANCE AND SERVICES OF LINES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT-OF-WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT-OF-WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
IN APPROVING THIS PLAT, PNM, NMGC, QWEST AND CABLE ONE DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMGC, QWEST AND CABLE ONE DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

COUNTY CLERKS RECORDING INFORMATION

This instrument was filed for record on the _____th day of _____, 2019
in Bernalillo, Sandoval County, New Mexico, and was recorded in Volume _____, Folio _____,
records of said County.

(Rio Rancho Estates Plat Book _____, Page _____)

Eileen Garbagni, County Clerk and Recorder

By: _____
Deputy

CITY CLERKS CERTIFICATE

I, Stephen Ruger, City Clerk of the City of Rio Rancho, New Mexico do hereby certify that the plat shown hereon was approved administratively by the Rio Rancho Development Services Department Director on the _____ day of _____, 2019.

Stephen Ruger, City Clerk, City of Rio Rancho Date

TREASURER'S CERTIFICATE

I, Laura M. Montoya, Treasurer of Sandoval County, New Mexico do hereby certify that the previous ten (10) years property taxes have been paid in full.

Laura M. Montoya, Sandoval County Treasurer Date

DSD CASE NO. _____

RIO RANCHO PLANNING AND ZONING BOARD

Approved on the _____ day of _____, 2019.

Paul Wymer, Chairman Date

**PRELIMINARY PLAT
OF
TRACT 1
LOS DIAMANTES SUBDIVISION
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTIONS 33 & 34
TOWNSHIP 12 NORTH, RANGE 2 EAST, NMPM
CITY OF RIO RANCHO
SANDOVAL COUNTY, NEW MEXICO
OCTOBER 2019**

UTILITY APPROVALS:

City of Rio Rancho Date

New Mexico Gas Company Date

Qwest Corporation d/b/a CenturyLink QC Date

Public Service Company of New Mexico Date

Cable One Date

MAYOR CITY OF RIO RANCHO

Greggory D. Hull, Mayor Date

JURISDICTIONAL AFFIDAVIT

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby affirm that the property described hereon does lie within the platting and extra-territorial jurisdiction of the City of Rio Rancho, New Mexico.

Timothy Aldrich, P.S. No. 7719 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the Minimum Standards for Land Surveying in the State of New Mexico and the City of Rio Rancho Subdivision Ordinance and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, P.S. No. 7719 Date

**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dsgined: DMG	Drawn: BMN	Checked: ALS	Sheet 1 of 11
Scale: as shown	Date: 10/24/19	Job: A18026	

PRELIMINARY PLAT
OF
TRACT 1
LOS DIAMANTES SUBDIVISION
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTIONS 33 & 34
TOWNSHIP 12 NORTH, RANGE 2 EAST, NMPM
CITY OF RIO RANCHO
SANDOVAL COUNTY, NEW MEXICO
OCTOBER, 2019

EXISTING EASEMENTS

- EXISTING 10' P.U.E.
(9/27/2019, RRE PLAT BK 3, PG 4441)
- EXISTING 86' PUBLIC ACCESS, WATER, SANITARY SEWER
EASEMENT
(9/27/2019, RRE PLAT BK 3, PG 4441)
- EXISTING 106' PUBLIC ACCESS, WATER, SANITARY SEWER
EASEMENT
(9/27/2019, RRE PLAT BK 3, PG 4441)
- EXISTING R50' TEMPORARY TURNAROUND EASEMENT
(9/27/2019, RRE PLAT BK 3, PG 4441)

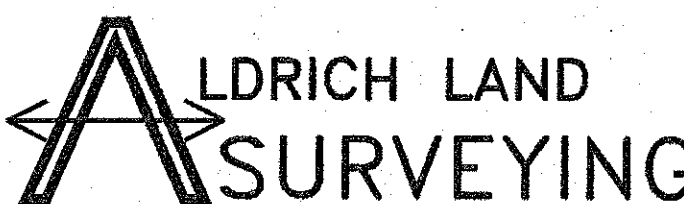
ABBREVIATIONS

10' P.U.E. = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS
PLAT
ROW = RIGHT-OF-WAY
A.B.C.W.U.A. = ALBUQUERQUE BERNALILLO COUNTY WATER
UTILITY AUTHORITY
H.O.A. = HOME OWNERS ASSOCIATION

NOTES

- TRACTS 1, 2, 3, 4 LOS DIAMANTES SUBDIVISION OWNED BY LD
DEVELOPMENT, LLC.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS
(CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- ROTATE BEARINGS 00°17'12" COUNTER-CLOCKWISE FOR
RECORD BEARINGS.
- DISTANCES ARE RECORD.
- BASIS OF BOUNDARY IS THE FOLLOWING PLAT OF RECORD
ENTITLED:

"NORTHERLY PORTION, SOUTHWESTERLY PORTION,
UNIT TEN, RIO RANCHO ESTATES"
(05-13-1968, RRE PLAT BOOK 1, PAGE 74)
RECORDS OF SANDOVAL COUNTY, NEW MEXICO.



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Designed: DMG Drawn: SPS Checked: ALS
Scale: as shown Date: 10/23/2019 Job: A13051 Sheet 2 of 11

Parcel Line Table		
Line #	Direction	Length
L1	S43°18'36"E	272.25
L2	N46°41'24"E	286.57
L3	S81°53'59"E	106.07
L4	S00°16'01"W	245.48
L5	S89°45'24"E	272.46
L6	S00°17'59"W	345.13
L7	S00°17'46"W	594.61
L8	S20°40'14"W	263.28
L9	N20°40'14"E	322.61
L10	N69°21'02"W	386.40
L11	N00°17'31"E	305.08

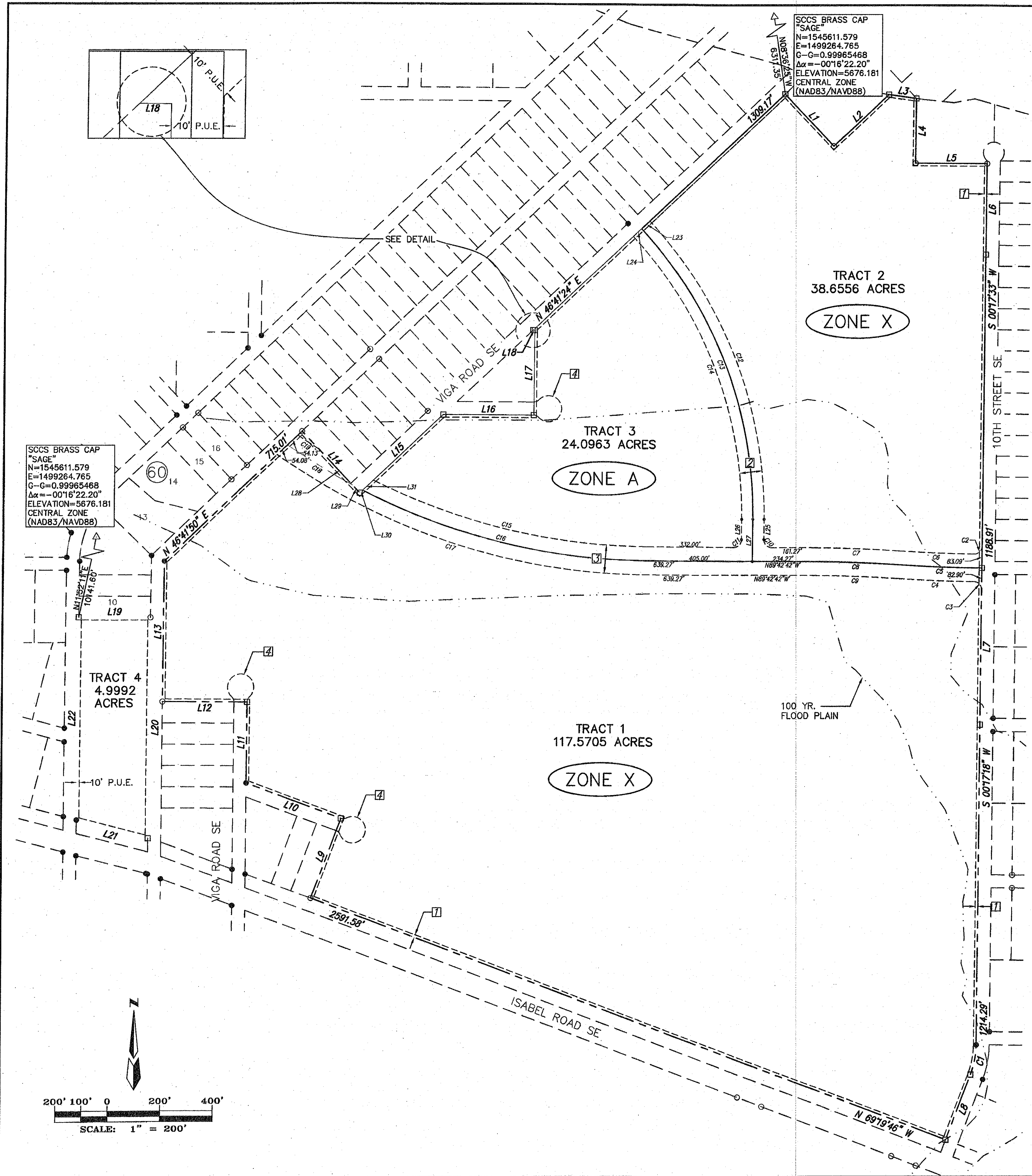
Parcel Line Table		
Line #	Direction	Length
L12	N89°42'33"W	322.34
L13	N00°17'47"E	533.73
L14	S43°16'50"E	322.30
L15	N46°41'24"E	433.83
L16	S89°45'13"E	344.83
L17	N00°15'41"E	322.16
L18	N89°45'20"W	6.10
L19	S89°42'00"E	272.32
L20	S00°17'47"W	834.33
L21	N75°23'23"W	281.10
L22	N00°18'00"E	764.85

Parcel Curve Table				
Curve #	Radius	Length	Delta	Chord Direction
C1	325.00'	115.61'	20°22'51"	S10°28'49"W
- FOUND 3/8" REBAR				

- - FOUND 3/8" REBAR
● - FOUND 3/4" PIPE
□ - SET 1/2" REBAR WITH CAP "LS 7719"

Easement Line Table			Easement Line Table		
Line #	Direction	Length	Line #	Direction	Length
L23	N46°41'24"E	17.99'	L28	N43°16'50"W	187.95'
L24	N46°41'24"E	24.99'	L29	N43°16'50"W	42.03'
L25	S00°17'18"W	76.74'	L30	N46°41'24"E	14.53'
L26	S00°17'18"W	76.74'	L31	S46°41'24"W	56.33'
L27	N00°17'18"E	159.74'			

Easement Curve Table						
Curve #	Radius	Length	Delta	Tangent	Chord Direction	Chord Length
C2	30.00'	47.31'	090°21'08"	30.18'	S45°28'05"W	42.56'
C3	30.00'	46.95'	089°39'48"	29.82'	S44°32'08"E	42.30'
C4	9053.00'	293.89'	003°19'57"	148.99'	N87°42'04"W	293.89'
C5	4996.50'	320.32'	003°40'23"	160.21'	N87°52'13"W	320.28'
C6	4947.00'	286.74'	003°19'15"	143.41'	N87°41'44"W	286.70'
C7	9053.00'	324.25'	003°40'36"	162.18'	N87°52'24"W	324.19'
C8	9000.00'	320.85'	003°40'36"	160.46'	N87°52'24"W	320.79'
C9	4947.00'	317.45'	003°40'36"	158.78'	N87°52'24"W	317.39'
C10	30.00'	47.12'	090°00'00"	30.00'	S44°42'42"E	42.43'
C11	30.00'	47.12'	090°00'00"	30.00'	S45°17'18"W	42.43'
C12	1643.00'	1244.39'	043°23'43"	653.75'	S21°24'33"E	1214.86'
C13	1600.00'	1211.67'	043°23'23"	636.55'	N21°24'24"W	1182.93'
C14	1557.00'	1178.85'	043°23'03"	619.36'	S21°24'13"E	1150.99'
C15	2347.00'	1079.99'	026°21'54"	548.73'	N76°31'45"W	1070.48'
C16	2400.00'	1123.68'	026°49'33"	572.33'	N76°17'55"W	1113.44'
C17	2453.00'	1501.82'	035°04'27"	775.17'	S72°10'29"E	1478.29'
C18	2400.00'	290.41'	008°55'59"	145.38'	S58°21'28"E	290.23'
C19	2347.00'	94.78'	002°18'48"	47.38'	S56°18'48"E	94.75'



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EASEMENT 9/27/2019, RRE PLAT BK 3, PG 4441)
- 5 EXISTING 25' GASLINE EASEMENT (/ /)
RRE PLAT BK PG

NEW EASEMENTS

- A NEW 25' PUBLIC SANITARY SEWER EASEMENT,
FOR THE BENEFIT OF ALL LOTS WITHIN THE LOS
DIAMANTES SUBDIVISION AND TO BE OWNED &
MAINTAINED BY THE LOS DIAMANTES H.O.A.,
GRANTED BY THIS PLAT.
- B NEW BLANKET DRAINAGE EASEMENT ON AND
ACROSS ALL OF TRACT J, FOR THE BENEFIT OF
ALL LOTS, AND TO BE OWNED AND MAINTAINED
BY THE LOS DIAMANTES H.O.A., GRANTED BY
THIS PLAT.

ABBREVIATIONS

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A.B.C.W.U.A. = ALBUQUERQUE BERNALILLO COUNTY WATER
UTILITY AUTHORITY
H.O.A. = HOME OWNERS ASSOCIATION

LEGEND

- 21 LOT NUMBER
3-P1 EXISTING LOT NUMBER
BLOCK 6 BLOCK NUMBER
▲ C.O.R.R. CENTERLINE MONUMENT
△ EXIST. C.O.R.R. CENTERLINE MONUMENT
• REFERS TO END OF TANGENT OR CURVE
ON RIGHT-OF-WAY BLOCK CORNERS
(does not constitute any set corners)

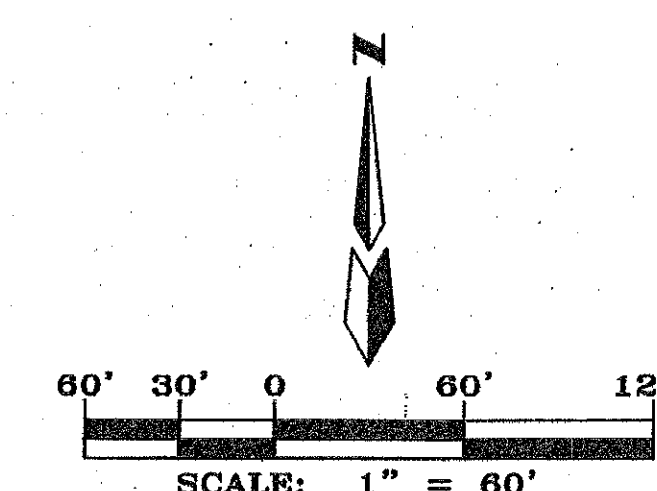
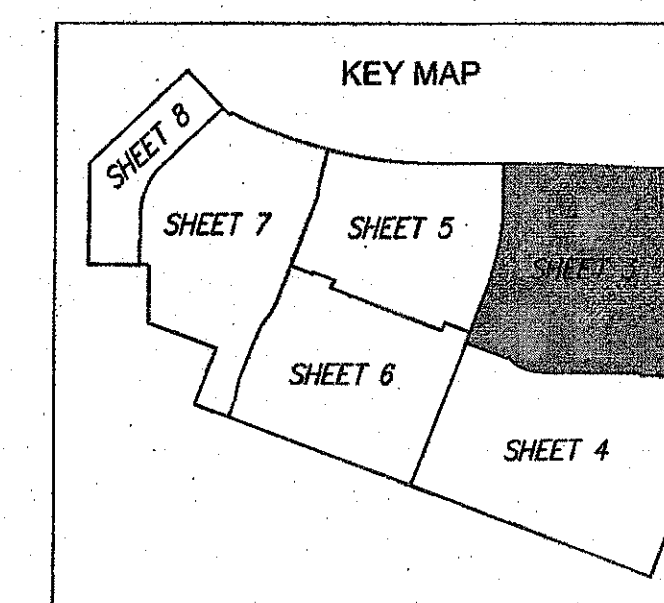
CORNERS

- SET 1/2" REBAR WITH CAP "ALS LS 7719"
● SET PK NAIL WITH TAG "ALS LS 7719"

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET
INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF RIO RANCHO",
"CENTERLINE MONUMENT", "DO NOT DISTURB", "P.S. No. 7719".

ALL STREETS AND ROADS SHOWN
HEREON ARE HEREBY DEDICATED IN
FEE SIMPLE WITH WARRANTY
COVENANTS AS PUBLIC RIGHT-OF-WAY



**ALDRICH LAND
SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Designed: DMG	Drawn: DER	Checked: ALS	Sheet 3 of 11
Scale: as shown	Date: 10/23/2019	Job: A18026	



SEE SHEET 4 OF 11

*SEE SHEETS 9 - 11 FOR LOT AREAS AND CURVE TABLES

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BK __ PG __

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LEGEND

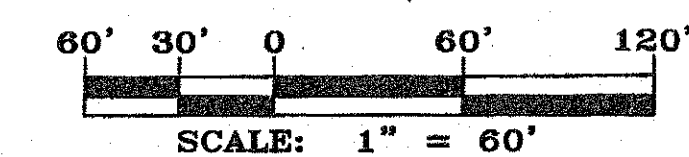
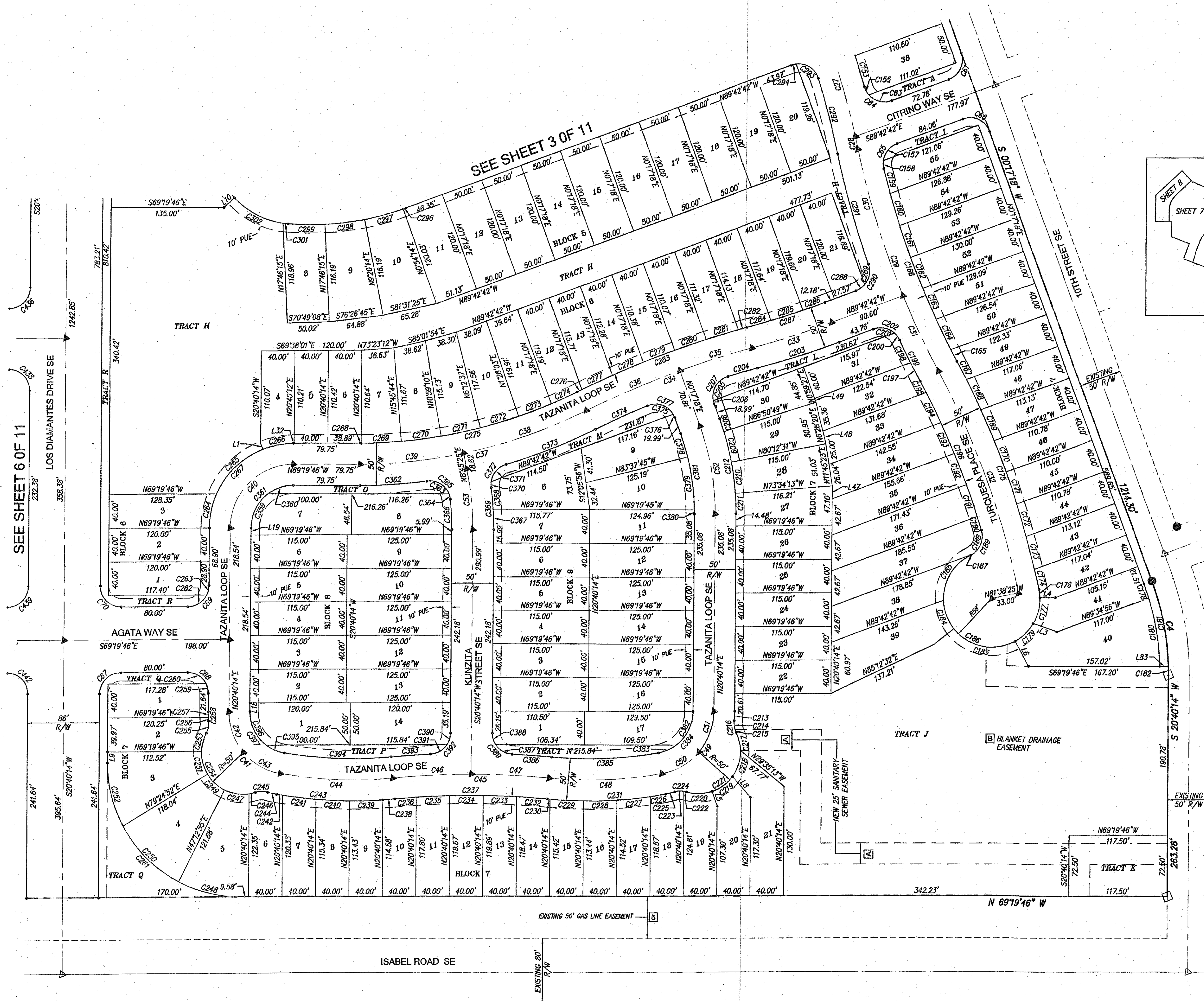
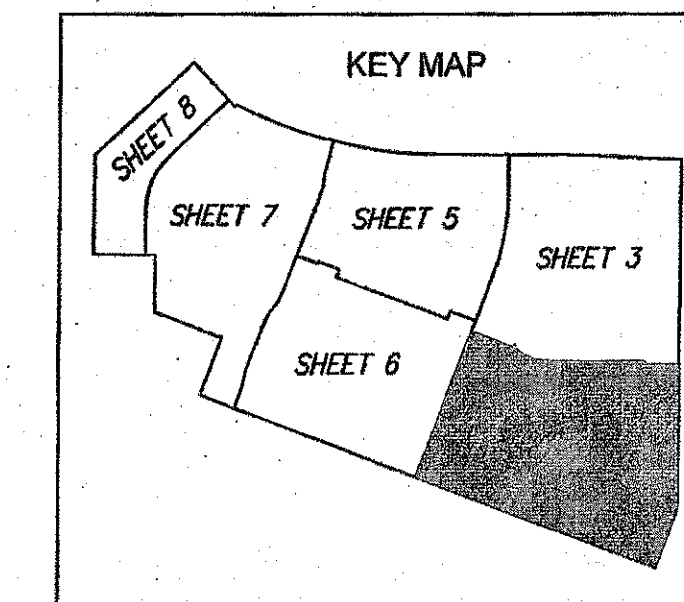
- 21 LOT NUMBER
- 3-P1 EXISTING LOT NUMBER
- BLOCK 1 BLOCK NUMBER
- ▲ C.O.R.R. CENTERLINE MONUMENT
- △ EXIST. C.O.R.R. CENTERLINE MONUMENT
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ON RIGHT-OF-WAY BLOCK CORNERS
(does not constitute any set corners)

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- SET 1/2" REBAR WITH CAP "ALS LS 7719"
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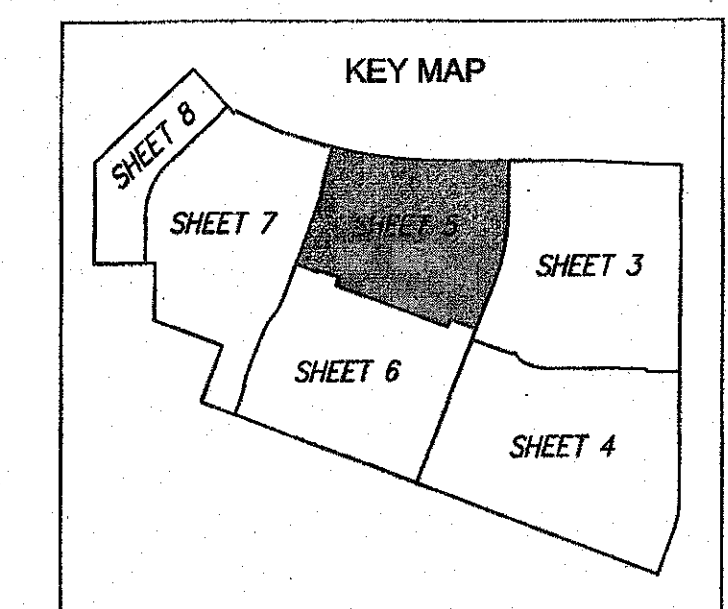
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Designed: DMG	Drawn: DER	Checked: ALS	Sheet 4 of 11
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*SEE SHEETS 9 - 11 FOR LOT AREAS AND CURVE TABLES

F:\A18026 ACAD 2019\A18026 Los Diamantes BP Entitlements\PLATS\DER PLAT_A18026.LD PLAT-9-25-19.dwg, Last saved by: Wayne, 10/23/19

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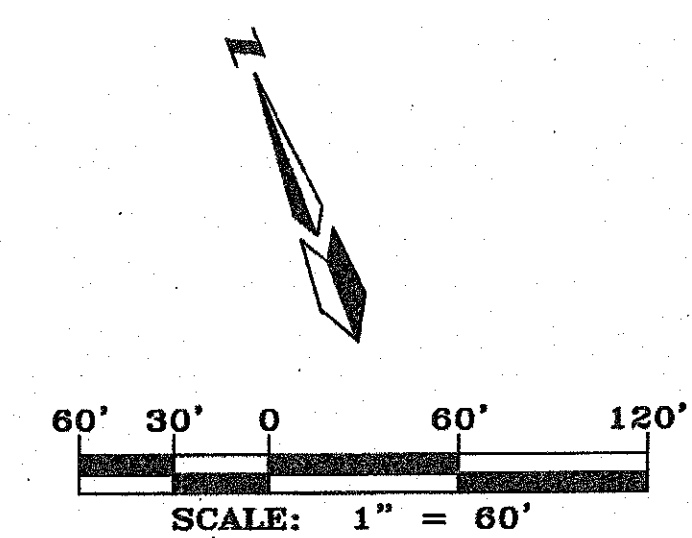
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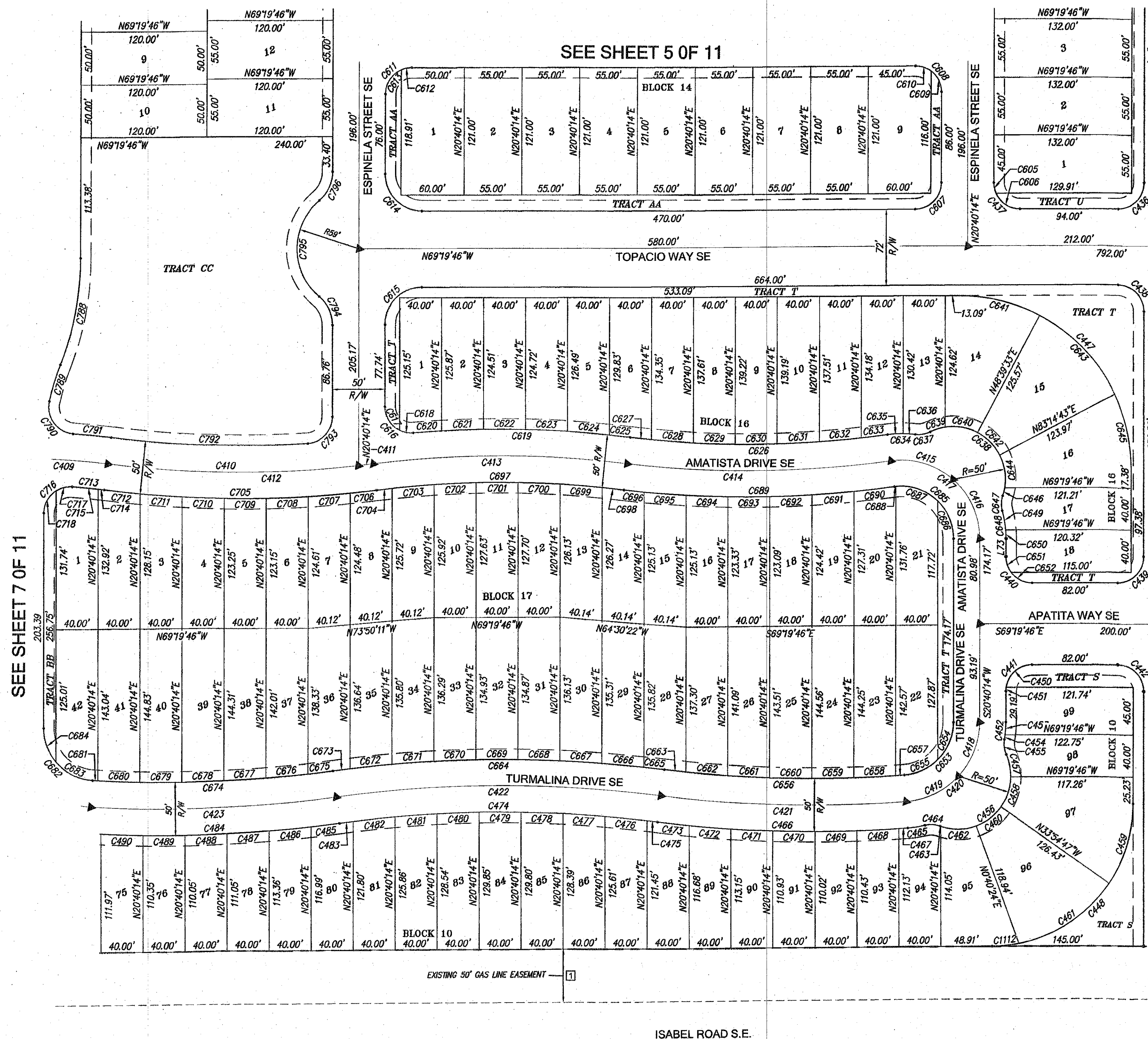


*SEE SHEETS 9 - 11 FOR LOT AREAS AND CURVE TABLES

**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Designed: DMG	Drawn: DER	Checked: ALS	Sheet 5 of 11
Scale: as shown	Date: 10/23/2019	Job: A18026	

PRELIMINARY PLAT
OF
TRACT 1
LOS DIAMANTES SUBDIVISION
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTIONS 33 & 34
TOWNSHIP 12 NORTH, RANGE 2 EAST, NMPM
CITY OF RIO RANCHO
SANDOVAL COUNTY, NEW MEXICO
OCTOBER, 2019



EXISTING EASEMENTS

- 1 EXISTING 10' P.U.E. (9/27/2019, RRE PLAT BK 3, PG 4441)
- 2 EXISTING 86' PUBLIC ACCESS, WATER, SANITARY SEWER EASEMENT (9/27/2019, RRE PLAT BK 3, PG 4441)
- 3 EXISTING 106' PUBLIC ACCESS, WATER, SANITARY SEWER EASEMENT (9/27/2019, RRE PLAT BK 3, PG 4441)
- 4 EXISTING R50' TEMPORARY TURNAROUND EASEMENT 9/27/2019, RRE PLAT BK 3, PG 4441)
- 5 EXISTING 25' GASLINE EASEMENT (/ /) RRE PLAT BK PG)

NEW EASEMENTS

- A NEW 25' PUBLIC SANITARY SEWER EASEMENT, FOR THE BENEFIT OF ALL LOTS WITHIN THE LOS DIAMANTES SUBDIVISION AND TO BE OWNED & MAINTAINED BY THE LOS DIAMANTES H.O.A., GRANTED BY THIS PLAT.
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ABBREVIATIONS

10' P.U.E. = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY
A.B.C.W.U.A. = ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
H.O.A. = HOME OWNERS ASSOCIATION

LEGEND

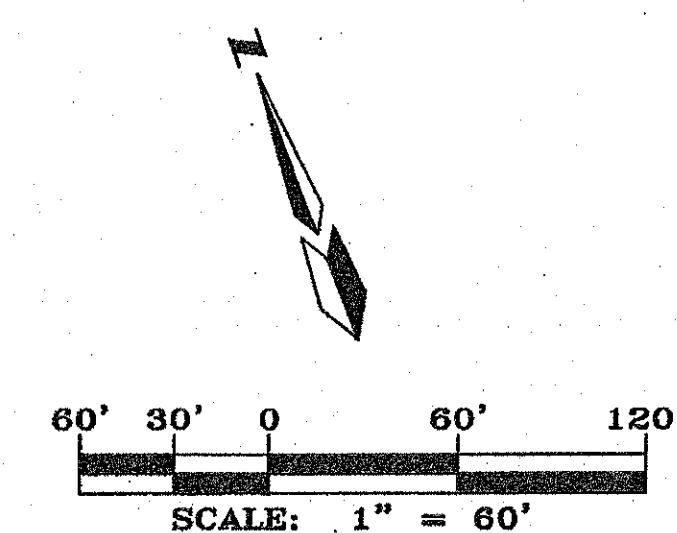
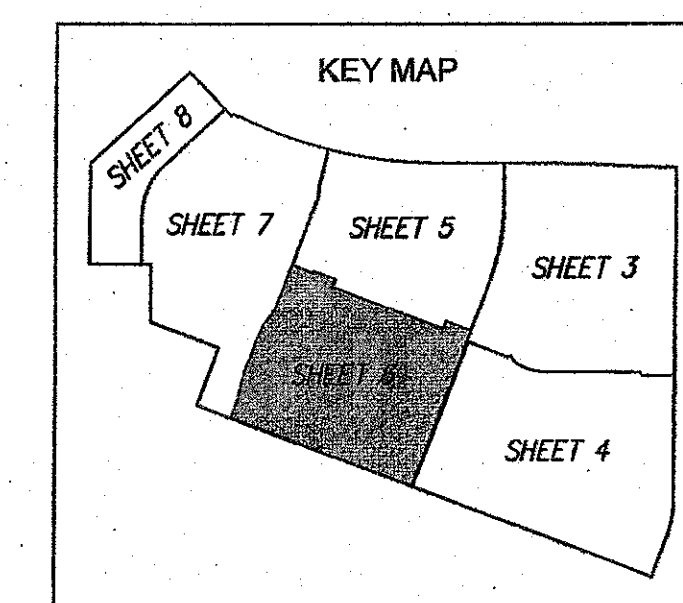
- 21 LOT NUMBER
3-P1 EXISTING LOT NUMBER
BLOCK 1 BLOCK NUMBER
▲ C.O.R.R. CENTERLINE MONUMENT
△ EXIST. C.O.R.R. CENTERLINE MONUMENT
• REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)

CORNERS

- SET 1/2" REBAR WITH CAP "ALS LS 7719"
● SET PK NAIL WITH TAG "ALS LS 7719"

NOTE: ▲ CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF RIO RANCHO", "CENTERLINE MONUMENT", "DO NOT DISTURB", "P.S. No. 7719".

ALL STREETS AND ROADS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

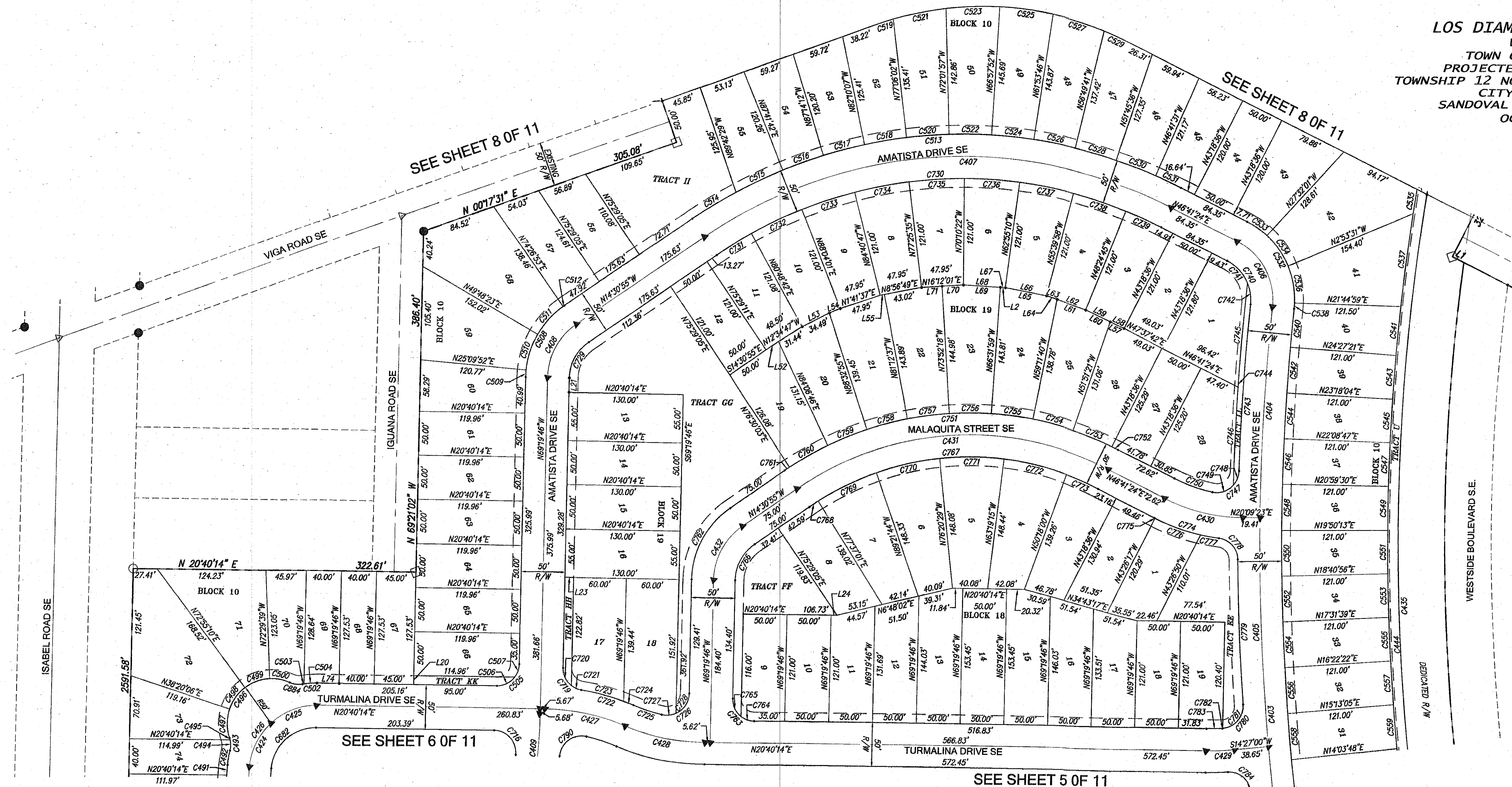
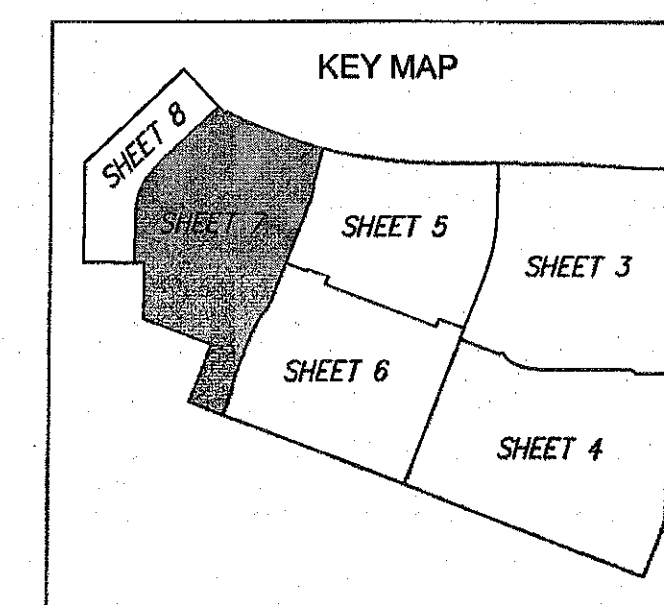


*SEE SHEETS 9 - 11 FOR LOT AREAS AND CURVE TABLES

ALDRICH LAND
SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Designed: DMG Drawn: DER Checked: ALS
Scale: as shown Date: 10/23/2019 Job: A18026 Sheet 6 of 11

PRELIMINARY PLAT
OF
TRACT 1
LOS DIAMANTES SUBDIVISION
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTIONS 33 & 34
TOWNSHIP 12 NORTH, RANGE 2 EAST, NMPM
CITY OF RIO RANCHO
SANDOVAL COUNTY, NEW MEXICO
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LEGEND

21 LOT NUMBER
3-P1 EXISTING LOT NUMBER
BLOCK 6 BLOCK NUMBER
▲ C.O.A. CENTERLINE MONUMENT
△ EXIST. C.O.R.R. CENTERLINE MONUMENT
• REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)

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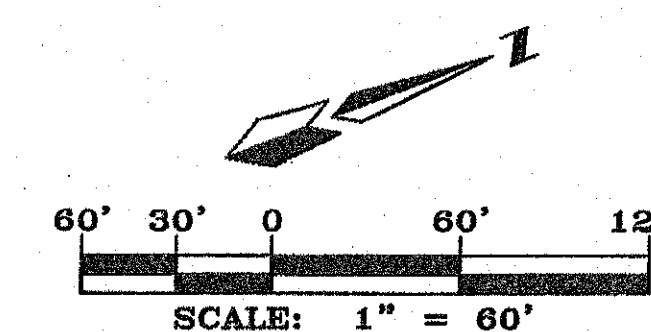
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- EXISTING 25' GASLINE EASEMENT (_____) RRE PLAT BK ____ PG ____

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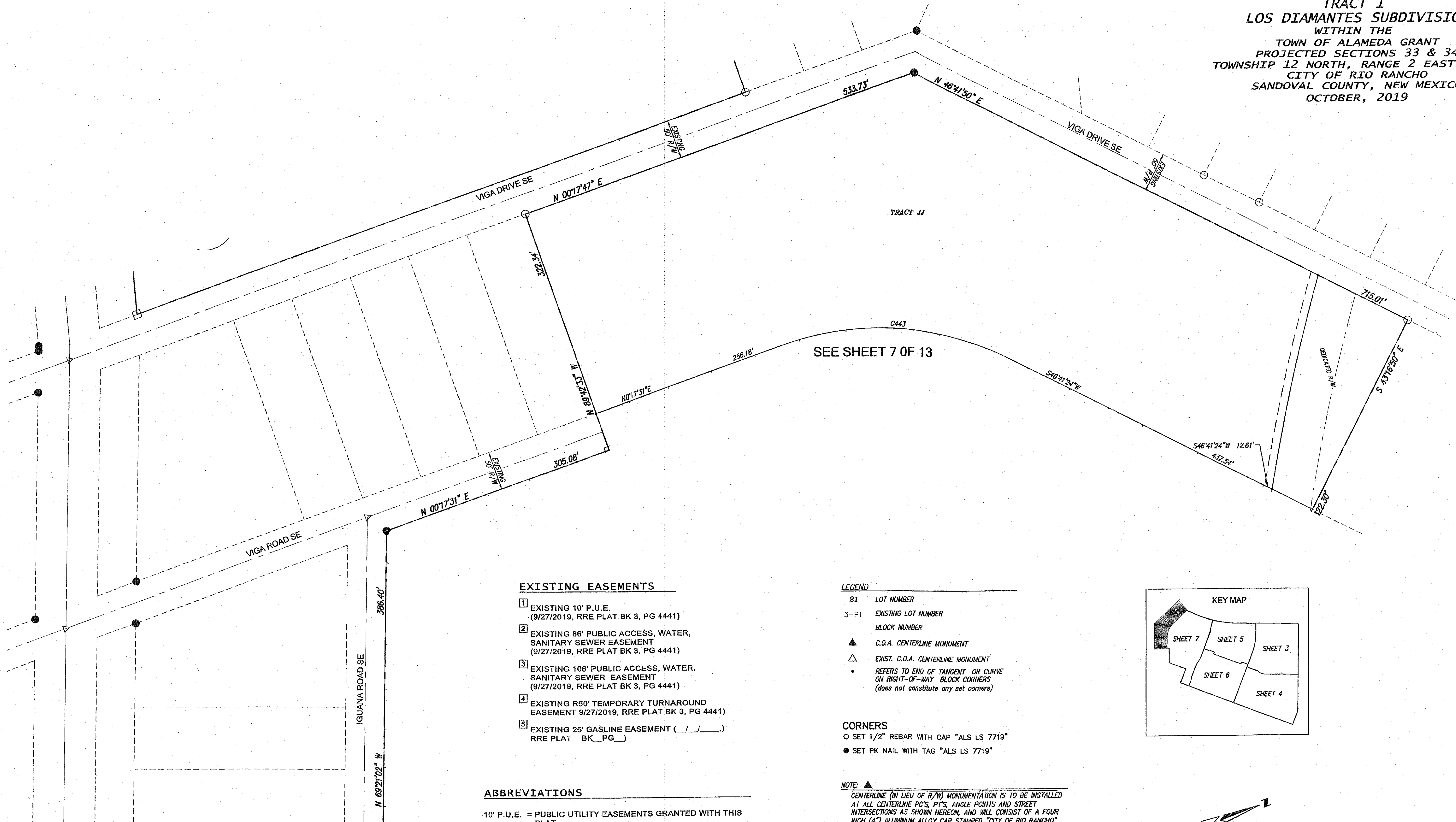


ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Designed: DMG	Drawn: DER	Checked: ALS	Sheet 7 of 11
Scale: as shown	Date: 10/23/2019	Job: A18026	

PRELIMINARY PLAT
OF
TRACT 1
LOS DIAMANTES SUBDIVISION
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTIONS 33 & 34
TOWNSHIP 12 NORTH, RANGE 2 EAST, NMPM
CITY OF RIO RANCHO
SANDOVAL COUNTY, NEW MEXICO
OCTOBER, 2019



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RRE PLAT BK_PG_

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▲ C.O.A. CENTERLINE MONUMENT
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• REFERS TO END OF TANGENT OR CURVE
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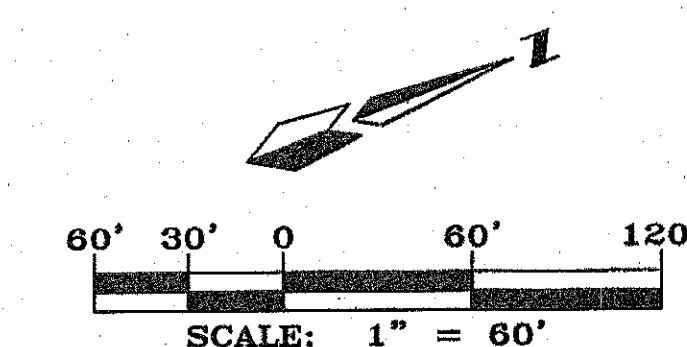
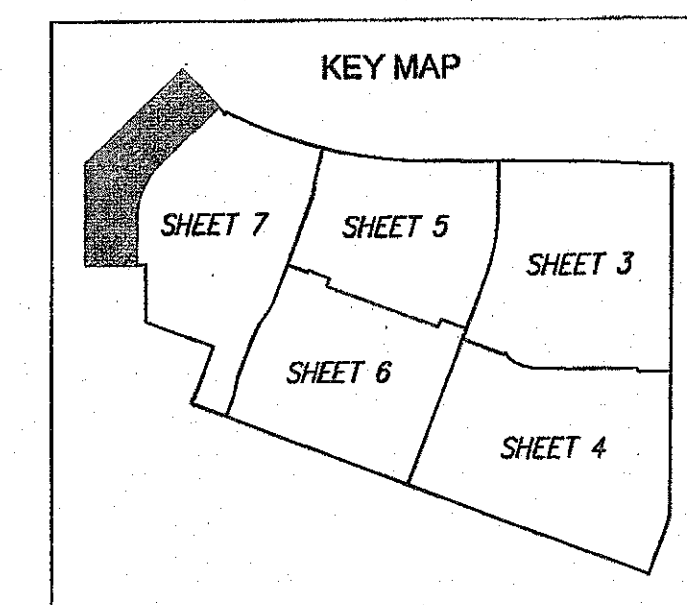
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Designed: DMG	Drawn: DER	Checked: ALS	Sheet 8 of 11
Scale: as shown	Date: 10/23/19	Job: A18026	

*SEE SHEETS 9 - 11 FOR LOT AREAS AND CURVE TABLES

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Parcel Curve Table						Parcel Curve Table						Parcel Curve Table						Parcel Curve Table						Parcel Curve Table					
Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length
C1	2400.00'	1123.68'	26°49'33"	S76°17'55"E	1113.44'	C68	25.00'	39.27'	90°00'00"	N24°19'46"W	35.36'	C144	975.00'	55.01'	3°13'58"	S05°51'W	55.00'	C278	1025.00'	40.05'	2°14'19"	N87°35'59"E	40.04'	C349	1025.00'	103.34'	5°46'36"	N5°19'46"W	103.30'
C2	5000.00'	320.85'	3°40'36"	S87°52'24"E	320.79'	C69	25.00'	39.27'	90°00'00"	N65°40'14"E	35.36'	C145	975.00'	50.05'	2°56'28"	S20°22'E	50.04'	C212	325.00'	115.61'	20°22'56"	N10°28'46"E	115.01'	C279	1025.00'	40.00'	2°14'10"	N89°50'14"E	40.00'
C3	5000.00'	320.54'	3°40'23"	S87°52'18"E	320.49'	C70	25.00'	39.27'	90°00'00"	S24°19'46"E	35.36'	C146	975.00'	50.22'	2°57'05"	S5°04'09"E	50.22'	C213	100.00'	11.15'	6°23'29"	N23°31'59"E	11.15'	C280	1025.00'	40.02'	2°14'14"	S87°55'34"E	40.02'
C4	325.00'	115.61'	20°22'56"	S10°28'46"W	115.01'	C71	1242.98'	7.25'	0°20'03"	S20°30'13"W	7.25'	C147	975.00'	28.47'	1°40'22"	S7°22'53"E	28.47'	C214	25.00'	10.70'	24°31'29"	S14°47'59"W	10.62'	C281	1025.00'	40.10'	2°14'30"	S85°41'12"E	40.10'
C5	1200.00'	67.59'	3°13'39"	N19°03'25"E	67.59'	C72	25.00'	38.01'	87°06'25"	S63°53'23"W	34.45'	C148	975.00'	289.50'	17°00'44"	S07°18'W	288.44'	C215	25.00'	3.94'	9°01'58"	S15°44'E	3.94'	C282	1025.00'	10.49'	0°35'11"	S84°16'22"E	10.49'
C6	1200.00'	359.29'	17°09'18"	N8°51'57"E	357.95'	C73	25.00'	36.72'	84°08'13"	N31°03'24"W	33.50'	C149	1025.00'	22.00'	1°13'47"	S7°38'11"E	22.20'	C216	25.00'	14.64'	33°33'26"	N10°17'00"E	14.43'	C283	1025.00'	217.20'	12°08'28"	S89°56'59"W	216.79'
C7	1200.00'	426.89'	20°22'56"	N10°28'46"E	424.64'	C74	25.00'	38.01'	87°06'33"	S29°00'16"E	34.45'	C150	1025.00'	55.28'	3°05'25"	S5°26'35"E	55.28'	C217	50.00'	22.22'	25°27'47"	N6°14'10"E	22.04'	C284	975.00'	29.67'	1°44'36"	S84°51'05"E	29.66'
C8	1398.25'	447.44'	18°20'04"	N11°30'12"E	445.53'	C76	30.00'	47.12'	89°59'53"	S45°17'20"W	42.43'	C151	1025.00'	55.07'	3°04'41"	S22°1'32"E	55.06'	C218	50.00'	33.07'	37°53'46"	N37°54'57"E	32.47'	C285	975.00'	40.05'	2°21'13"	S86°53'59"E	40.05'
C9	1398.25'	78.76'	3°13'39"	N19°03'25"E	78.75'	C77	1157.00'	411.59'	20°22'56"	N10°28'46"E	409.42'	C152	1025.00'	55.01'	3°04'30"	S0°43'03"W	55.00'	C219	50.00'	30.47'	34°54'55"	S74°19'18"W	30.00'	C286	975.00'	27.82'	1°38'06"	S88°53'39"E	27.82'
C10	1398.25'	154.72'	6°20'24"	N14°16'24"E	154.64'	C78	30.00'	47.12'	90°00'00"	N44°42'42"W	42.43'	C153	1025.00'	39.10'	2°11'09"	S3°20'53"W	39.10'	C220	50.00'	31.38'	35°57'17"	N70°14'37"W	30.86'	C287	975.00'	97.54'	5°43'55"	S86°50'44"E	97.50'
C11	1398.25'	213.95'	8°46'01"	N6°43'11"E	213.74'	C79	145.00'	227.77'	90°00'00"	S45°17'18"W	205.06'	C154	1025.00'	226.46'	12°39'31"	N15°31'19"W	226.00'	C221	50.00'	117.14'	134°13'45"	N60°37'09"E	92.13'	C288	25.00'	13.01'	29°48'54"	N75°22'51"E	12.86'
C12	75.00'	115.13'	8°57'08"	S46°18'44"W	104.15'	C80	1253.00'	308.87'	14°07'25"	N72°1'00"E	308.09'	C155	25.00'	11.17'	25°36'38"	S82°1'52"E	11.08'	C222	25.00'	3.33'	7°38'05"	N56°05'01"W	3.33'	C289	25.00'	26.07'	59°45'01"	N30°35'54"E	24.91'
C13	75.16'	57.56'	4°35'25"	S24°18'30"W	56.16'	C81	1373.25'	296.87'	12°23'11"	N83°1'46"E	296.29'	C157	25.00'	26.91'	6°14'03"	S59°27'02"W	25.63'	C223	25.00'	11.31'	25°55'21"	N72°51'44"W	11.21'	C290	25.00'	39.08'	89°33'55"	N45°30'21"E	35.22'
C14	75.11'	57.57'	4°35'06"	S68°18'47"W	56.17'	C83	1373.25'	54.14'	2°15'32"	S13°16'57"W	54.14'	C158	25.00'	9.56'	2°15'44"	S17°39'24"W	9.50'	C224	25.00'	14.64'	33°33'26"	N69°02'41"W	14.43'	C291	1025.00'	137.30'	7°40'30"	N4°33'38"E	137.20'
C15	75.00'	118.47'	90°30'07"	N44°27'38"W	106.53'	C84	1253.00'	49.40'	2°15'32"	N13°16'57"E	49.40'	C159	975.00'	31.08'	1°49'34"	S5°47'17"W	31.07'	C225	100.00'	11.15'	6°23'29"	N82°37'40"W	11.15'	C292	975.00'	92.65'	5°26'41"	N5°40'32"E	92.62'
C16	75.02'	59.23'	45°14'09"	N67°05'21"W	57.71'	C85	1373.25'	54.14'	2°15'32"	N11°01'25"E	54.14'	C160	975.00'	40.07'	2°21'18"	S3°41'51"W	40.07'	C226	525.00'	18.19'	1°59'05"	N78°26'23"W	18.19'	C293	25.00'	34.35'	78°42'49"	N36°24'13"W	31.71'
C17	75.02'	59.23'	45°14'23"	N21°49'58"W	57.71'	C87	1373.25'	54.14'	2°15'32"	N8°45'53"E	54.14'	C161	975.00'	40.01'	2°21'04"	S1°20'40"W	40.01'	C227	525.00'	40.22'	4°23'24"	N75°15'09"W	40.21'	C294	25.00'	6.09'	13°57'04"	N82°44'10"W	6.07'
C18	1000.00'	108.80'	6°14'02"	S27°19'36"E	108.75'	C88	1253.00'	49.40'	2°15'32"	S8°45'53"W	49.40'	C162	975.00'	40.01'	2°21'05"	S1°00'25"E	40.01'	C228	525.00'	40.02'	4°22'05"	N70°52'24"W	40.01'	C295	25.00'	40.43'	92°39'53"	N43°22'45"W	36.17'
C19	1000.00'	248.50'	14°14'17"	N1°40'32"E	247.86'	C89	1373.25'	54.14'	2°15'32"	N6°30'21"E	54.14'	C163	975.00'	40.08'	2°21'20"	S3°21'37"E	40.08'	C229	525.00'	40.06'	4°22'18"	N68°30'13"W	40.05'	C296	325.00'	3.49'	0°36'56"	N89°24'14"W	3.49'
C20	1000.00'	105.87'	6°03'58"	N2°24'39"W	105.82'	C90	1253.00'	49.40'	2°15'32"	S6°30'21"W	49.40'	C164	975.00'	40.22'	2°21'49"	S5°43'12"E	40.22'	C230	210.12'	3.31'	0°54'06"	N64°08'14"W	3.31'	C297	325.00'	47.84'	8°26'00"	N84°52'46"W	47.79'
C21	1000.00'	142.63'	8°10'19"	N4°42'31"E	142.51'	C91	1373.25'	54.14'	2°15'32"	N4°14'48"E	54.14'	C165	975.00'	15.65'	0°55'10"	S7°21'41"E	15.65'	C231	525.00'	141.80'	15°28'31"	S71°41'40"E	141.37'	C298	325.00'	47.84'	8°26'00"	N76°26'45"W	47.79'
C22	1000.00'	296.92'	17°00'44"	S07°18'W	295.83'	C92	1253.00'	49.40'	2°15'32"	S4°14'48"W	49.40'	C166	975.00'	247.13'	14°31'20"	S0°33'36"E	246.46'	C232	1014.38'	40.12'	2°15'58"	N64°57'51"W	40.12'	C299	324.99'	44.10'	7°46'27"	N68°20'32"W	44.06'
C23	1000.00'	148.46'	8°30'22"	S4°32'29"W	148.32'	C93	1372.99'	18.72'	0°46'53"	S2°43'36"W	18.72'	C167	1025.00'	24.70'	1°22'51"	S7°07'51"E	24.70'	C233	975.00'	40.03'	2°21'08"								

PHASE 2
CURVE TABLES
407-802

Parcel Curve Table						Parcel Curve Table						Parcel Curve Table						Parcel Curve Table						Parcel Curve Table											
Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length	Curve #	Radius	Length	Delta	Chord Direction	Chord Length						
C415	75.00'	63.76'	48°42'41"	N52°23'47"W	61.86'	C482	1175.00'	40.21'	1°57'38"	N75°07'14"W	40.21'	C549	2465.00'	49.68'	1°09'17"	N69°35'09"W	49.68'	C615	35.00'	54.98'	90°00'00"	S65°40'14"W	49.50'	C681	1174.99'	5.05'	0°14'46"	S65°40'19"E	5.05'	C745	2642.00'	118.41'	2°34'04"	N65°20'51"W	118.40'
C416	75.00'	63.76'	48°42'41"	N3°11'06"W	61.86'	C483	1175.00'	12.93'	0°37'50"	N76°24'58"W	12.93'	C550	2586.00'	52.12'	1°09'17"	S70°44'26"E	52.12'	C616	25.00'	41.26'	94°34'06"	S26°36'49"E	36.74'	C682	50.00'	75.22'	86°11'54"	S22°26'59"E	68.33'	C746	2642.00'	111.65'	2°25'17"	S67°50'31"E	111.64'
C417	75.00'	127.53'	97°25'22"	N28°02'27"W	112.71'	C484	1225.00'	239.09'	1°17°57"	S71°08'24"E	238.71'	C551	2465.00'	49.68'	1°09'17"	N70°44'26"W	49.68'	C617	25.00'	27.78'	63°40'28"	S11°10'00"E	26.38'	C683	50.00'	40.27'	46°08'50"	S42°28'31"E	39.19'	C747	25.00'	43.82'	100°25'12"	N18°29'29"W	38.42'
C418	75.00'	56.43'	43°06'35"	N42°13'32"E	55.11'	C485	1225.00'	27.36'	1°16'47"	N76°05'30"W	27.36'	C552	2586.00'	52.12'	1°09'17"	S71°53'43"E	52.12'	C618	25.00'	13.48'	30°53'38"	S58°27'03"E	13.32'	C684	50.00'	34.95'	40°03'04"	S03°37'26"W	34.24'	C748	25.00'	17.61'	40°21'38"	N48°31'16"W	17.25'
C419	75.00'	56.43'	43°06'35"	N85°20'07"E	55.11'	C486	1225.00'	40.17'	1°52'43"	N74°30'45"W	40.16'	C553	2465.00'	49.68'	1°09'17"	N71°53'43"W	49.68'	C619	1025.00'	207.34'	1°13°24"	N68°06'10"W	206.99'	C685	50.00'	85.02'	97°25'22"	N28°02'27"W	75.14'	C749	25.00'	26.21'	60°03'34"	S1°41'20"W	25.02'
C420	75.00'	112.86'	86°13'10"	N63°46'49"E	102.51'	C487	1225.00'	40.07'	1°52'27"	N72°38'10"W	40.07'	C554	2586.00'	52.12'	1°09'17"	S73°03'00"E	52.12'	C620	1025.00'	26.98'	1°30'30"	S73°08'37"E	26.98'	C686	1175.00'	40.02'	1°57'05"	S67°49'33"E	40.01'	C750	175.00'	45.73'	14°58'17"	S39°12'15"W	45.60'
C421	1200.00'	234.21'	1°17°57"	S67°31'07"E	233.83'	C488	1225.00'	40.01'	1°52'18"	N70°45'48"W	40.01'	C555	2465.00'	49.68'	1°09'17"	N73°03'00"W	49.68'	C621	1025.00'	40.03'	2°14'14"	S71°16'15"E	40.02'	C686	50.00'	39.77'	45°34'23"	N2°06'57"W	38.73'	C751	375.00'	400.59'	61°12'19"	S16°05'14"W	381.81'
C422	1200.00'	310.05'	14°48'14"	N69°19'46"W	309.19'	C489	1225.00'	40.00'	1°52'16"	N68°53'31"W	40.00'	C556	2586.00'	52.12'	1°09'17"	S74°12'17"E	52.12'	C622	1025.00'	40.00'	2°14'10"	S69°02'02"E	40.00'	C687	50.00'	43.78'	50°08'58"	N49°59'08"W	42.39'	C752	1018.87'	8.22'	0°27'45"	N46°03'42"E	8.22'
C423	1200.00'	234.21'	1°17°57"	S71°08'24"E	233.83'	C490	1225.00'	40.03'	1°52'21"	N67°01'13"W	40.03'	C557	2465.00'	49.68'	1°09'17"	N74°12'17"W	49.68'	C623	1025.00'	40.04'	2°14'18"	S66°47'49"E	40.04'	C688	50.00'	1.47'	1°41'01"	N75°54'37"W	1.47'	C753	375.00'	47.71'	7°17'21"	N41°47'20"E	47.68'
C424	75.00'	56.42'	43°05'57"	S43°59'57"E	55.10'	C491	673.52'	11.44'	0°58'24"	N65°48'59"W	11.44'	C558	2586.00'	52.12'	1°09'17"	S75°21'34"E	52.12'	C624	1025.00'	40.14'	2°14'38"	S64°33'21"E	40.14'	C689	1025.00'	258.41'	14°26'40"	S69°31'48"E	257.72'	C754	375.00'	48.03'	7°20'19"	N34°28'30"E	48.00'
C425	75.00'	56.44'	43°07'13"	S05°32'22"E	55.12'	C492	97.63'	16.65'	9°46'26"	N60°46'40"W	16.63'	C559	2465.00'	49.68'	1°09'17"	N75°21'34"W	49.68'	C625	1025.00'	20.15'	1°07'34"	S62°52'15"E	20.15'	C690	1025.00'	38.78'	2°10'04"	N75°40'06"W	38.78'	C755	375.00'	48.03'	7°20'19"	N27°08'11"E	48.00'
C426	75.00'	112.86'	86°13'10"	S22°26'21"E	102.51'	C493	25.00'	14.64'	33°33'26"	N72°47'08"W	14.43'	C560	2586.00'	52.12'	1°09'17"	S76°30'51"E	52.12'	C626	975.00'	245.80'	14°26'40"	S69°31'48"E	245.15'	C691	1145.00'	61.25'	3°03'54"	N16°00'25"E	61.24'	C756	375.00'	48.03'	7°20'19"	N19°47'52"E	48.00'
C427	250.00'	93.74'	21°29'00"	S31°24'45"W	93.19'	C494	25.00'	5.94'	1°33'07"	N77°16'57"W	5.93'	C561	2465.00'	49.68'	1°09'17"	N76°30'51"W	49.68'	C627	975.00'	20.11'	1°10'54"	S62°53'55"E	20.11'	C691	1025.00'	40.11'	2°14'31"	S73°27'49"E	40.10'	C757	375.00'	48.03'	7°20'19"	N12°27'33"E	48.00'
C428	250.00'	93.74'	21°29'00"	N31°24'45"E	93.19'	C495	25.00'	2.39'	5°28'18"	N86°49'42"W	2.39'	C562	2586.00'	57.33'	1°16'13"	S77°43'35"E	57.33'	C628	975.00'	40.14'	2°21'31"	S64°40'07"E	40.13'	C692	1025.00'	40.02'	2°14'14"	N71°13'26"W	40.02'	C758	375.00'	48.03'	7°20'19"	N50°17'14"E	48.00'
C429	300.00'	32.57'	6°13'15"	N17°33'37"E	32.56'	C496	50.00'	117.14'	1°34'13'45"	S22°26'59"E	92.13'	C563	2465.00'	54.64'	1°16'13"	N77°43'35"W	54.64'	C629	975.00'	40.04'	2°21'10"	S67°01'27"E	40.03'	C693	1025.00'	40.00'	2°14'10"	S68°59'14"E	40.00'	C759	375.00'	48.03'	7°20'19"	N21°30'57"W	48.00'
C430	200.00'	92.62'	26°32'01"	N33°25'23"E	91.79'	C497	50.00'	33.08'	37°54'41"	N70°36'31"W	32.48'	C564	2586.00'	57.33'	1°16'13"	S78°59'48"E	57.33'	C630	975.00'	40.00'	2°21'03"	S69°22'34"E	40.00'	C694	1025.00'	40.04'	2°14'18"	S66°45'00"E	40.04'	C760	375.00'	49.82'	7°36'42"	N9°41'36"W	49.78'
C431	350.00'	373.88'	61°12'19"	S16°05'14"W	356.36'	C498	50.00'	30.18'	34°35'18"	S34°21'31"E	29.73'	C565	2465.00'	54.64'	1°16'13"	N78°59'48"W	54.64'	C631	975.00'	40.04'	2°21'10"	S71°43'40"E	40.04'	C695	1025.00'	40.14'	2°14'38"	S64°30'32"E	40.14'	C761	375.00'	6.65'	1°00'59"	N14°00'26"W	6.65'
C432	75.00'	71.75'	54°48'50"	S41°55'21"E	69.05'	C499	50.00'	30.18'	34°34'58"	N01°33'36"E	29.72'	C566	2586.00'	57.33'	1°16'13"	S80°16'00"E	57.33'	C632	975.00'	40.14'	2°21'32"	S74°05'01"E	40.14'	C696	1025.00'	19.30'	1°04'45"	S62°50'50"E	19.30'	C762	100.00'	95.67'	54°48'50"	N41°55'21"W	92.06'
C433	300.00'	64.76'	12°22'08"	N14°29'11"E	64.64'	C500	50.00'	23.69'	27°08'49"	N31°05'29"E	23.47'	C567	2465.00'	54.64'	1°16'13"	N80°16'00"W	54.64'	C633	975.00'	25.34'	1°29'21"														

PHASE 2
CURVE TABLES
803-846

Parcel Curve Table

Curve #	Radius	Length	Delta	Chord Direction	Chord Length
C812	25.00'	39.27'	90°00'00"	N65°40'14"E	35.36'
C813	25.00'	16.09'	36°52'12"	N39°08'20"E	15.81'
C814	25.00'	23.18'	53°07'48"	S84°06'20"W	22.36'
C815	25.00'	39.27'	90°00'00"	S24°19'46"E	35.36'
C816	25.00'	23.18'	53°07'48"	N42°45'52"W	22.36'
C817	25.00'	16.09'	36°52'12"	S2°14'08"W	15.81'
C818	25.00'	39.27'	90°00'00"	S65°40'14"W	35.36'
C819	25.00'	16.09'	36°52'12"	N87°45'52"W	15.81'
C820	25.00'	23.18'	53°07'48"	S47°14'08"W	22.36'
C821	25.00'	39.27'	90°00'00"	S24°19'46"E	35.36'
C822	25.00'	23.18'	53°07'48"	S5°53'40"E	22.36'
C823	25.00'	16.09'	36°52'12"	S50°53'40"E	15.81'
C824	25.00'	39.27'	90°00'00"	N65°40'14"E	35.36'
C825	25.00'	16.09'	36°52'12"	S87°45'52"E	15.81'
C826	25.00'	23.18'	53°07'48"	N47°14'08"E	22.36'
C827	25.00'	39.27'	90°00'00"	N24°19'46"W	35.36'
C828	25.00'	23.18'	53°07'48"	N5°53'40"W	22.36'
C829	25.00'	16.09'	36°52'12"	N50°53'40"W	15.81'
C830	25.00'	40.53'	92°52'56"	N64°13'46"E	36.23'
C833	963.00'	235.41'	14°00'22"	N10°47'08"E	234.82'
C834	963.00'	43.78'	2°36'16"	N16°29'10"E	43.77'
C835	963.00'	61.74'	3°40'24"	N13°20'50"E	61.73'
C836	963.00'	69.87'	4°09'25"	N9°25'55"E	69.85'
C837	963.00'	60.02'	3°34'16"	N5°34'05"E	60.01'
C838	50.00'	81.59'	93°29'39"	N42°57'52"W	72.83'
C839	151152.80'	116.30'	0°02'39"	N89°42'42"W	116.30'
C840	2636.00'	11.38'	0°14'50"	N89°35'17"W	11.38'
C841	25.00'	34.28'	78°34'07"	S51°15'05"W	31.66'
C842	225.00'	34.20'	8°42'36"	S16°19'19"W	34.17'
C843	25.00'	39.27'	90°00'00"	S24°19'46"E	35.36'
C846	1013.00'	298.59'	16°53'17"	N12°13'36"E	297.51'
C864	1025.00'	103.34'	5°46'36"	S5°54'22"W	103.30'

Parcel Area Table		
Lot No.	Block No.	Area (sf)
2	1	6225.4011 sf
3	1	6225.4011 sf
4	1	6225.4011 sf
5	1	6225.4008 sf
6	1	6261.5304 sf
7	1	8731.4715 sf
8	1	10387.8149 sf
9	1	7441.7325 sf
10	1	6244.7259 sf
11	1	6000.0000 sf
12	1	6000.0000 sf
13	1	6000.0000 sf
14	1	5949.7888 sf
15	1	5814.4283 sf
16	1	5662.1701 sf
17	1	5527.5195 sf
18	1	5660.2473 sf
19	1	9354.8517 sf
20	1	10453.3760 sf
21	1	5996.7320 sf
22	1	5993.6561 sf
23	1	6479.5735 sf
24	1	6234.0553 sf
25	1	6075.8422 sf
26	1	5523.0065 sf
27	1	5648.7954 sf
29	1	6257.3618 sf
30	1	7127.9901 sf
31	1	7249.1619 sf
32	1	6551.5070 sf
33	1	6381.7563 sf
34	1	6085.5391 sf
35	1	6338.4777 sf
36	1	6116.9035 sf
37	1	6058.3453 sf
38	1	5584.4045 sf

1
1
1

Parcel Area Table		
Lot No.	Block No.	Area (sf)
1		5944.0576 sf
2	2	6000.0000 sf
3	2	6000.0000 sf
4	2	6000.0000 sf
5	2	6000.0000 sf
6	2	6000.0000 sf
7	2	6000.0000 sf
8	2	6000.0000 sf
9	2	5834.1888 sf
10	2	5999.9652 sf
11	2	6000.0000 sf
12	2	6000.0000 sf
13	2	6000.0000 sf
14	2	6000.0000 sf
15	2	6000.0000 sf
16	2	6000.0000 sf
17	2	6000.0000 sf
18	2	5779.4313 sf
TRACT B	2	3715.0706 sf
TRACT C	2	3028.5641 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
1	3	7203.3433 sf
2	3	5999.9994 sf
3	3	5999.9995 sf
4	3	5999.9995 sf
5	3	5999.9996 sf
6	3	5999.9997 sf
7	3	5999.9998 sf
8	3	5999.9999 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
9	3	6599.9998 sf
10	3	6580.2397 sf
11	3	6000.0000 sf
12	3	6000.0000 sf
13	3	6000.0000 sf
14	3	6000.0000 sf
15	3	6000.0000 sf
16	3	6000.0000 sf
17	3	6000.0000 sf
18	3	7088.8387 sf
TRACT D	3	4625.1114 sf
TRACT E	3	9808.1846 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
9	4	6000.0000 sf
1	4	6928.4401 sf
3	4	6802.5960 sf
4	4	6000.0000 sf
5	4	6000.0000 sf
6	4	6000.0000 sf
7	4	6000.0000 sf
8	4	6000.0000 sf
10	4	6000.0000 sf
11	4	6525.3671 sf
12	4	6545.1276 sf
13	4	6000.0000 sf
14	4	6000.0001 sf
15	4	6000.0001 sf
16	4	6000.0001 sf
17	4	6000.0001 sf
18	4	6000.0001 sf
19	4	6000.0000 sf
20	4	5999.9997 sf
21	4	6251.4821 sf
22	4	6602.6139 sf
23	4	7767.9212 sf
TRACT F	4	4625.1402 sf
TRACT G	4	2070.3550 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
9	4	6000.0000 sf
1	4	6928.4401 sf
3	4	6802.5960 sf
4	4	6000.0000 sf
5	4	6000.0000 sf
6	4	6000.0000 sf
7	4	6000.0000 sf
8	4	6000.0000 sf
10	4	6000.0000 sf
11	4	6525.3671 sf
12	4	6545.1276 sf
13	4	6000.0000 sf
14	4	6000.0001 sf
15	4	6000.0001 sf
16	4	6000.0001 sf
17	4	6000.0001 sf
18	4	6000.0001 sf
19	4	6000.0000 sf
20	4	5999.9997 sf
21	4	6251.4821 sf
22	4	6602.6139 sf
23	4	7767.9212 sf
TRACT F	4	4625.1402 sf
TRACT G	4	2070.3550 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
9	4	6000.0000 sf
1	4	6928.4401 sf
3	4	6802.5960 sf
4	4	6000.0000 sf
5	4	6000.0000 sf
6	4	6000.0000 sf
7	4	6000.0000 sf
8	4	6000.0000 sf
10	4	6000.0000 sf
11	4	6525.3671 sf
12	4	6545.1276 sf
13	4	6000.0000 sf
14	4	6000.0001 sf
15	4	6000.0001 sf
16	4	6000.0001 sf
17	4	6000.0001 sf
18	4	6000.0001 sf
19	4	6000.0000 sf
20	4	5999.9997 sf
21	4	6251.4821 sf
22	4	6602.6139 sf
23	4	7767.9212 sf
TRACT F	4	4625.1402 sf
TRACT G	4	2070.3550 sf

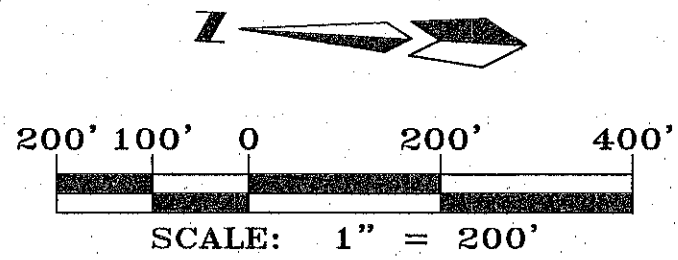
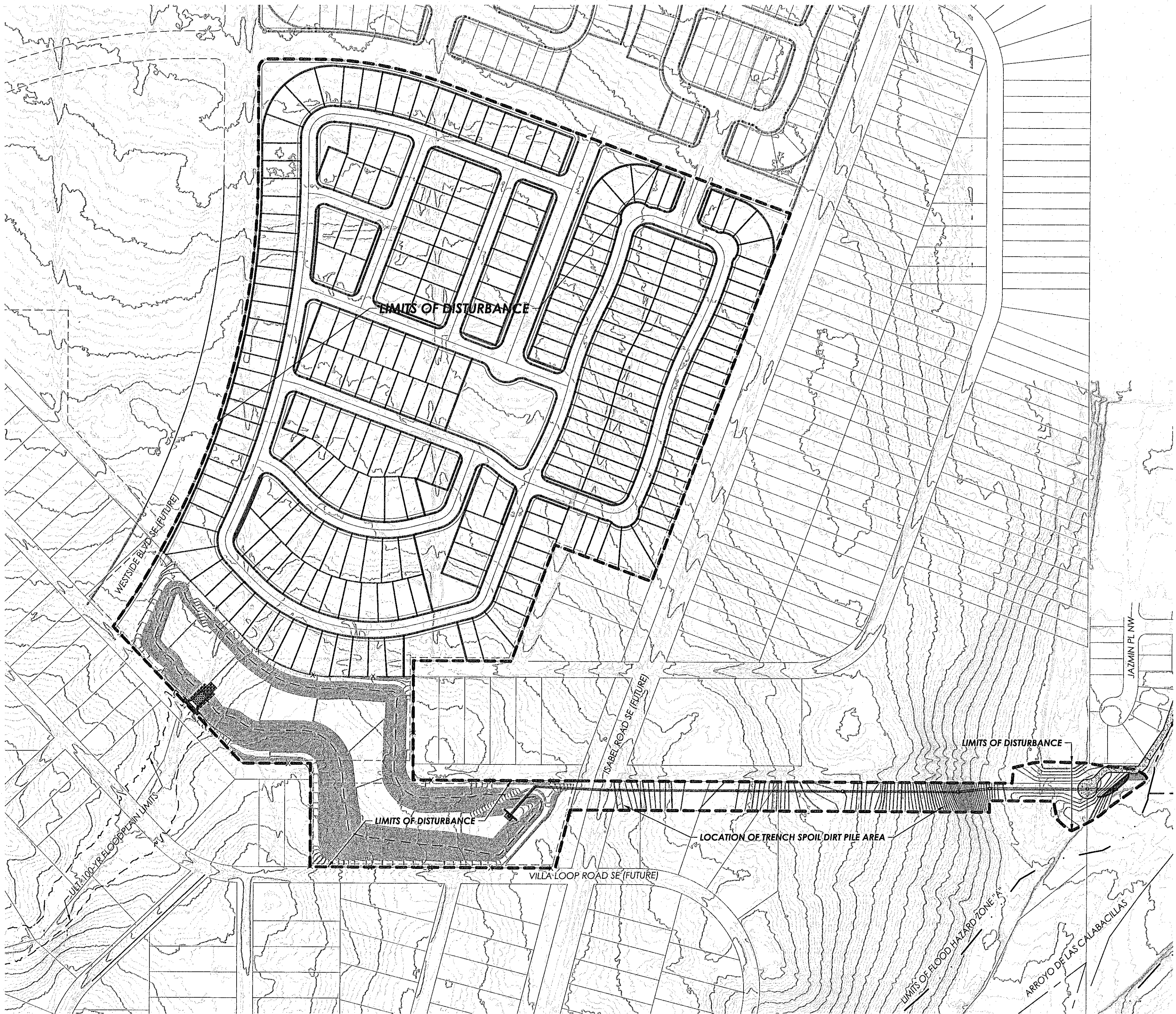
Parcel Area Table		
Lot No.	Block No.	Area (sf)
1	5	6011.5797 sf
2	5	6012.5000 sf
3	5	6012.5000 sf
4	5	6012.5000 sf
5	5	6012.5000 sf
6	5	6057.9350 sf
7	5	6787.7727 sf
8	5	5843.5332 sf
9	5	6500.3734 sf
10	5	6624.3300 sf
11	5	6058.0597 sf
12	5	6000.0000 sf
13	5	6000.0000 sf
14	5	6000.0000 sf
15	5	6000.0000 sf
16	5	6000.0000 sf
17	5	6000.0000 sf
18	5	6000.0000 sf
19	5	6000.0000 sf
20	5	5998.5272 sf
TRACT H	5	94879.1754 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
1	6	4790.6035 sf
2	6	4800.0000 sf
3	6	4909.3855 sf
4	6	4496.0037 sf
5	6	4412.8048 sf
6	6	4421.2373 sf
7	6	4833.1941 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
8	6	4909.8255 sf
9	6	5022.5409 sf
10	6	5113.5095 sf
11	6	4891.5292 sf
12	6	4706.4245 sf
13	6	4554.2555 sf
14	6	4447.7232 sf
15	6	4403.8729 sf
16	6	4422.5031 sf
17	6	4503.6993 sf
18	6	4639.0916 sf
19	6	4750.3185 sf
20	6	4796.3189 sf
21	6	4786.6741 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
1	7	4790.5110 sf
2	7	4676.9172 sf
3	7	6894.9977 sf
4	7	7432.4037 sf
5	7	7136.6894 sf
6	7	4928.8538 sf
7	7	4703.0143 sf
8	7	4565.2658 sf
9	7	4550.1079 sf
10	7	4648.6818 sf
11	7	4754.9246 sf
12	7	4796.6632 sf
13	7	4772.7161 sf
14	7	4683.0892 sf
15	7	4567.0073 sf
16	7	4549.1093 sf
17	7	4853.5168 sf
18	7	4885.3185 sf
19	7	4872.2671 sf
20	7	5315.4001 sf
21	7	6541.9896 sf
22	7	4600.0000 sf
23	7	4600.0000 sf
24	7	4600.0000 sf
25	7	4600.0000 sf
26	7	4600.0000 sf
27	7	4933.7170 sf
28	7	5102.0542 sf
29	7	5071.4243 sf
30	7	4819.0720 sf
31	7	4801.3069 sf
32	7	5074.2187 sf
33	7	5472.1822 sf
34	7	5938.4016 sf
35	7	6547.1319 sf
36	7	7145.0511 sf
37	7	7569.2305 sf
38	7	6018.3098 sf
39	7	7431.3599 sf
40	7	9325.8850 sf
41	7	5248.6947 sf
42	7	4741.7683 sf
43	7	4597.8340 sf
44	7	4472.6839 sf
45	7	4410.3307 sf
46	7	4410.4876 sf
47	7	4473.1553 sf
48	7	4598.6221 sf
49	7	4786.1887 sf
50	7	4983.0726 sf
51	7	5118.2296 sf
52	7	5187.3023 sf
53	7	5190.6419 sf
54	7	5128.2655 sf
55	7	4994.6369 sf

Parcel Area Table		
Lot No.	Block No.	Area (sf)
24	7	4600.0000 sf
25	7	4600.0000 sf
26	7	4600.0000 sf
27	7	4933.7170 sf
28	7	5102.0542 sf
29	7	5071.4243 sf
30	7	4819.0720 sf
31	7	4801.3069 sf
32	7	5074.2187 sf
33	7	5472.1822 sf
34	7	5938.4016 sf
35	7	6547.1319 sf
36	7	7145.0511 sf
37	7	7569.2305 sf
38	7	6018.3098 sf
39	7	7431.3599 sf
40	7	9325.8850 sf
41	7	5248.6947 sf
42	7	47



EROSION CONTROL NOTES:

1. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY IMPLEMENTING BEST MANAGEMENT PRACTICES (BMP'S) TO PROTECT THE SOIL FROM WIND, AND WATER EROSION.
2. DURING THE MONTHS OF JUNE, JULY, AUGUST OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT TO A WATERCOURSE DEFINED AS A MAJOR FACILITY (FEMA FLOODPLAIN) SHALL PROVIDE FOR EROSION CONTROL AND SAFE PASSAGE OF THE 100-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.
3. CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS AND IS RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
4. ALL GRADED AREAS WHICH DO NOT RECEIVE A FINAL SURFACE TREATMENT, WILL BE REVEGETATED IN ACCORDANCE WITH NEW MEXICO APWA STANDARD SPECIFICATION 1012 AND THE LANDSCAPE SPECIFICATIONS.
5. CONTRACTOR SHALL OBTAIN AND ABIDE BY A GRADING PERMIT FROM THE CITY OF RIO RANCHO.
6. STORMWATER POLLUTION PREVENTION PLANS AND ACCOMPANYING FEDERAL EPA ADMINISTRATIVE PROCEDURES SHALL MEET THE GUIDELINES AND PROCEDURES OUTLINED IN THE CURRENT EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STORMWATER MANAGEMENT GUIDELINES FOR CONSTRUCTION AND INDUSTRIAL ACTIVITIES MANUAL.
7. "LIMITS OF DISTURBANCE" LINE TO INCLUDE BUT IS NOT LIMITED TO: STOCKPILE AREA(S), BORROW AREA(S), STAGING AREA(S), SLOPE ENCROACHMENTS ON PRIVATE PROPERTY, AND ALL OTHER EARTH DISTURBANCE AREAS GENERATED BY THIS REGIONAL POND.

NOTE:
ALL POND SLOPES SHALL BE PROTECTED WITH GRAVEL MULCH PER APWA SPECIFICATION 1012. ALL DISTURBED AREAS SHALL BE SEEDED PER APWA 1012.



City of Rio Rancho

NO.	DESCRIPTION	DATE	BY
7			
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1			

REVISIONS (OR CHANGE NOTICES)

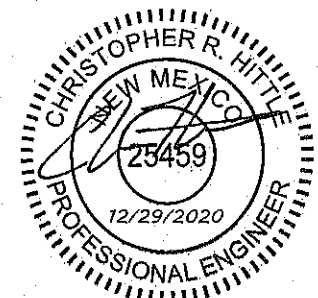
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 10000, NEW MEXICO, 87199
ALBUQUERQUE, NEW MEXICO
(505) 988-2200, FAX (505) 987-9539

LOS DIAMANTES
OFF SITE REGIONAL POND

EROSION CONTROL PLAN

ENGINEER'S SEAL



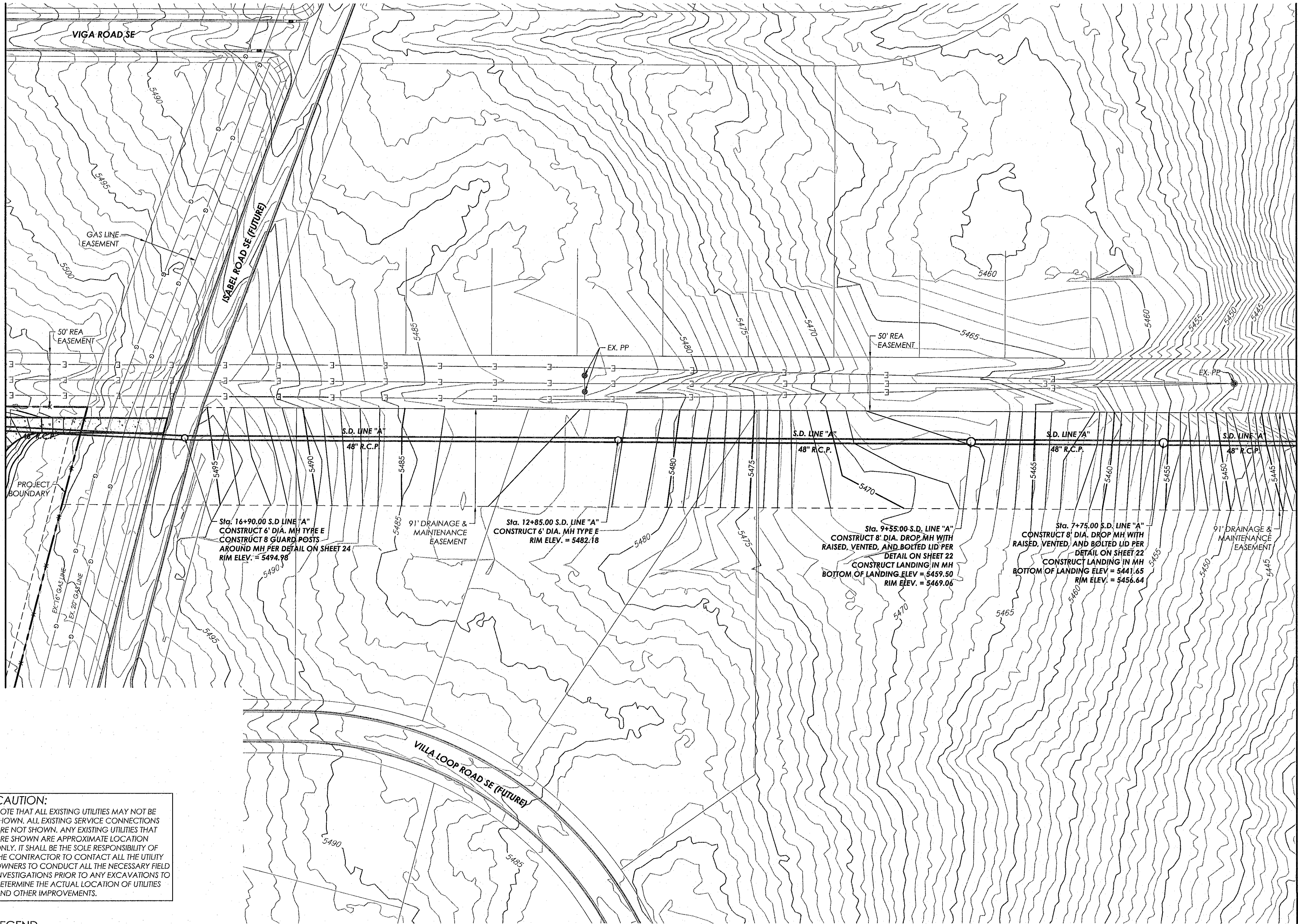
PROJECT NO. 10820
DESIGNED BY: CRH
DRAWN BY: KJJ
CHECKED BY: CRH
DATE: 12/28/20

DPW CHK:

SHEET:

15 of 30

MATCHLINE - SEE SHEET 16

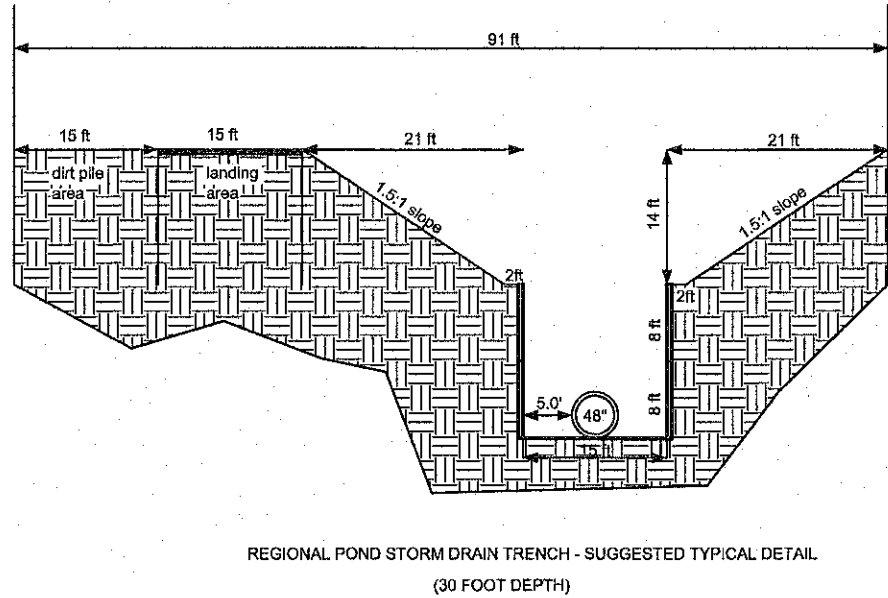
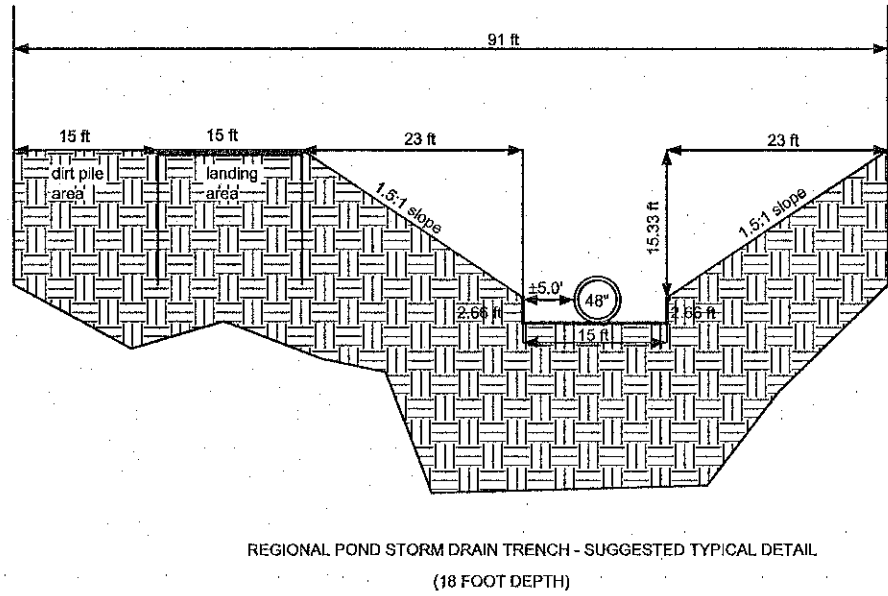
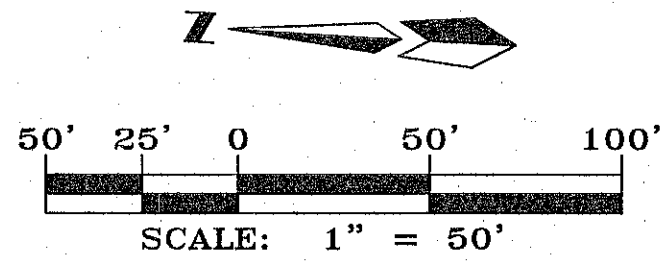


CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS TO CONDUCT ALL THE NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

LEGEND	
6" STANDARD CURB & GUTTER	
8" STANDARD CURB & GUTTER	
STANDARD MEDIAN CURB & GUTTER	
RETAINING WALLS THIS PROJECT	
EXISTING CONTOUR MAJOR	
EXISTING CONTOUR MINOR	
PROPOSED CONTOUR MAJOR	
PROPOSED CONTOUR MINOR	
PROPOSED 0.5% SLOPE	
PROPOSED STORM DRAIN & MH	
PROPOSED STORM DRAIN & HEADWALL	

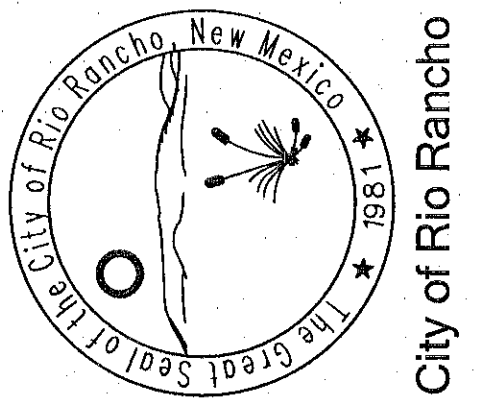
- NOTES:**
- All construction equipment must maintain fifteen (15) feet vertical and horizontal clearance from all wires and structures within or near the PNM (REA) Easement.
 - All lighting masts/poles/attachments/fixtures and decorative (or shade) trees must not be more than fifteen (15) feet in height within or near the PNM (REA) Easement.
 - Baricades shall be installed for any PNM structures/equipment as needed during construction. PNM shall be contacted to coordinate installation of baricades. Costs and coordination are the responsibility of the contractor.
 - Contractor shall comply with all the National Electrical Safety Code clearance requirements for all construction near any power lines.
 - Contractor shall comply with any and all conditions within "PNM EASEMENT ENCROACHMENT AGREEMENT".

MATCHLINE - SEE SHEET 18



CONTRACTOR SHALL MEET OSHA AND ANY OTHER APPLICABLE SAFETY REQUIREMENTS.

- ADDITIONAL NOTES:**
- THE CONTRACTOR SHALL RETURN ALL DISTURBED AREAS BACK TO EXISTING GRADE WITH A SMOOTH SURFACE WHERE NO PROPOSED CONTOURS ARE SHOWN.
 - THE CONTRACTOR SHALL CONSTRUCT REINFORCED CONCRETE PIPE WITH TYPE 1 TRENCH INSTALLATION PER NMDOT DETAIL 206-01.



REVISIONS (OR CHANGE NOTICES)	
NO.	DESCRIPTION
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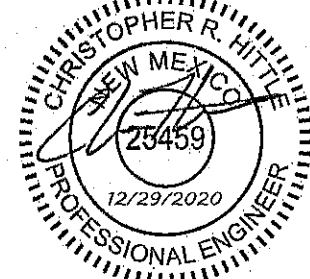
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 8006
RIO RANCHO, NEW MEXICO 87108
(505) 838-2200, FAX (505) 797-9539

LOS DIAMANTES
OFF SITE REGIONAL POND

GRADING & DRAINAGE PLAN

ENGINEER'S SEAL



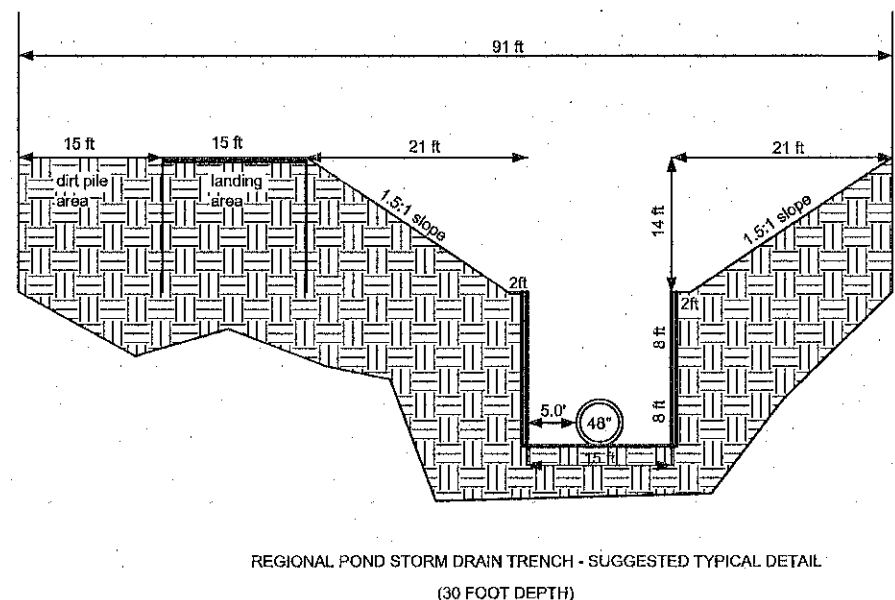
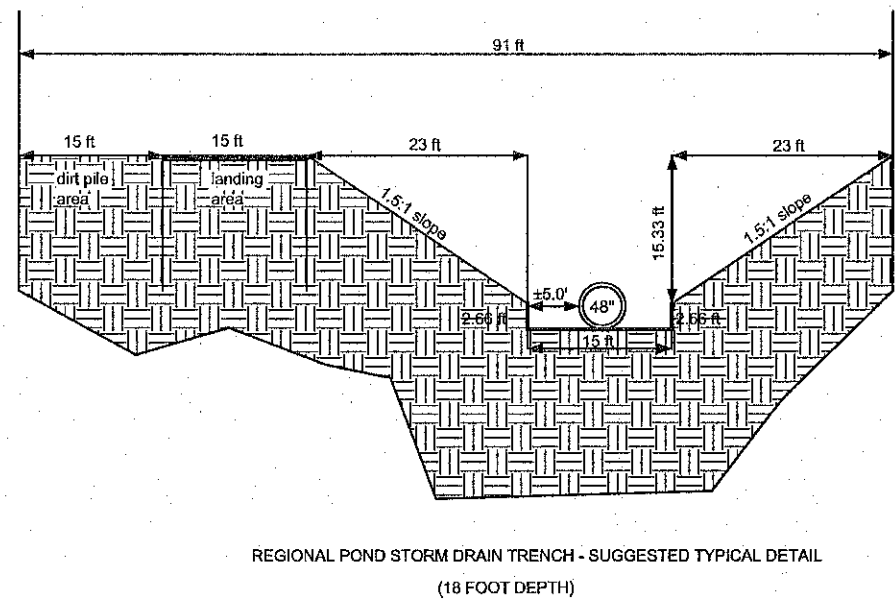
PROJECT NO. 10820
DESIGNED BY: CRH
DRAWN BY: KJJ
CHECKED BY: CRH
DATE: 12/28/20

DPW CHK:

SHEET:

NOTES:

1. All construction equipment must maintain fifteen (15) feet vertical and horizontal clearance from all wires and structures within or near the PNM (REA) Easement.
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NOTES:

1. THE CONTRACTOR SHALL RETURN ALL DISTURBED AREAS BACK TO EXISTING GRADE WITH A SMOOTH SURFACE WHERE NO PROPOSED CONTOURS ARE SHOWN.
2. THE CONTRACTOR SHALL CONSTRUCT REINFORCED CONCRETE PIPE WITH TYPE 1 TRENCH INSTALLATION PER NMDOT DETAIL 206-01.
3. LARGE BOULDERS SHALL BE PLACED AT THE EDGE OF THE EASEMENT ALONG THE SEGMENT OF RAISED PIPE (Sta. 1+90 TO Sta. 4+95).

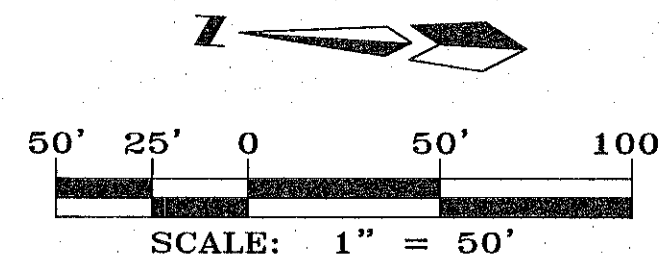
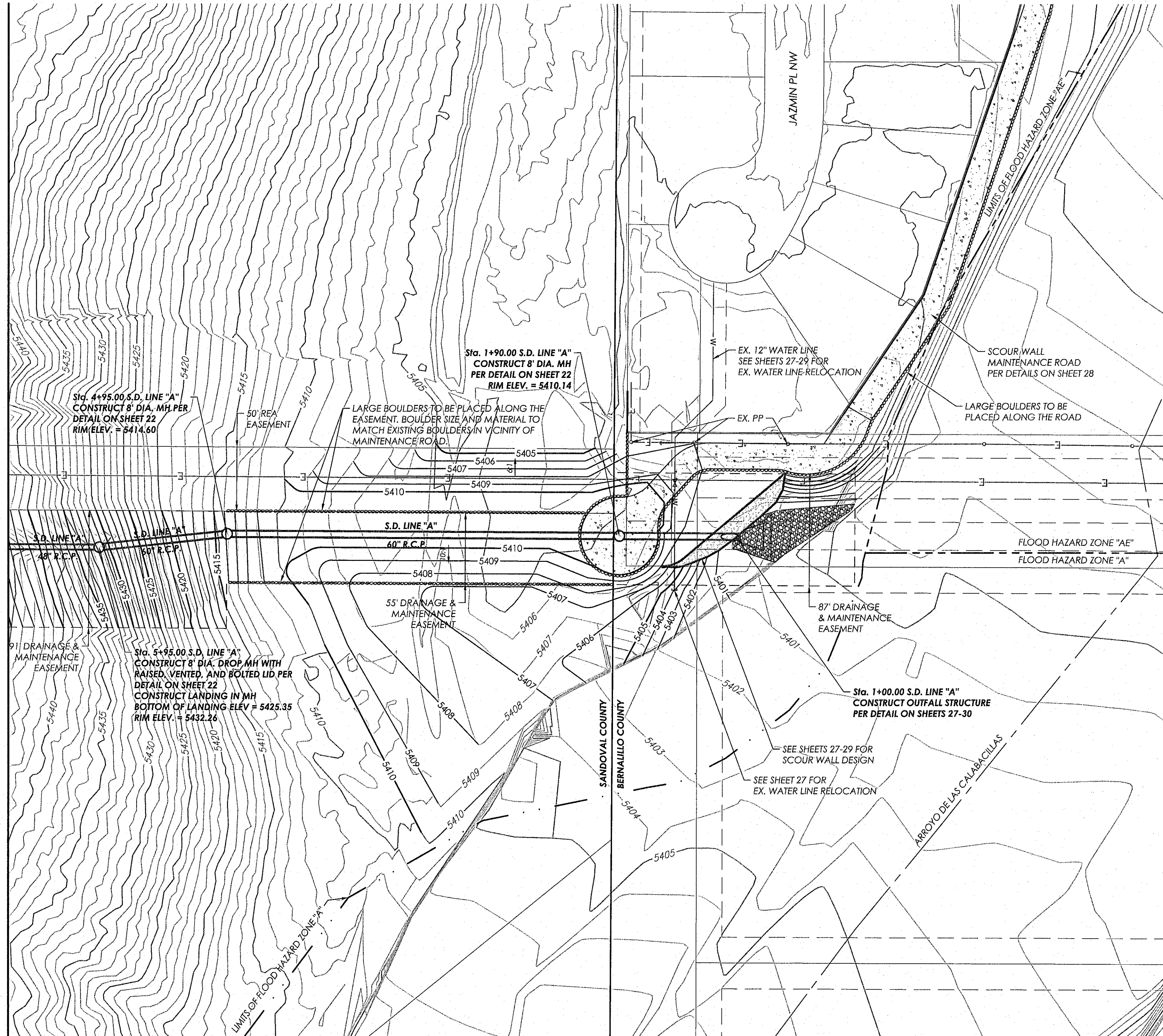
CAUTION:

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS TO CONDUCT ALL THE NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

LEGEND

6" STANDARD CURB & GUTTER	
8" STANDARD CURB & GUTTER	
STANDARD MEDIAN CURB & GUTTER	
RETAINING WALLS THIS PROJECT	
EXISTING CONTOUR MAJOR	5520
EXISTING CONTOUR MINOR	5520
PROPOSED CONTOUR MAJOR	5520
PROPOSED CONTOUR MINOR	5520
PROPOSED 0.5% SLOPE	0.5%
PROPOSED STORM DRAIN & MH	
PROPOSED STORM DRAIN & IMPACT BASIN	
LIMITS OF FLOOD HAZARD ZONE A	
LIMITS OF FLOOD HAZARD ZONE AE	

MATCHLINE - SEE SHEET 17



City of Rio Rancho

NO.	DESCRIPTION	DATE	BY
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REVISIONS (OR CHANGE NOTICES)

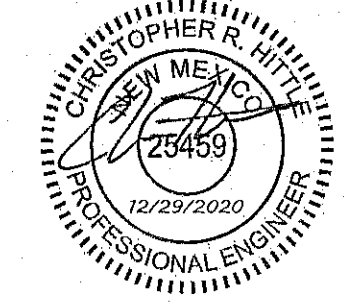
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 8406
RIO RANCHO, NEW MEXICO 87109
(505) 958-2200, FAX (505) 797-9559

LOS DIAMANTES
OFF SITE REGIONAL POND

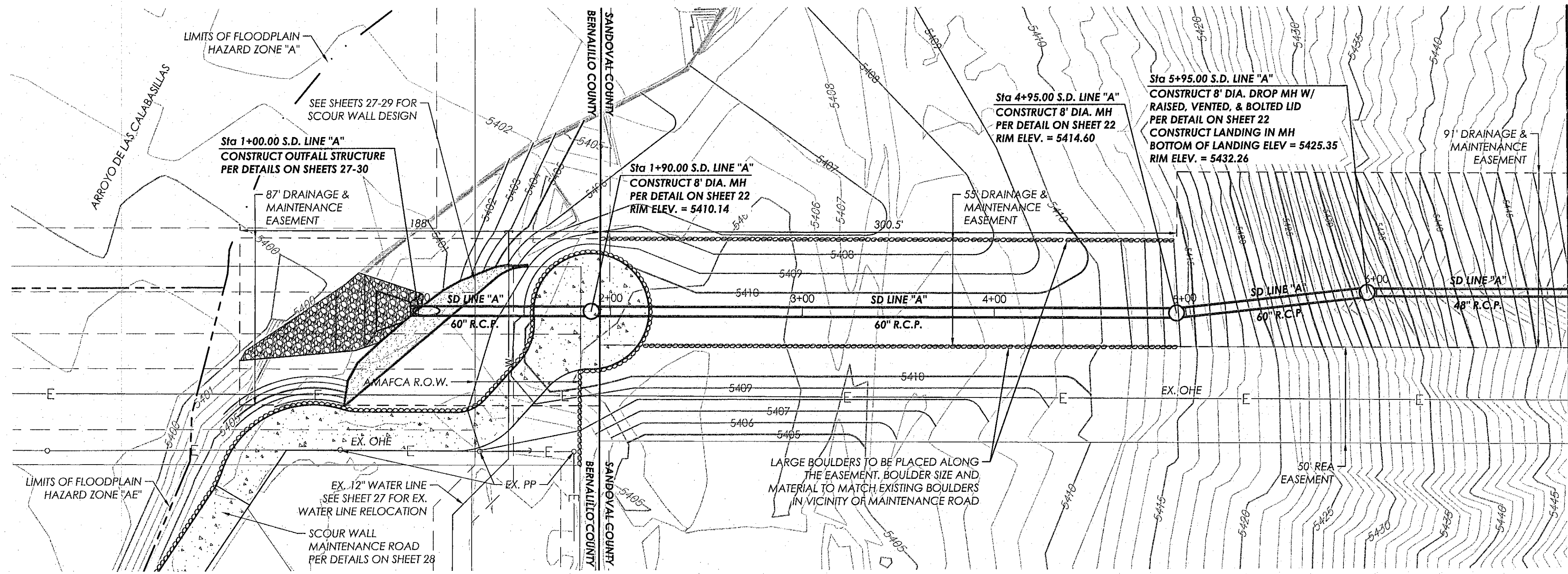
GRADING & DRAINAGE PLAN

ENGINEER'S SEAL

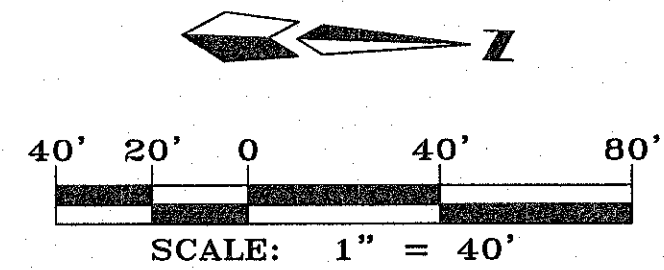


PROJECT NO.	10820
DESIGNED BY:	CRH
DRAWN BY:	KJJ
CHECKED BY:	CRH
DATE:	12/28/20
DPW CHK:	

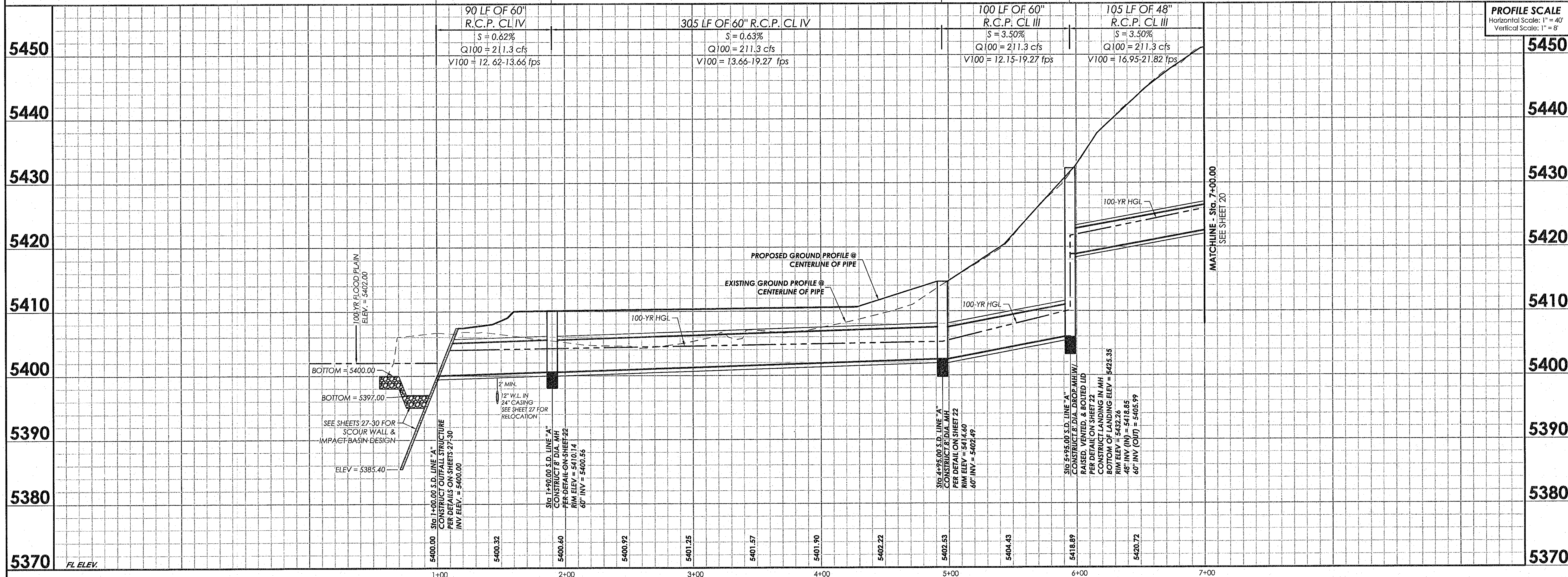
SHEET:



- NOTES:**
1. THE CONTRACTOR SHALL RETURN ALL DISTURBED AREAS BACK TO EXISTING GRADE WITH A SMOOTH SURFACE WHERE NO PROPOSED CONTOURS ARE SHOWN.
 2. THE CONTRACTOR SHALL CONSTRUCT REINFORCED CONCRETE PIPE WITH TYPE 1 TRENCH INSTALLATION PER NMDOT DETAIL 206-01.
 3. FOR DROP MANHOLES, CONSTRUCT MANHOLE OPENING AND STEPS PERPENDICULAR TO THE MAIN STORM DRAIN PIPE.
 4. LARGE BOULDERS SHALL BE PLACED AT THE EDGE OF THE EASEMENT ALONG THE SEGMENT OF RAISED PIPE (Sta. 1+90 TO Sta. 4+95).
 4. (#) = WSPGW MODEL ID



S.D. LINE "A"



PROFILE SCALE
Horizontal Scale: 1" = 40'
Vertical Scale: 1" = 8'

OWNER/DEVELOPER
LD DEVELOPMENT, LLC

LOS DIAMANTES
OFF SITE REGIONAL POND

ENGINEER'S SEAL

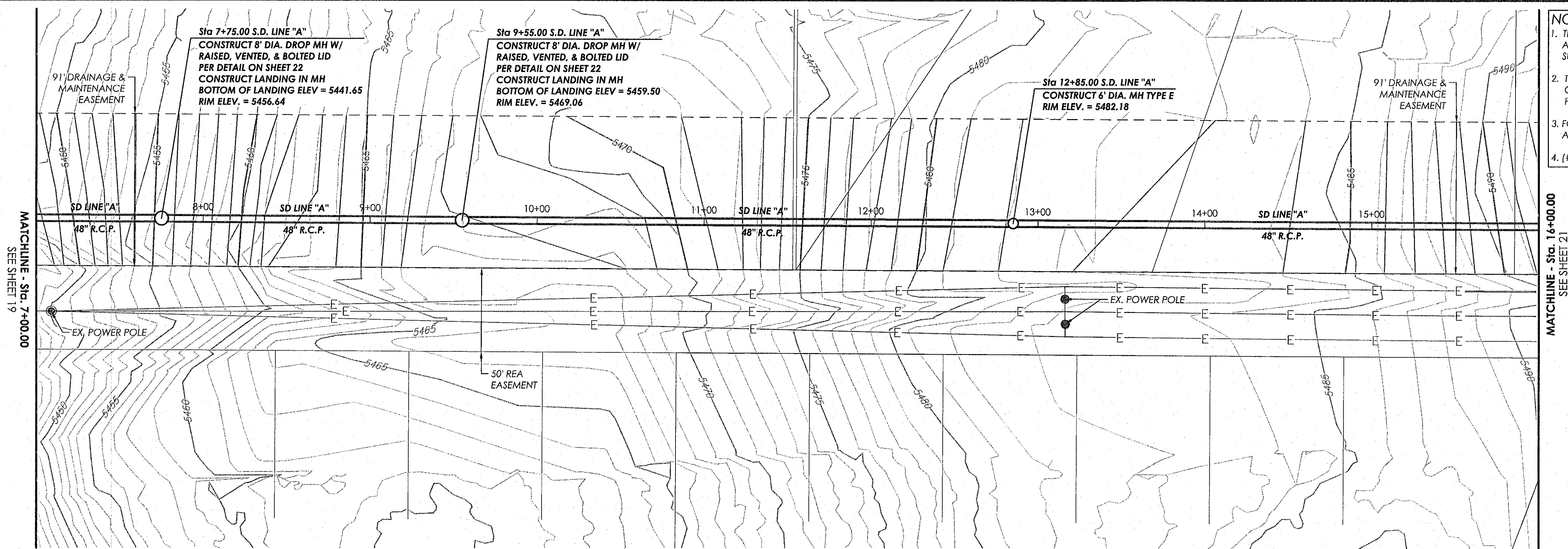
PROJECT NO. 10820
DESIGNED BY: CRH
DRAWN BY: KJJ
CHECKED BY: CRH
DATE: 12/28/20
DPW CHK:
SHEET:

STORM DRAIN LINE "A"
PLAN AND PROFILE

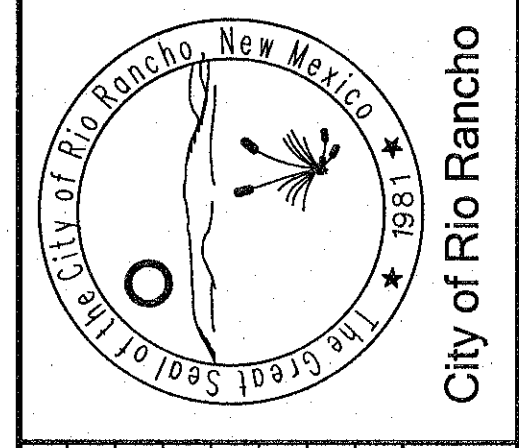
REVISIONS (OR CHANGE NOTICES)

NO.	DESCRIPTION	DATE	BY
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City of Rio Rancho



- NOTES:
1. THE CONTRACTOR SHALL RETURN ALL DISTURBED AREAS BACK TO EXISTING GRADE WITH A SMOOTH SURFACE WHERE NO PROPOSED CONTOURS ARE SHOWN.
 2. THE CONTRACTOR SHALL CONSTRUCT REINFORCED CONCRETE PIPE WITH TYPE 1 TRENCH INSTALLATION PER NMDOT DETAIL 206-01.
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 4. (#) = WSPGW MODEL ID



REVISIONS (OR CHANGE NOTICES)	
NO.	DESCRIPTION
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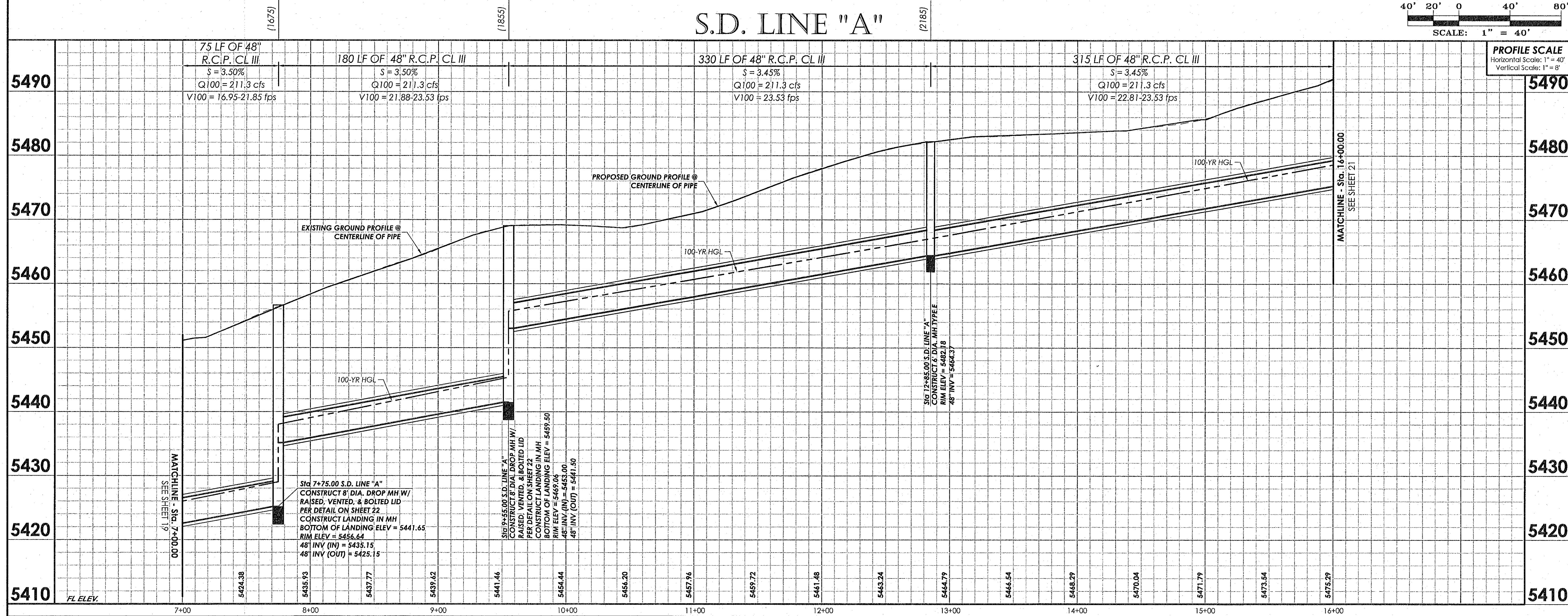
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

LOS DIAMANTES
OFF SITE REGIONAL POND

STORM DRAIN LINE "A"
PLAN AND PROFILE

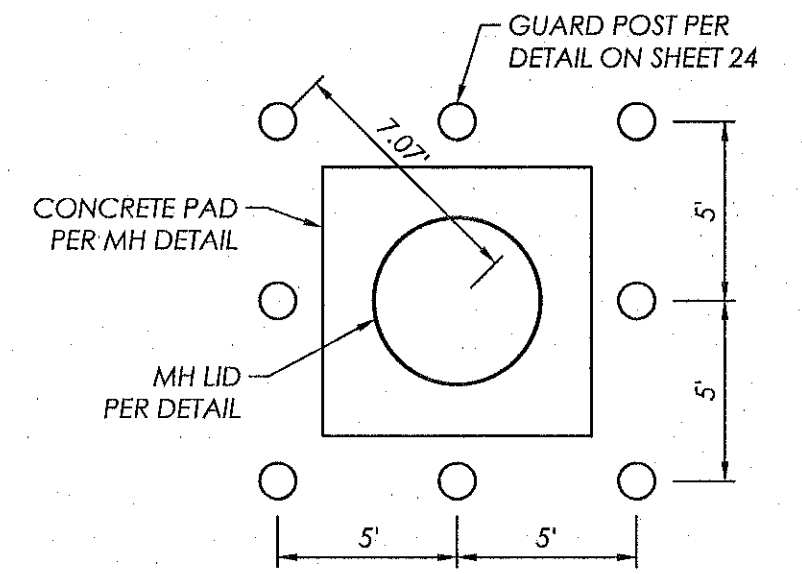
ENGINEER'S SEAL
MARK GOODWIN & ASSOCIATES, P.A.
P.E. 23455
12/29/2020
PROFESSIONAL ENGINEER

PROJECT NO. 10820
DESIGNED BY: CRH
DRAWN BY: KJJ
CHECKED BY: CRH
DATE: 12/28/20
DPW CHK:
SHEET: 20 of 30



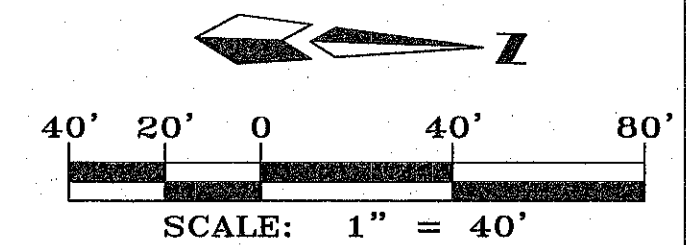
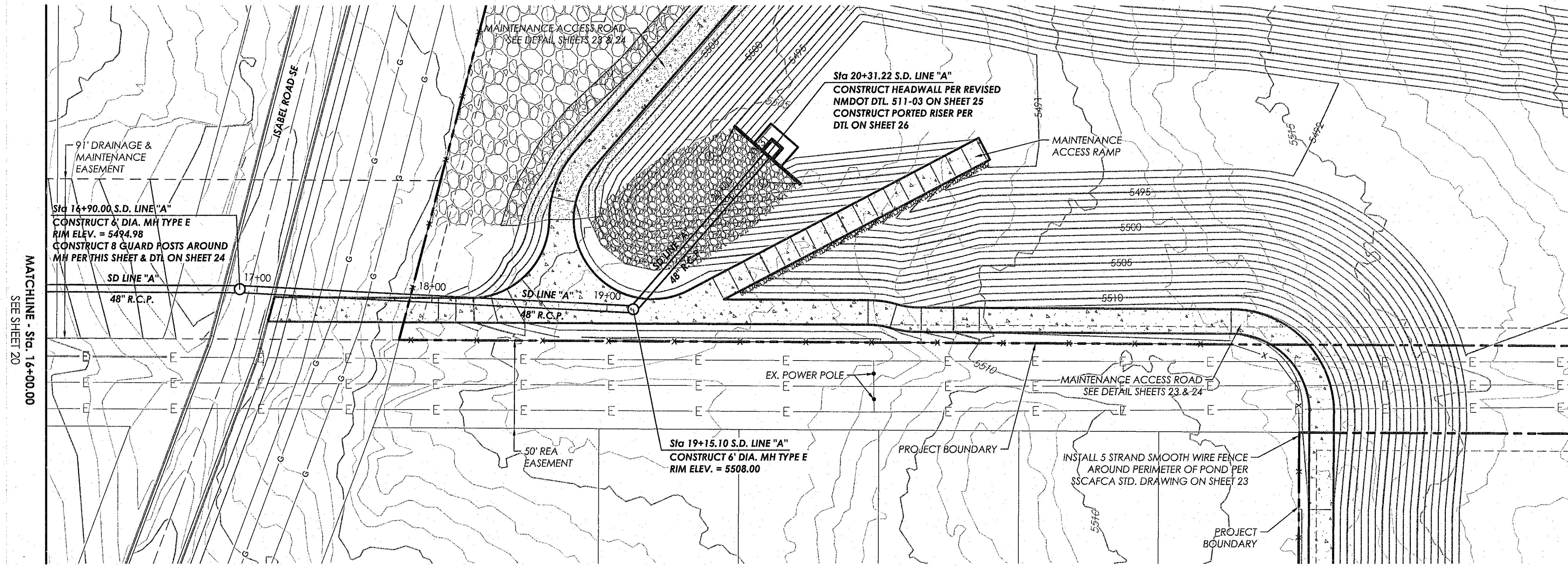
CONSTRUCTION NOTES

- CONSTRUCT CANTILEVER RETAINING WALL PER NMDOT DTL 511-80.
- RETAINING WALL TOP OF FOOTER ELEVATION TO MATCH HEADWALL TOP OF FOOTER ELEVATION.
H = 6' 2", L = 18'
TW = 5495.33



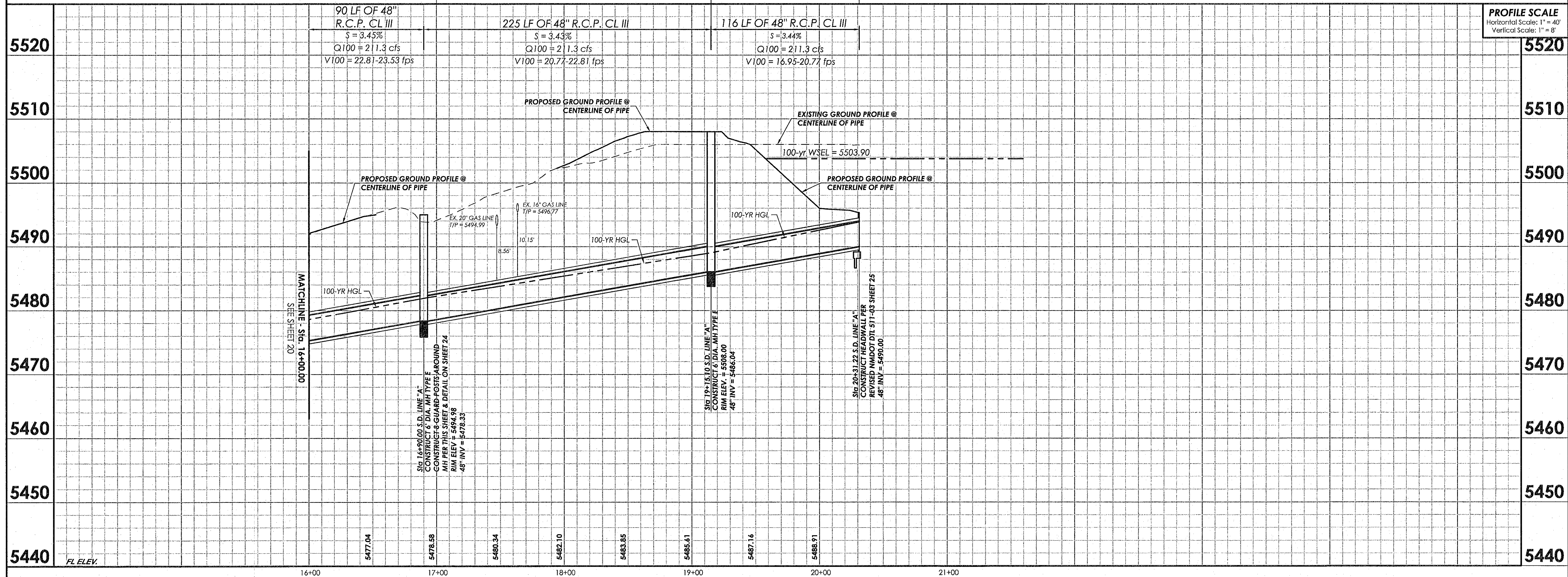
MANHOLE AND GUARD POST LAYOUT
N.T.S.

- NOTES:
- THE CONTRACTOR SHALL RETURN ALL DISTURBED AREAS BACK TO EXISTING GRADE WITH A SMOOTH SURFACE WHERE NO PROPOSED CONTOURS ARE SHOWN.
 - THE CONTRACTOR SHALL CONSTRUCT REINFORCED CONCRETE PIPE WITH TYPE 1 TRENCH INSTALLATION PER NMDOT DETAIL 206-01.
 - FOR DROP MANHOLES, CONSTRUCT MANHOLE OPENING AND STEPS PERPENDICULAR TO THE MAIN STORM DRAIN PIPE.
 - [#] = WSPGW MODEL ID



PROFILE SCALE
Horizontal Scale: 1" = 40'
Vertical Scale: 1" = 8'

S.D. LINE "A"



City of Rio Rancho

City of Rio Rancho

REVISIONS (OR CHANGE NOTICES)	
NO.	DESCRIPTION
7	
6	
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1	

OWNER/DEVELOPER
LD DEVELOPMENT, LLC

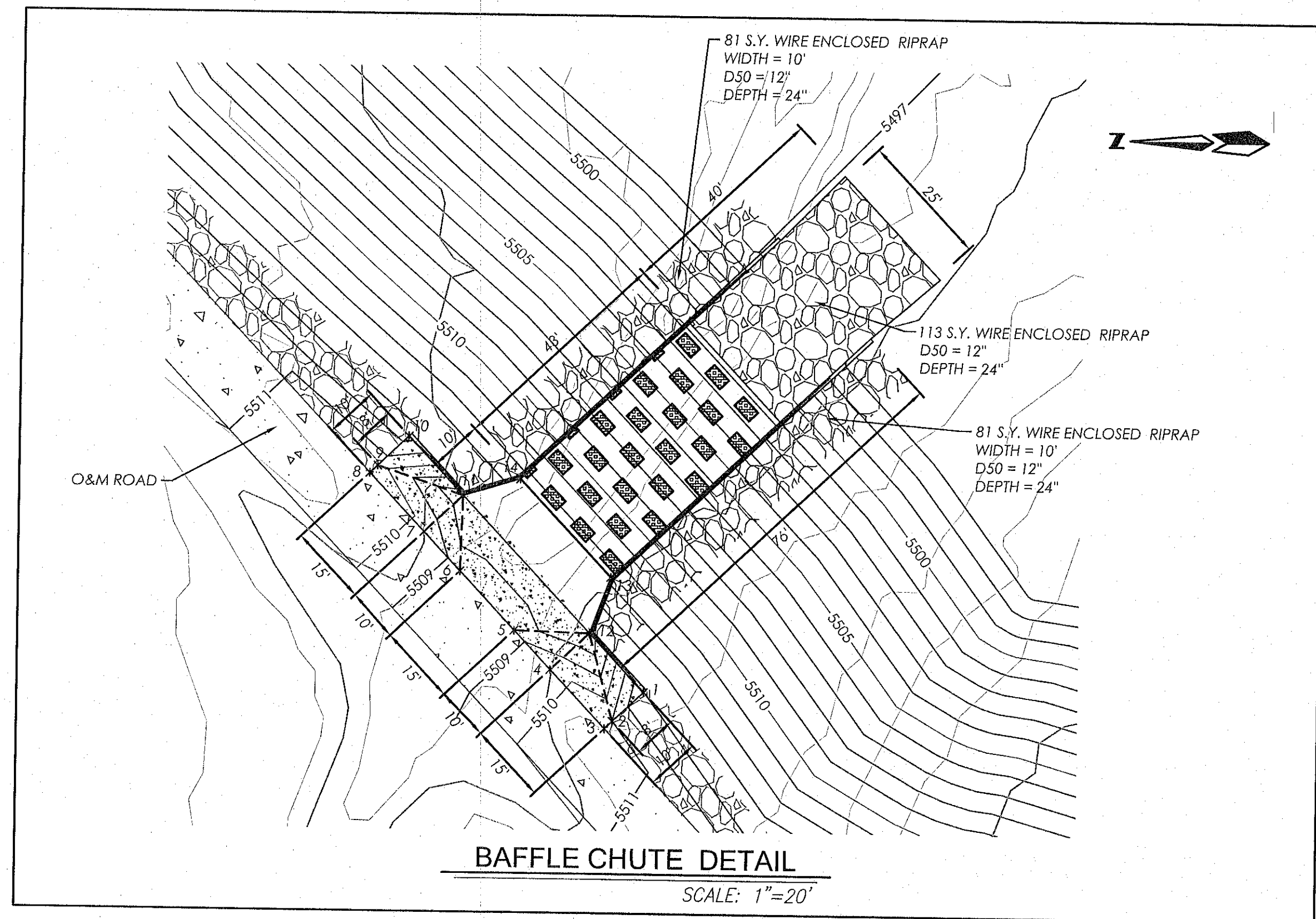
LOS DIAMANTES
OFF SITE REGIONAL POND

ENGINEER'S SEAL

STORM DRAIN LINE "A"
PLAN AND PROFILE

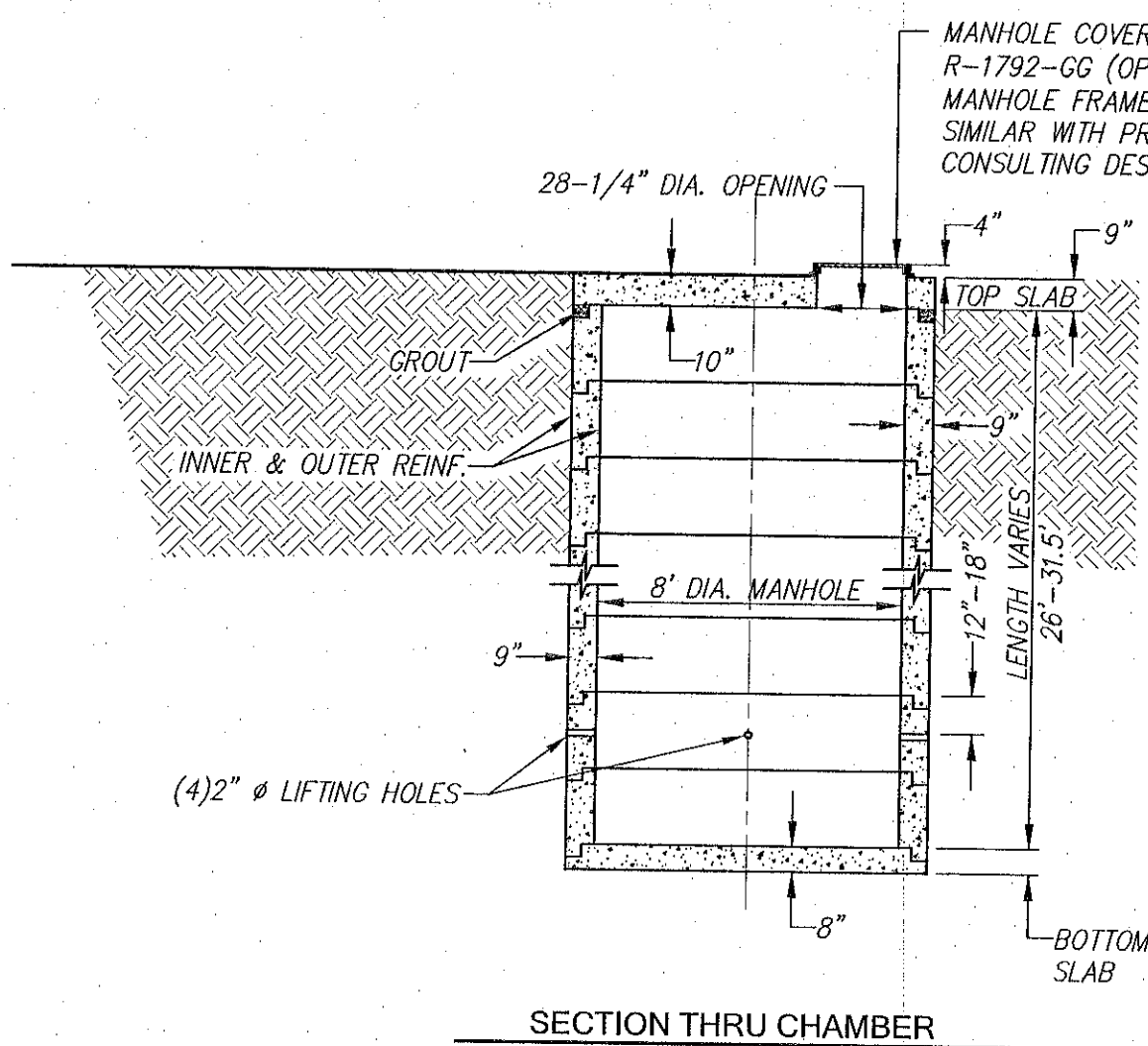
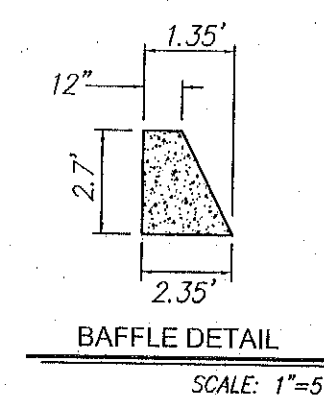
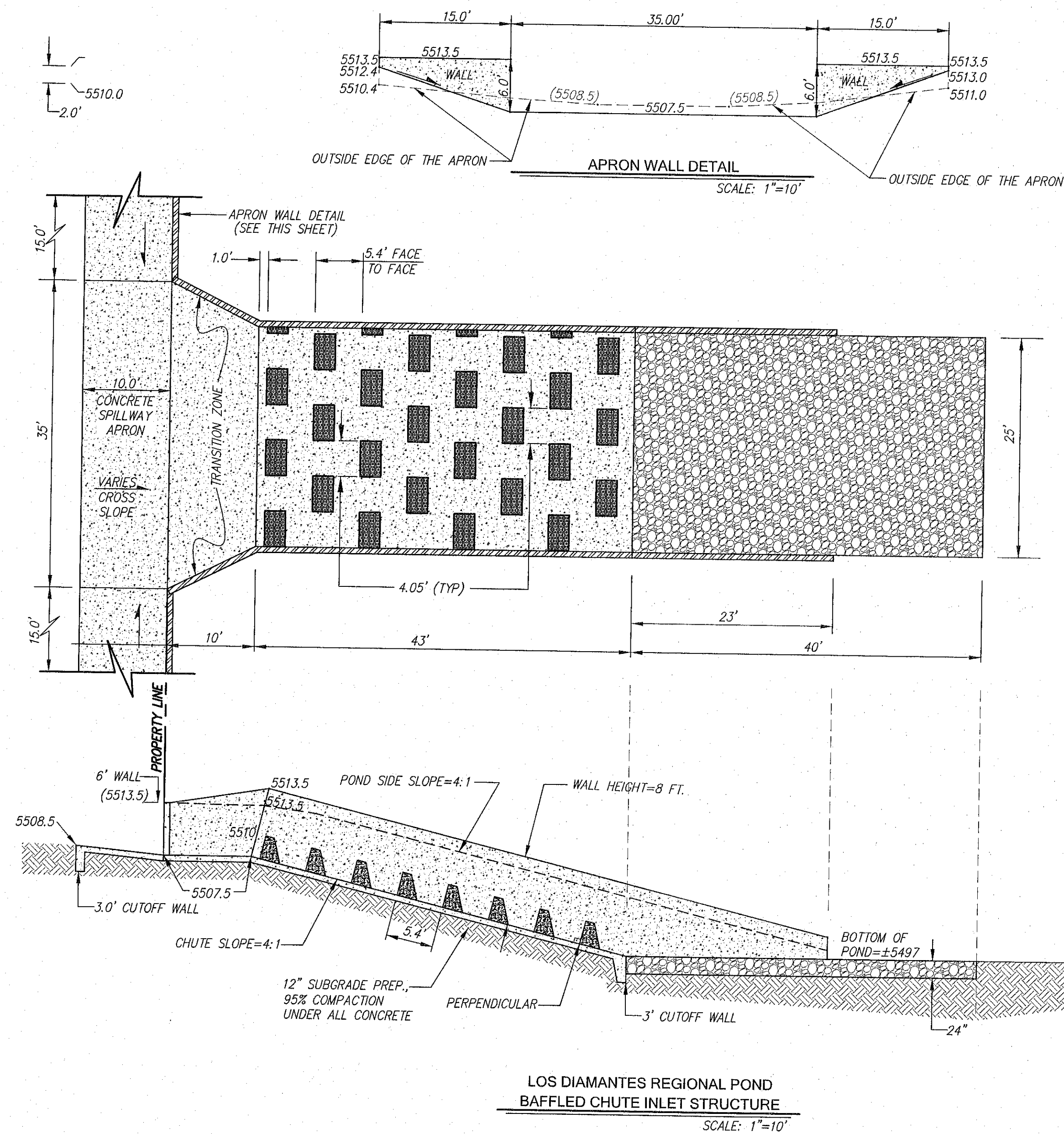
PROJECT NO.	10820
DESIGNED BY:	CRH
DRAWN BY:	KJJ
CHECKED BY:	CRH
DATE:	12/28/20
DPW CHK:	
SHEET:	21 of 30

F:\A\JOBS ACAD 2019\18033 Los Diamantes - Regional Pond Park\PLANS\UTILITIES\18033_POND BAFFLE CHUTE DETAILS-R.dwg, 12/30/2020 4:27:54 PM, Dwayne



NOTE:
TOP OF BERM TO REMAIN 5513.5
AND TIE TO EXISTING GROUND
ON BOTH SIDES OF BAFFLE CHUTE

POINT #	ELEVATION	NORTHING	EASTING	TOP WALL
1	5513.00	1537735.670	1498017.321	5513.50
2	5511.00	1537741.493	1498011.835	-
3	5511.00	1537742.948	1498010.463	-
4	5509.10	1537753.235	1498021.387	-
5	5508.50	1537760.092	1498028.660	-
6	5508.50	1537770.378	1498039.577	-
7	5509.10	1537777.235	1498046.861	-
8	5510.40	1537787.522	1498057.773	-
9	5510.40	1537786.066	1498059.145	-
10	5512.40	1537780.243	1498064.631	5513.50
11	5507.50	1537769.957	1498053.719	5513.50
12	5507.50	1537745.956	1498028.239	5513.50
13	5507.50	1537742.109	1498038.733	5515.50
14	5507.50	1537759.252	1498056.929	5515.50



8" DIA. MANHOLE DETAIL
SCALE: 1"=5'

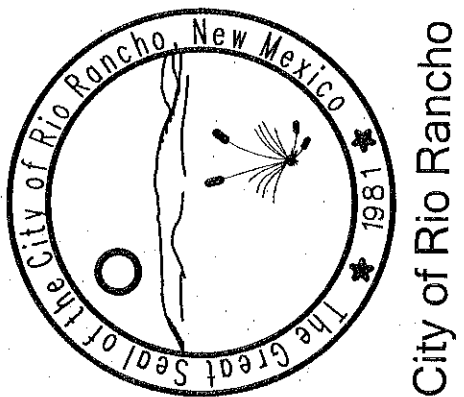
8" DIA. MANHOLE SPECIFICATIONS	
RISER WALL REINFORCEMENT	
MANHOLE	96" DIA.
WALL THICKNESS	9"
WALL REINF. (IN ² /FT) (INNER)	0.24
WALL REINF. (IN ² /FT) (OUTER)	0.24
TOP SLAB REINFORCEMENT	
TOP SLAB THICKNESS	10"
TOP LAYER REINF. (IN ² /FT)	0.62
BOTTOM LAYER REINF. (IN ² /FT)	1.19
BOTTOM LAYER BAR SIZE/SPACING	#7 @ 6" O.C.
REPLACEMENT STEEL BAR	(8) #7
APPROXIMATE WEIGHT (LBS.)	8,468
BOTTOM SLAB REINFORCEMENT	
BOTTOM SLAB THICKNESS	8"
TOP LAYER REINF. (IN ² /FT)	0.62
BOTTOM LAYER REINF. (IN ² /FT)	0.62
APPROXIMATE WEIGHT (LBS.)	7,088

RISER NOTES:

1. RISERS DESIGNED PER ASTM C-478.
2. MINIMUM CONCRETE STRENGTH (F'C)=4,000 psi (MIN.)
3. MINIMUM SPECIFIED YIELD STRESS (F'y)=60,000 psi (MIN.)
4. 1" (MIN.) CLEAR CONCRETE COVER OVER REINFORCEMENT.

TOP AND BOTTOM SLAB NOTES:

5. TOP SLAB DESIGNED PER ASTM C-478 (HS=20 LIVE LOAD).
6. MINIMUM CONCRETE STRENGTH (F'C)=4,000 psi (MIN.)
7. MINIMUM SPECIFIED YIELD STRESS (F'y)=60,000 psi (MIN.)
8. 1-1/2" (MIN.) CLEAR CONCRETE COVER OVER REINFORCEMENT.



City of Rio Rancho

NO.	DESCRIPTION	DATE	BY
7			
6			
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1			

REVISIONS (OR CHANGE NOTICES)

OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 10000
ALBUQUERQUE, NEW MEXICO 87108
(505) 858-2200, FAX (505) 977-9539

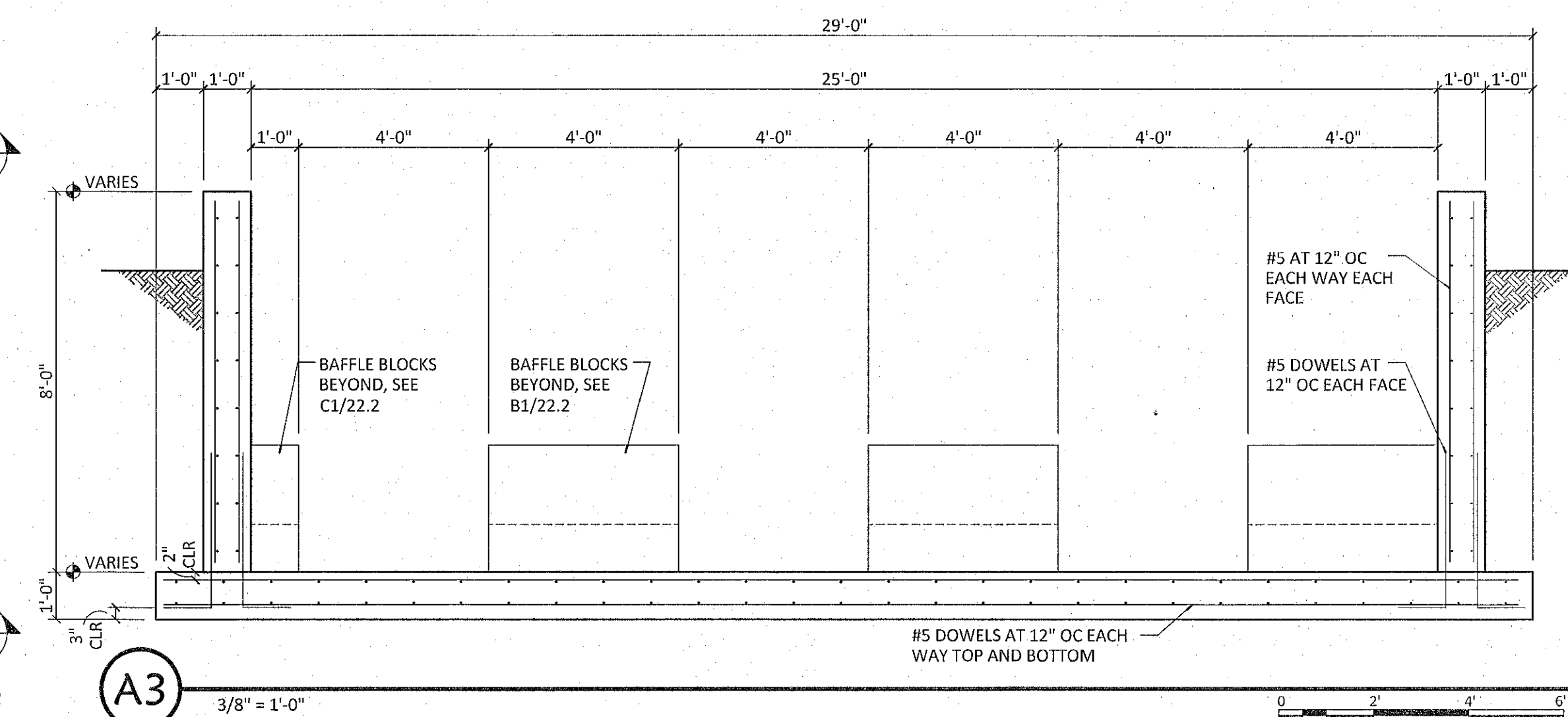
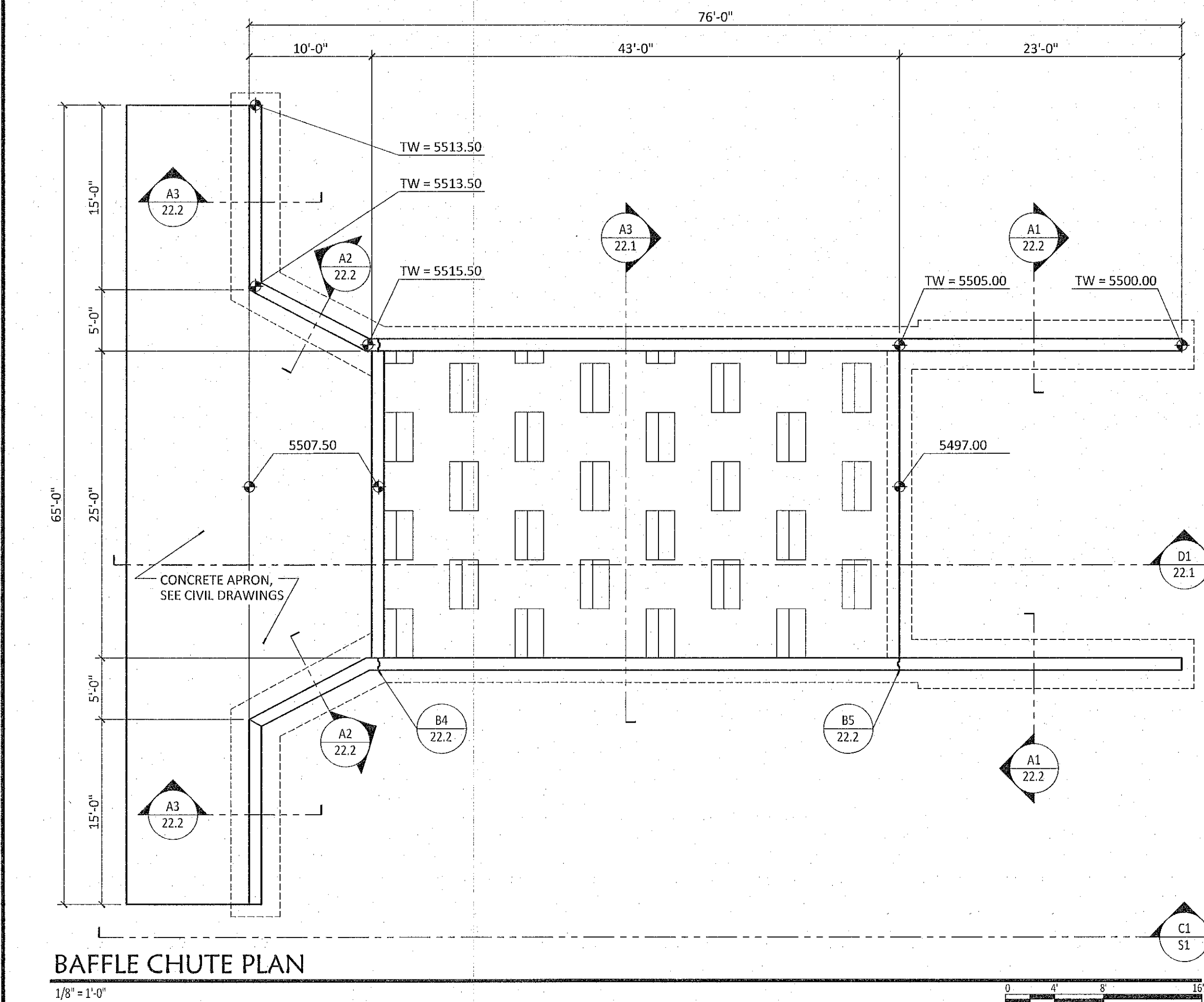
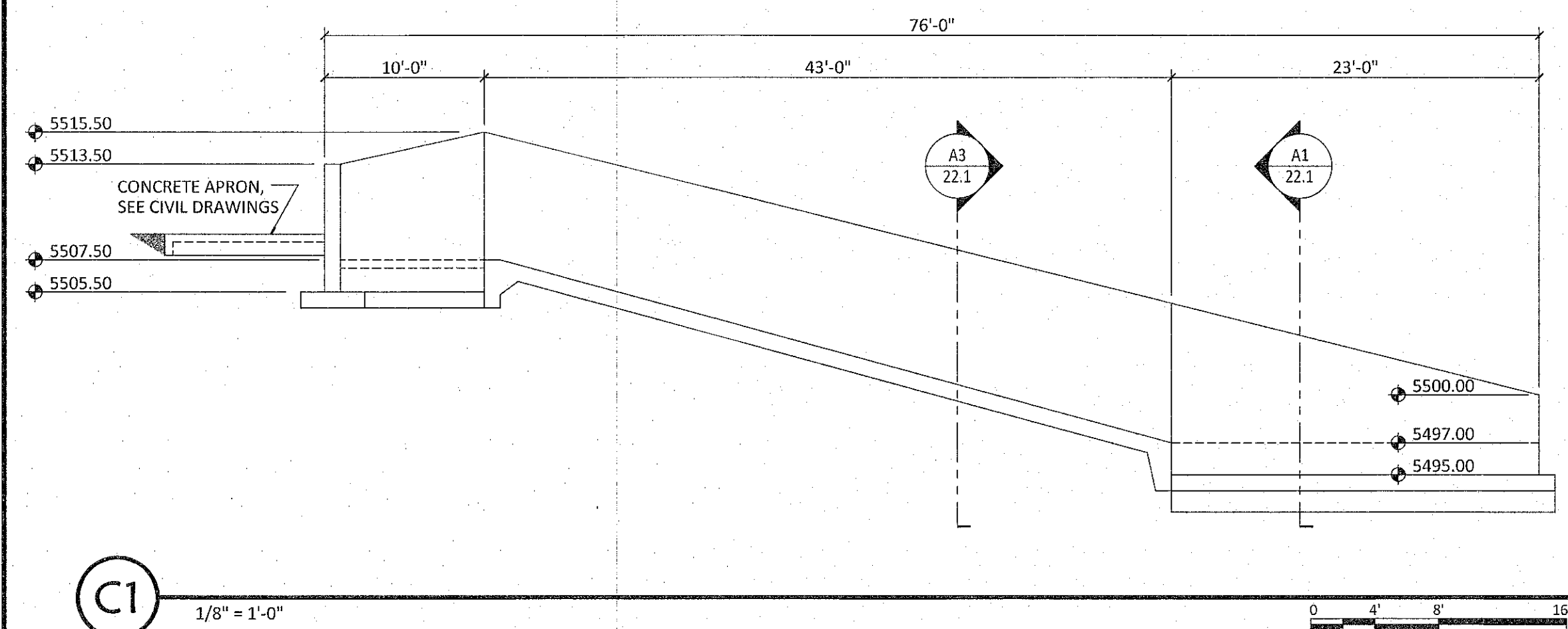
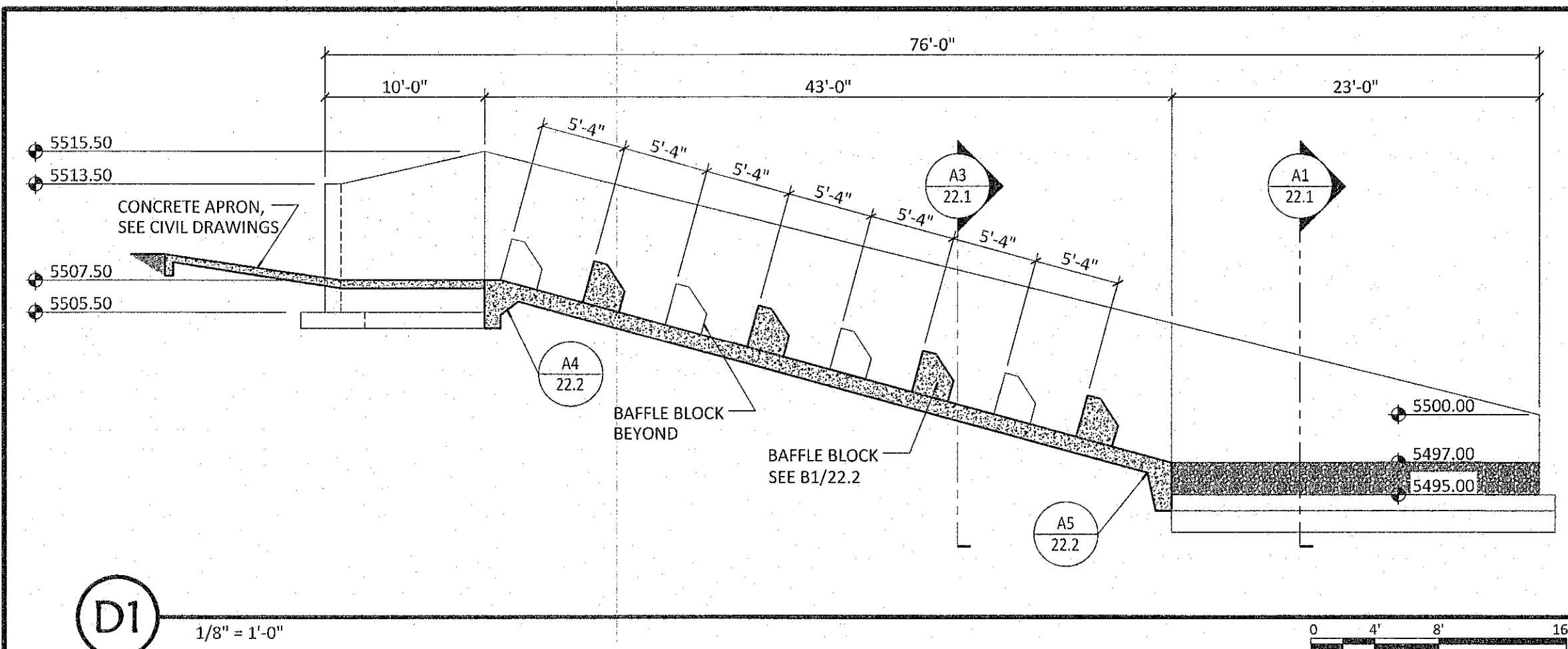
LOS DIAMANTES
OFF SITE REGIONAL POND

BAFFLE CHUTE AND
STORM DRAIN MANHOLE
DETAILS

ENGINEER'S SEAL

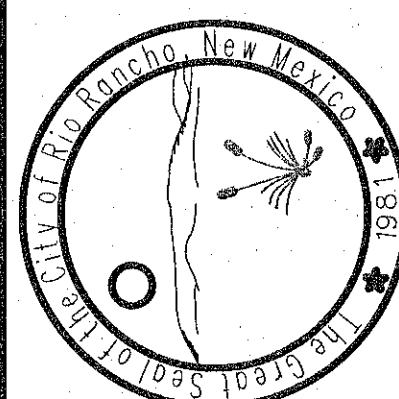


PROJECT NO. A18033
DESIGNED BY: DER
DRAWN BY: DER
CHECKED BY: DMG
DATE: 12/30/20
DPW CHK:
SHEET:



GENERAL STRUCTURAL NOTES

- Codes and Manuals
 - International Building Code, 2015 Edition
 - ACI 318-05
- Design Loads:
 - Equivalent Fluid Pressure = 35 pcf
 - Maximum allowable soil bearing pressure: 2,500 psf
- General
 - The contractor shall verify all dimensions in the field.
 - The contractor shall be responsible for providing safe and adequate shoring for all parts of the structure during construction.
- Materials
 - Cast-in-place Concrete:
 - Hardrock Concrete (Unit Weight = 150 pcf)
 - 4,000 psi @ 28 days (air entrained)
 - Provide 3/4" chamfer at all exposed edges
 - Reinforcing Steel
 - All reinforcing steel shall conform to ASTM A615 Grade 60
 - Reinforcing steel shall be fabricated and placed in accordance with the Building Code Requirements for Reinforced Concrete ACI 318 and the Standard Manual ACI 315
 - Where lapped splices in reinforcing occur, the minimum lap shall be made as follows:
 - Vertical reinforcing: 30 bar diameter or 18" minimum
 - Horizontal reinforcing: 30 bar diameter or 18" minimum
 - Horizontal corner bars: 30 bar diameter or 18" minimum
 - Concrete cover for reinforcing shall be as follows unless otherwise noted:
 - Concrete cast against and permanently exposed to earth: 3"
 - Concrete exposed to earth or weather:
 - Bars larger than No 5: 2"
 - Bars No 5 or smaller: 1 1/2"
 - All horizontal reinforcing in footings, walls, and beams shall be continuous around corners or have corner bars of the same size and spacing as the horizontal bars and lap a minimum of 30 bar diameters or 24" minimum
- Site Grading and Earthwork:
 - Foundation Preparation:
 - Building areas shall be completely stripped of vegetation, pavements, existing construction and debris, and soft or muddy areas
 - Foundations:
 - Over excavate beneath bottom elevation of all footings a minimum of two feet
 - The excavation shall extend a minimum of two feet laterally beyond the edge of all foundations.
 - The exposed bottoms of excavations shall be scarified to a depth of 8", moistened within optimum moisture (+/- 2%), and compacted to a minimum of 95% of maximum density as determined by ASTM D-1557.
 - The structural fill shall be thoroughly mixed within optimum moisture (+/- 2%), placed in thin horizontal lifts, 6" maximum loose depth, and compacted to a minimum of 95% of maximum density as determined by ASTM D-1557.
 - Backfill:
 - All backfill should be thoroughly mixed within optimum moisture (+/- 2%), placed in thin horizontal lifts, 6" maximum loose depth, and compacted to a minimum of 95% of maximum density as determined by ASTM D-1557.
 - Site Drainage:
 - Provide positive surface drainage away from foundation excavations during construction



City of Rio Rancho

NO.	DESCRIPTION	DATE	BY
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REVISIONS (OR CHANGE NOTICES)

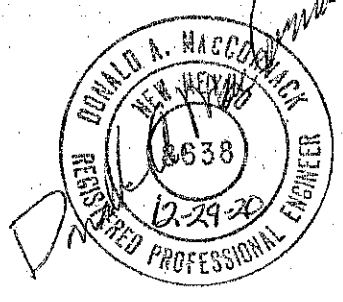
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ENGINEERS
P.O. BOX 10000, RIO RANCHO, NM 87102
(800) 352-3300, FAX (505) 797-8839

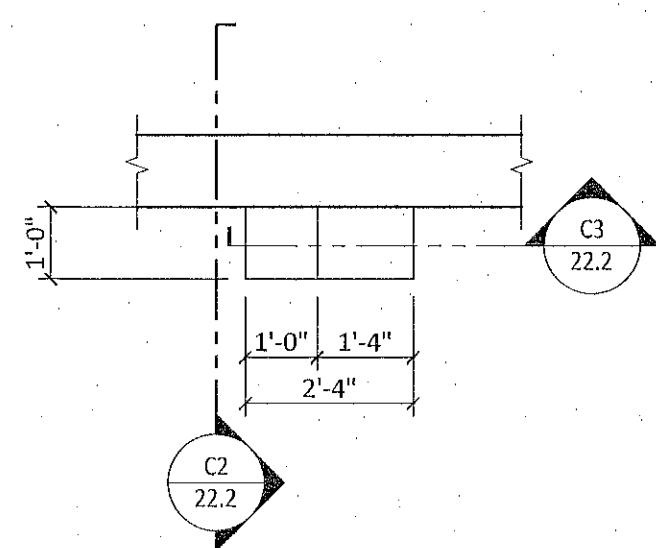
LOS DIAMANTES
10th ST SE INFRASTRUCTURE

BAFFLE CHUTE PLAN AND DETAILS
GENERAL STRUCTURAL NOTES

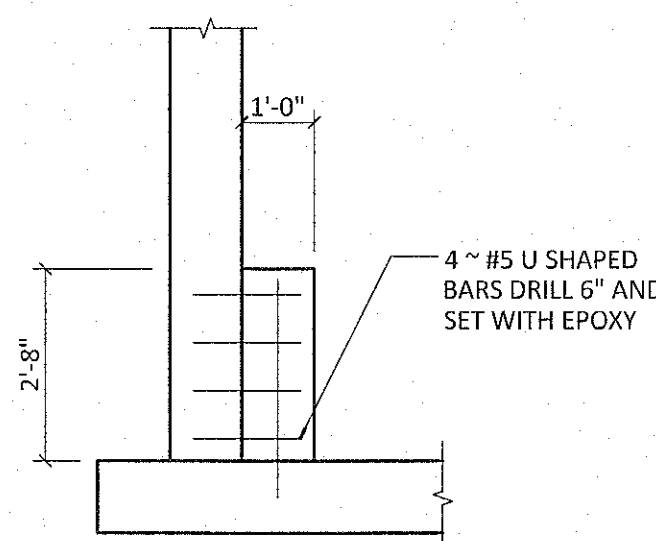
ENGINEER'S SEAL



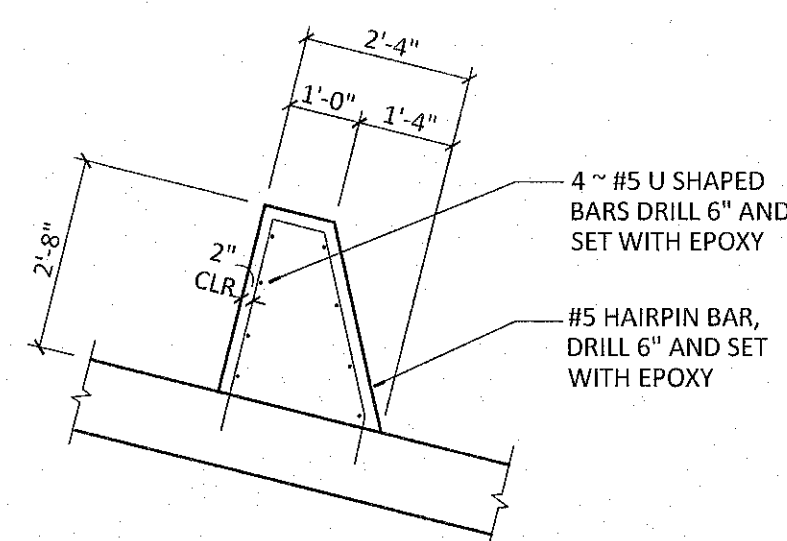
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DESIGNED BY: **DM**
DRAWN BY: **DM**
CHECKED BY: **DM**
DATE: **06/05/2020**
DPW CHK:
SHEET:



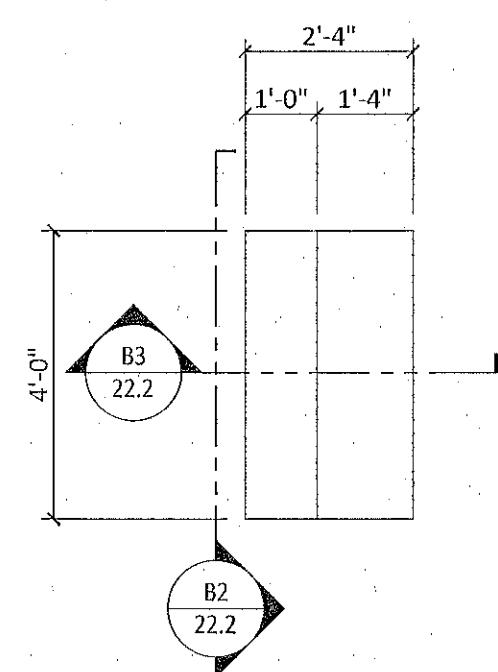
C1 PLAN VIEW
3/8" = 1'-0"



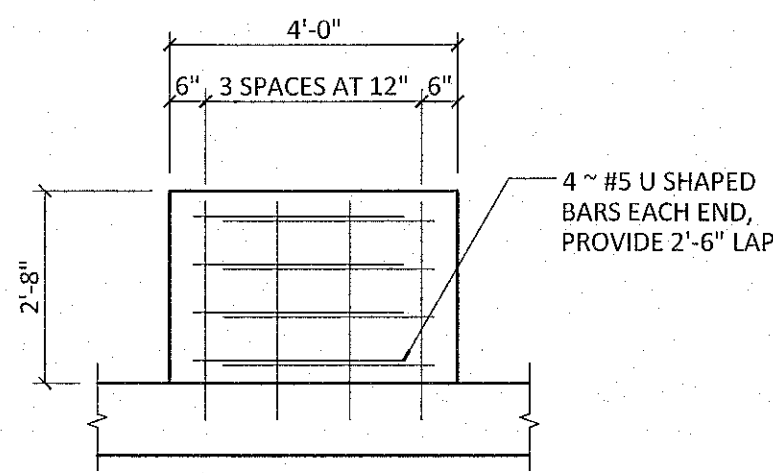
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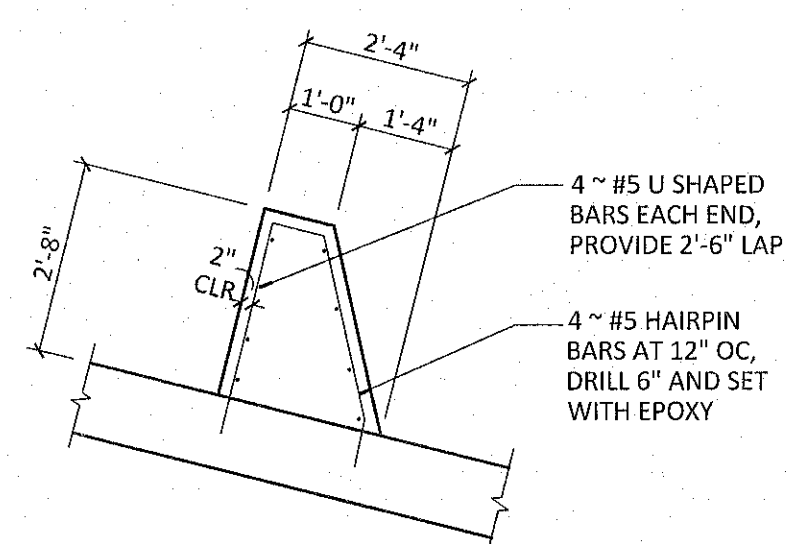
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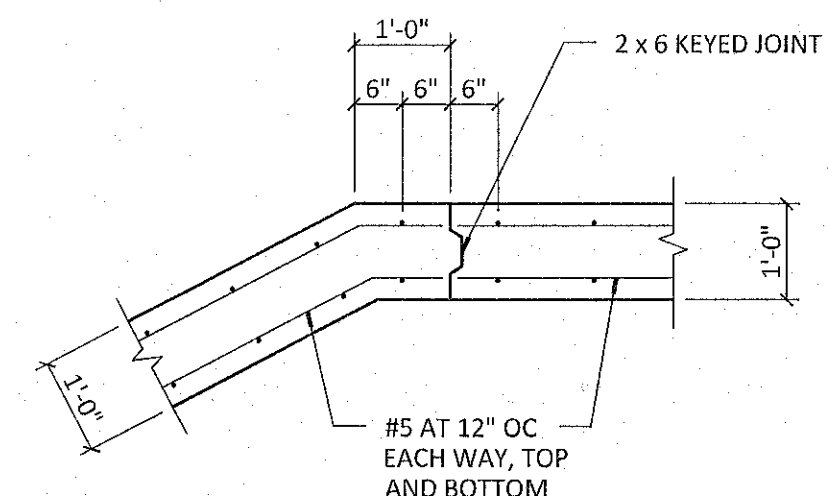
B1 PLAN VIEW
3/8" = 1'-0"



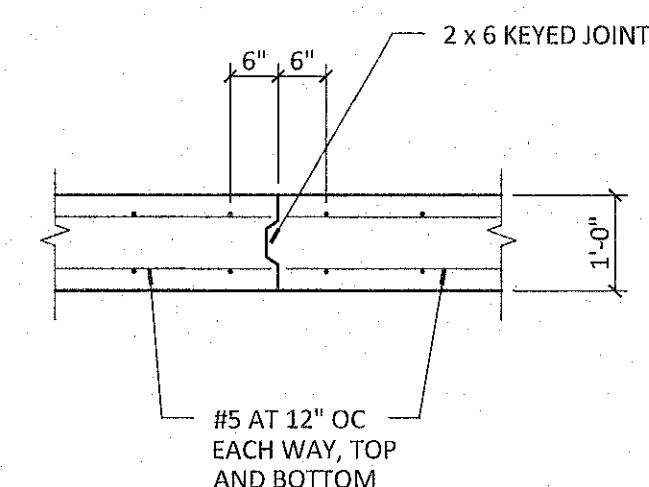
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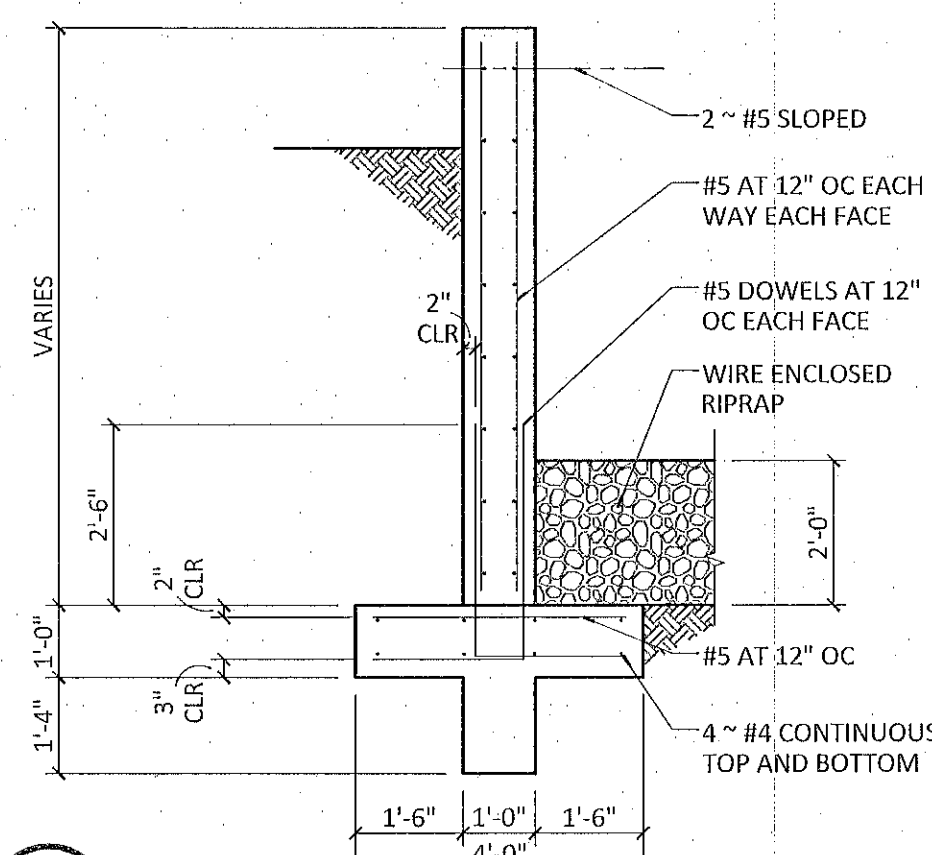
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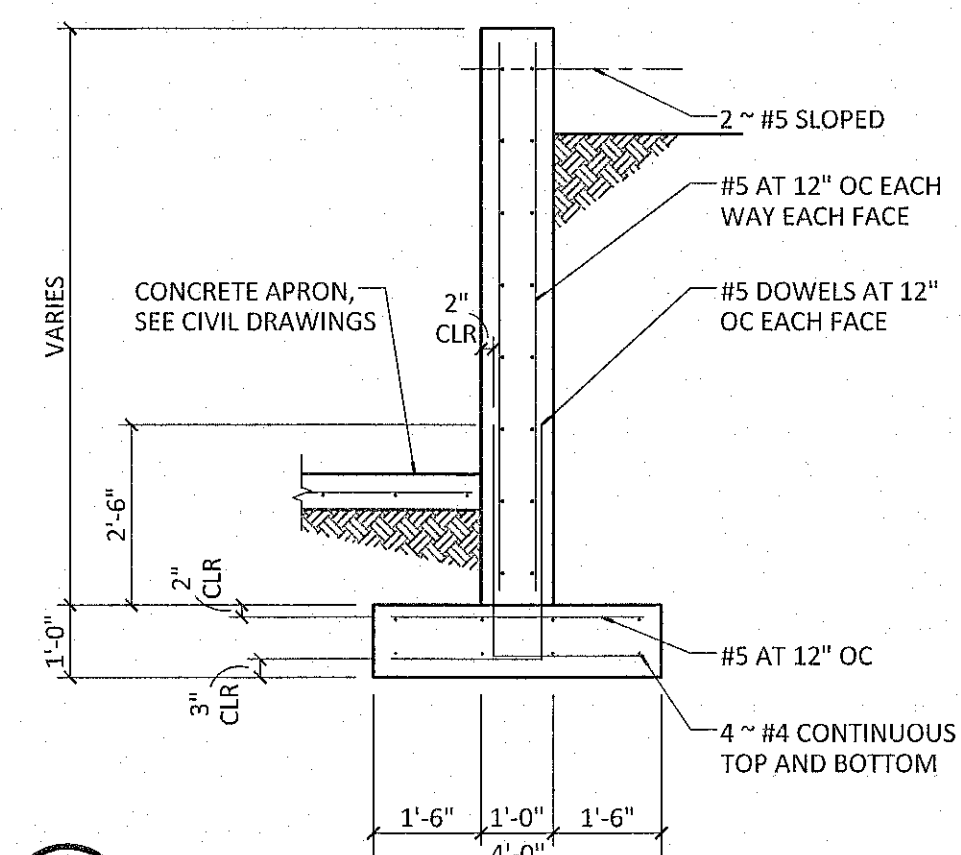
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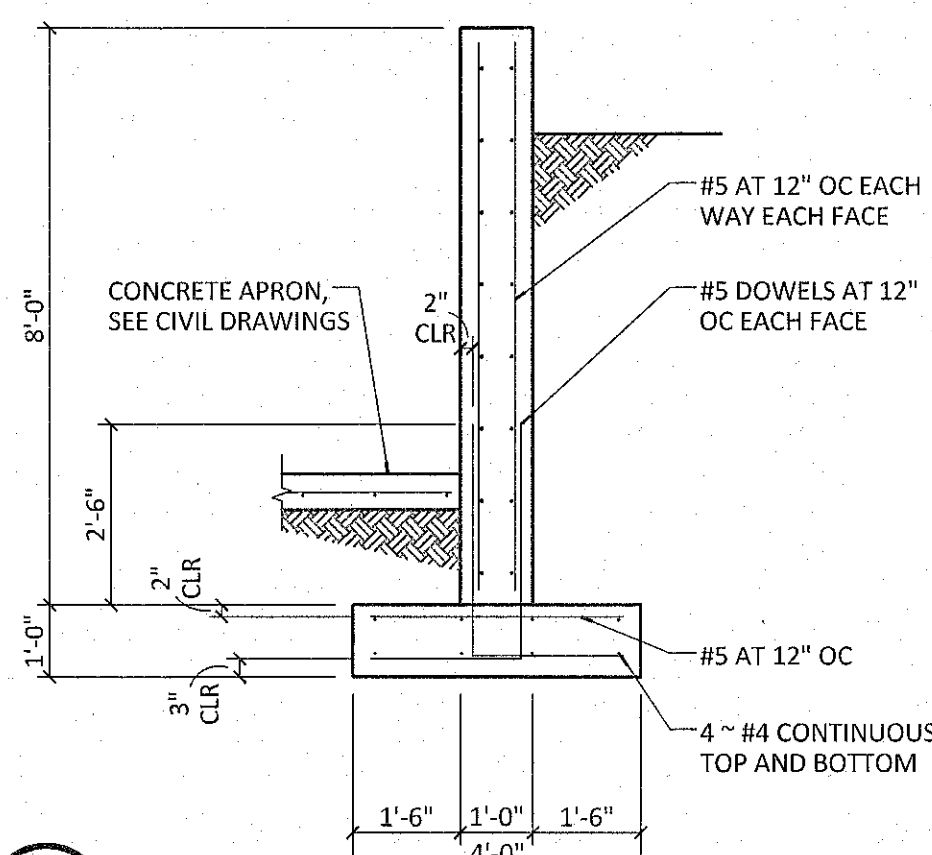
B5
1/2" = 1'-0"



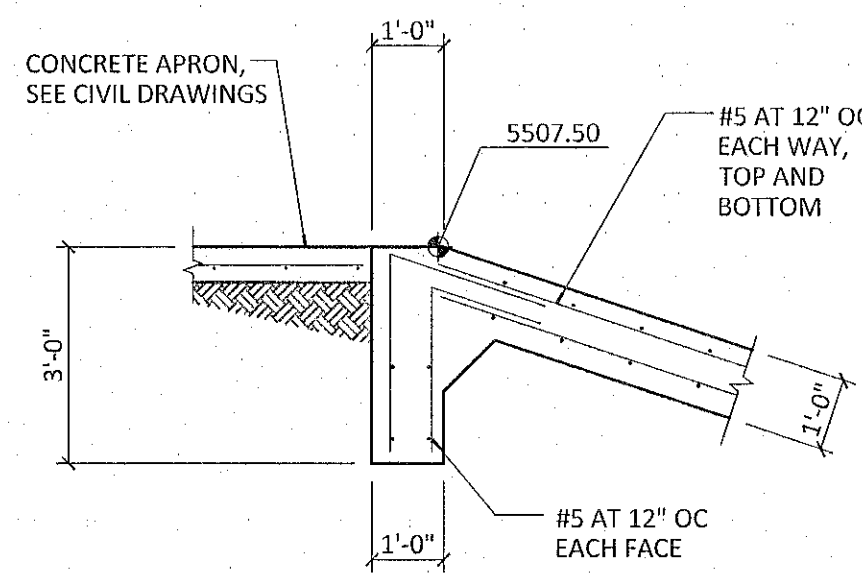
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3/8" = 1'-0"



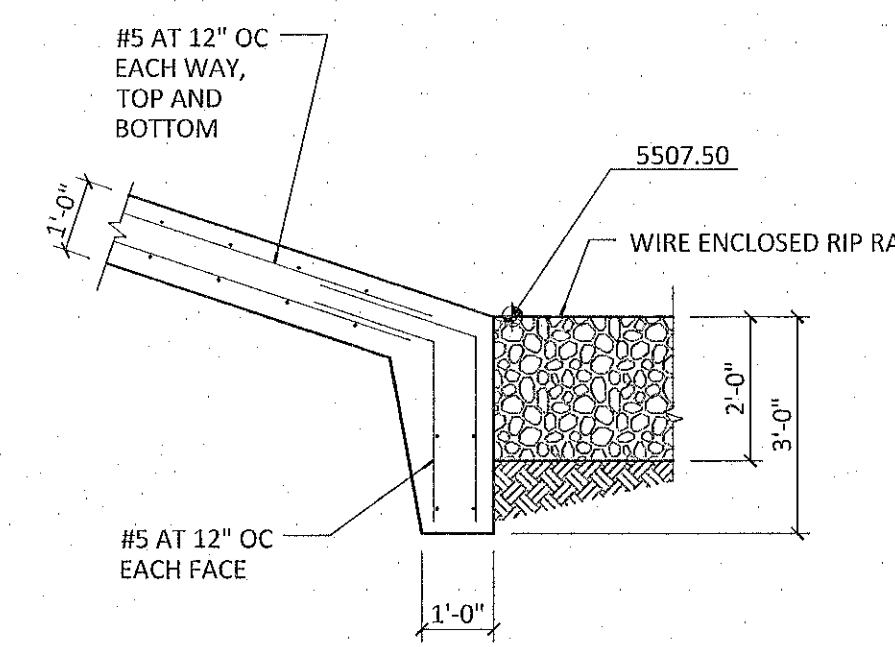
A2
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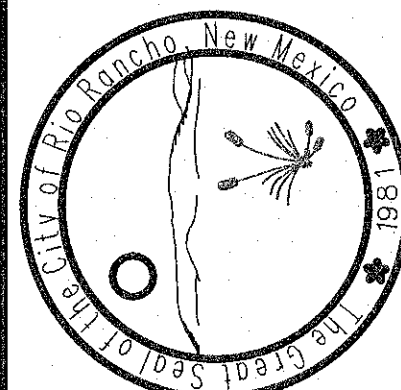
A3
3/8" = 1'-0"



A4
3/8" = 1'-0"



A5
3/8" = 1'-0"



City of Rio Rancho

NO.	DESCRIPTION	DATE	BY
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REVISIONS (OR CHANGE NOTICES)

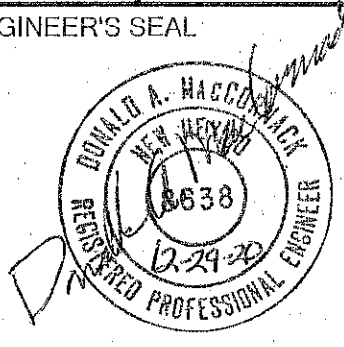
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
10000 1ST AVENUE, N.E.
ALBUQUERQUE, NM 87109
(505) 883-2500, FAX (505) 883-3535

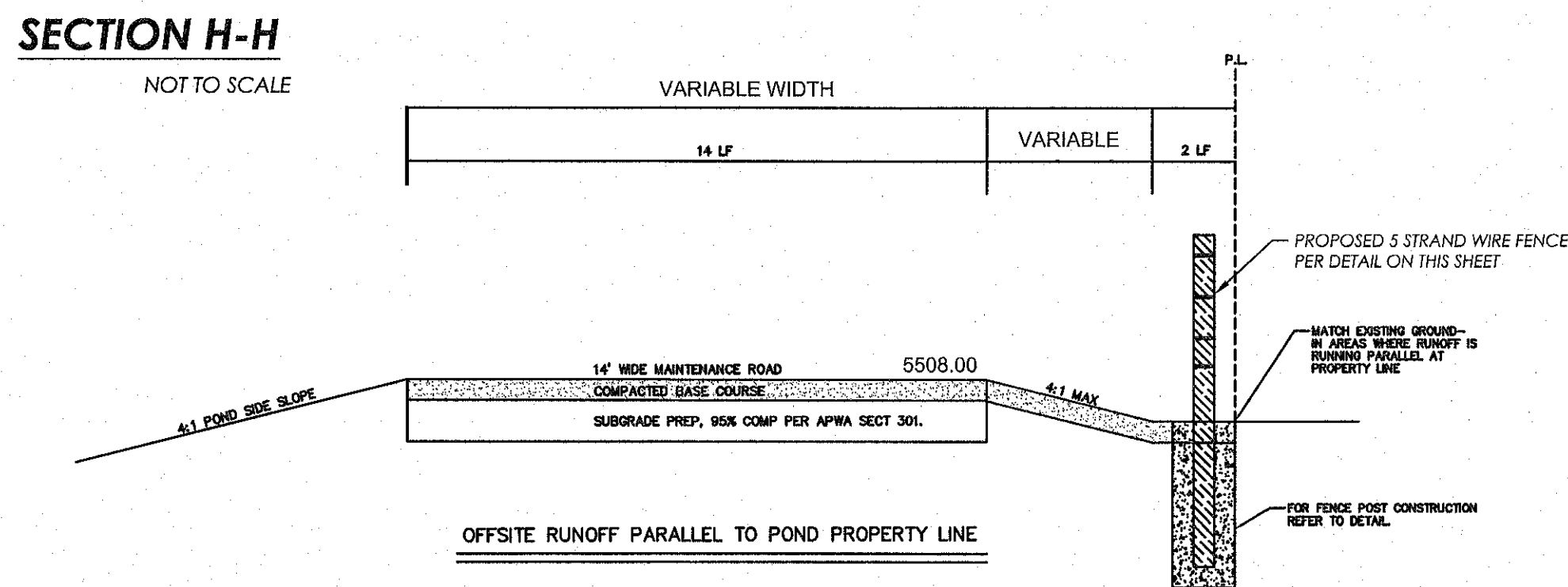
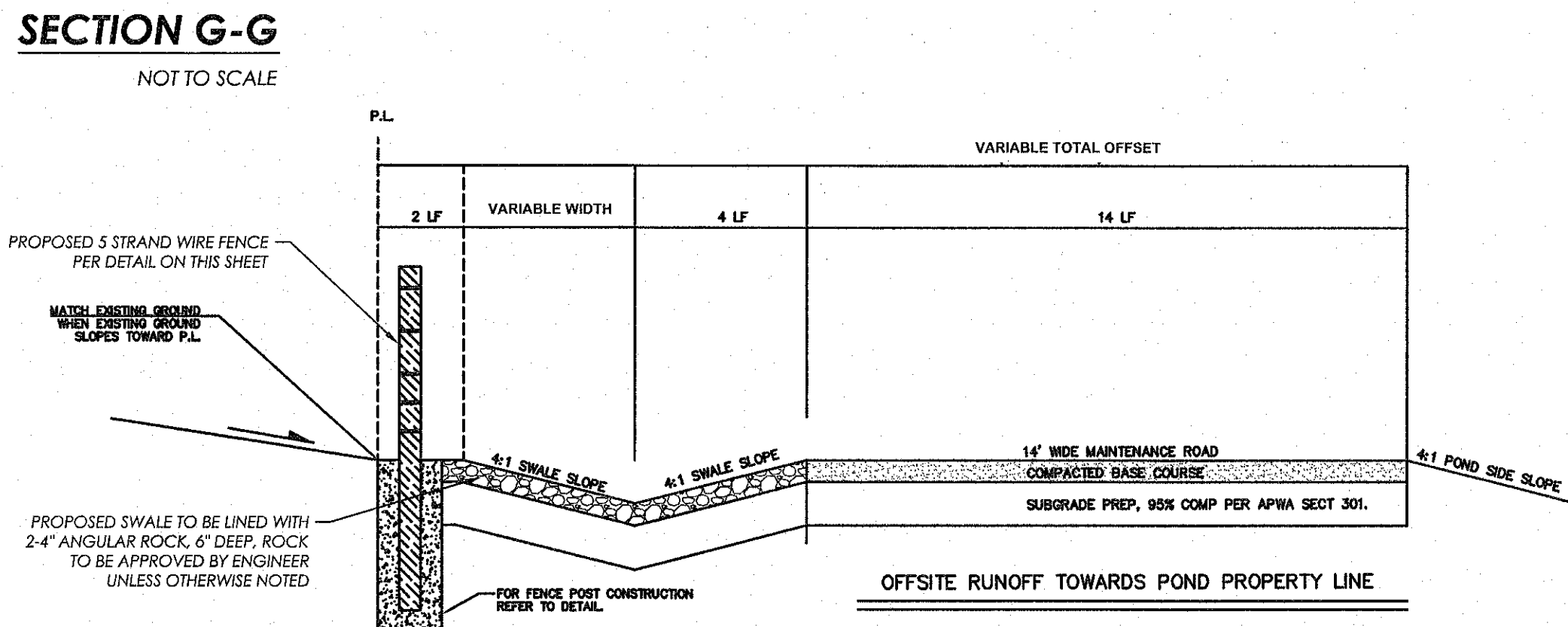
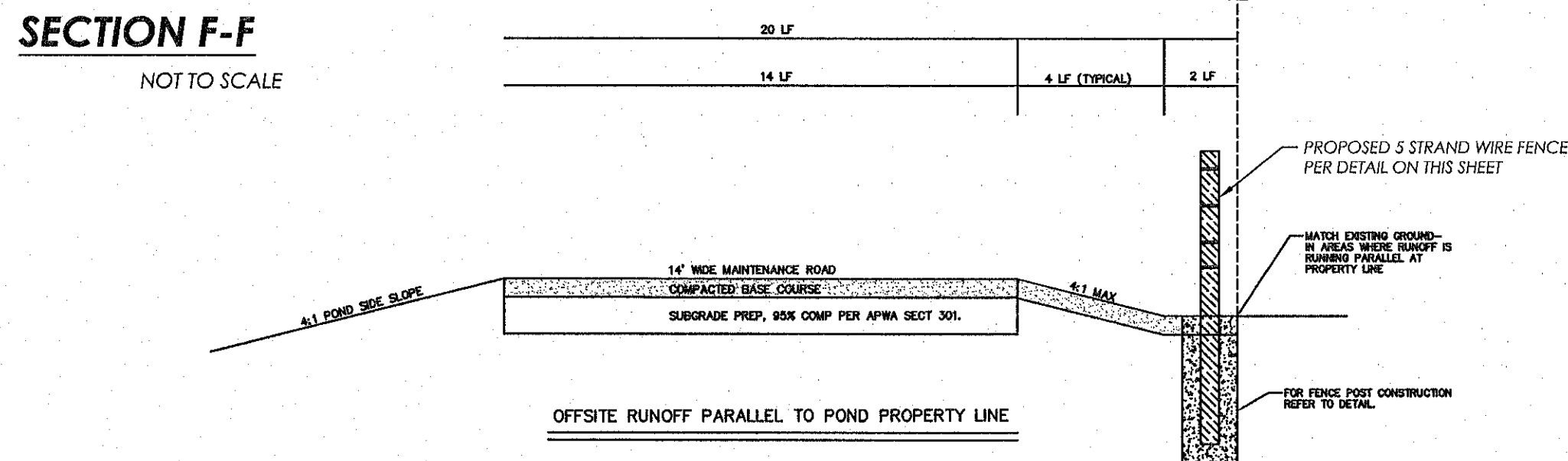
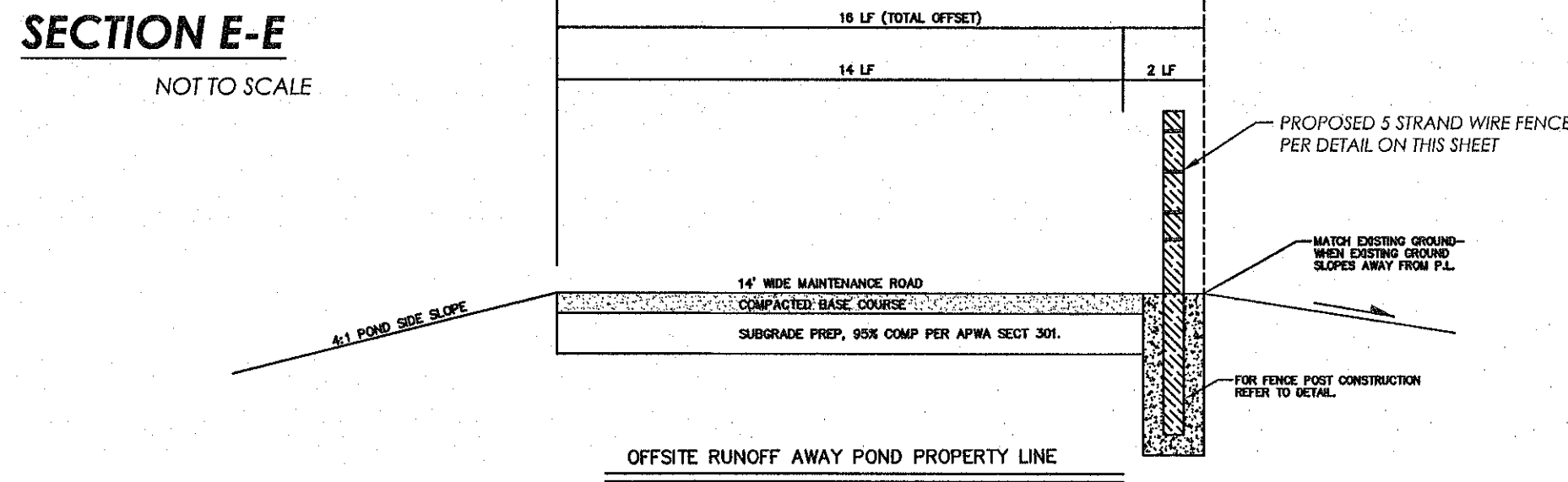
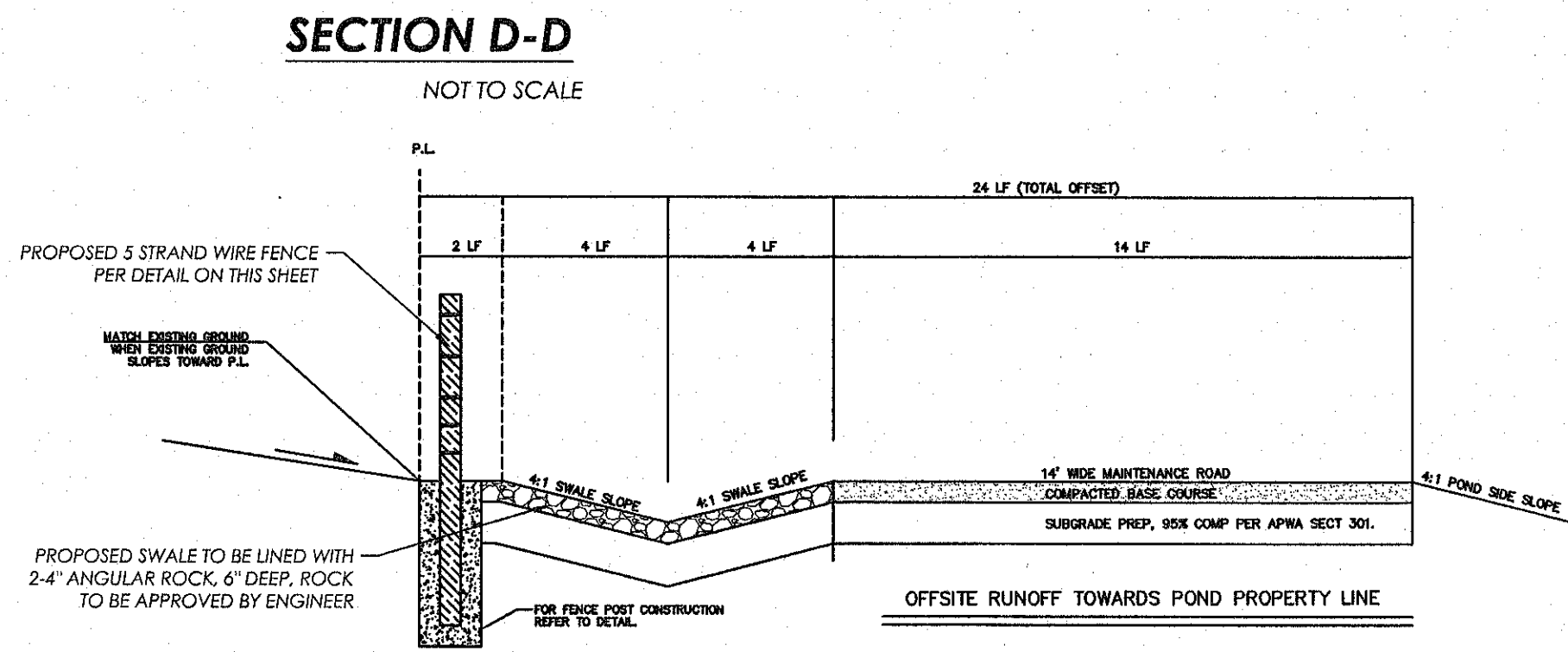
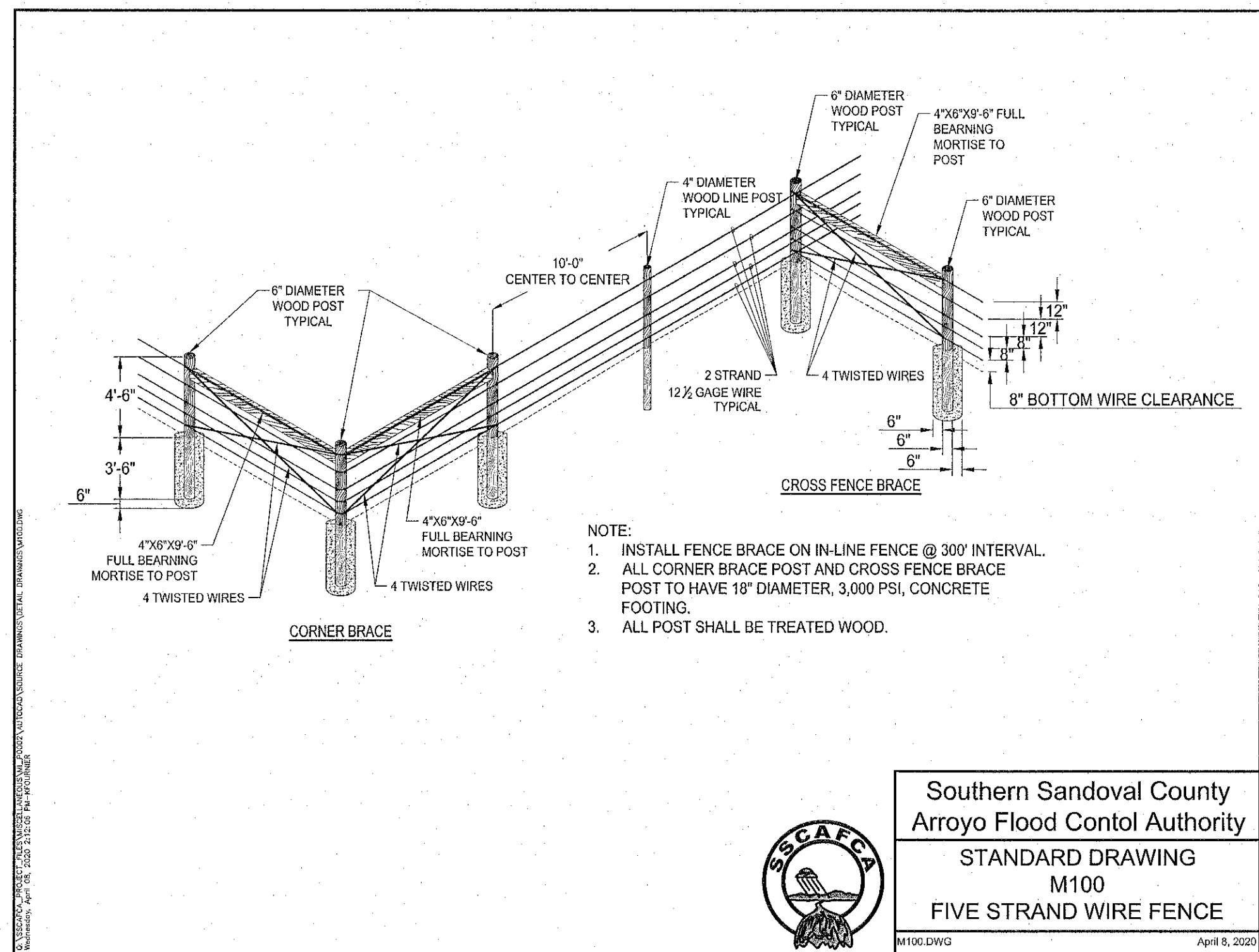
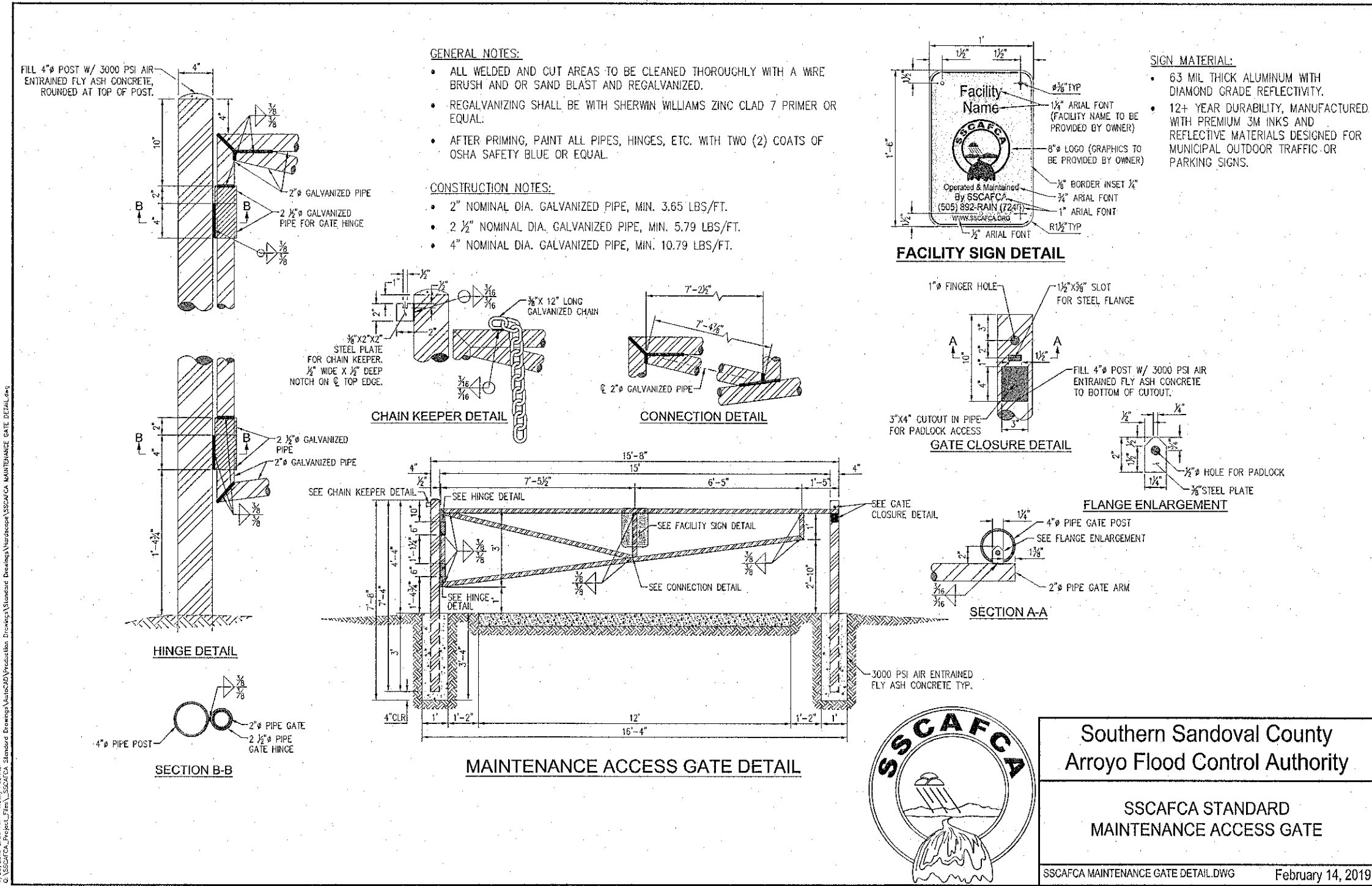
LOS DIAMANTES
10th ST SE INFRASTRUCTURE

BAFFLE CHUTE DETAILS

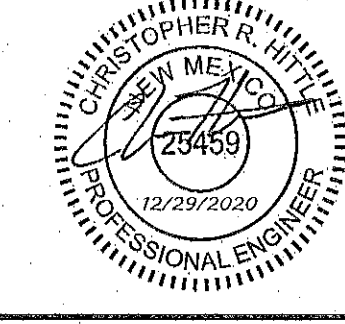
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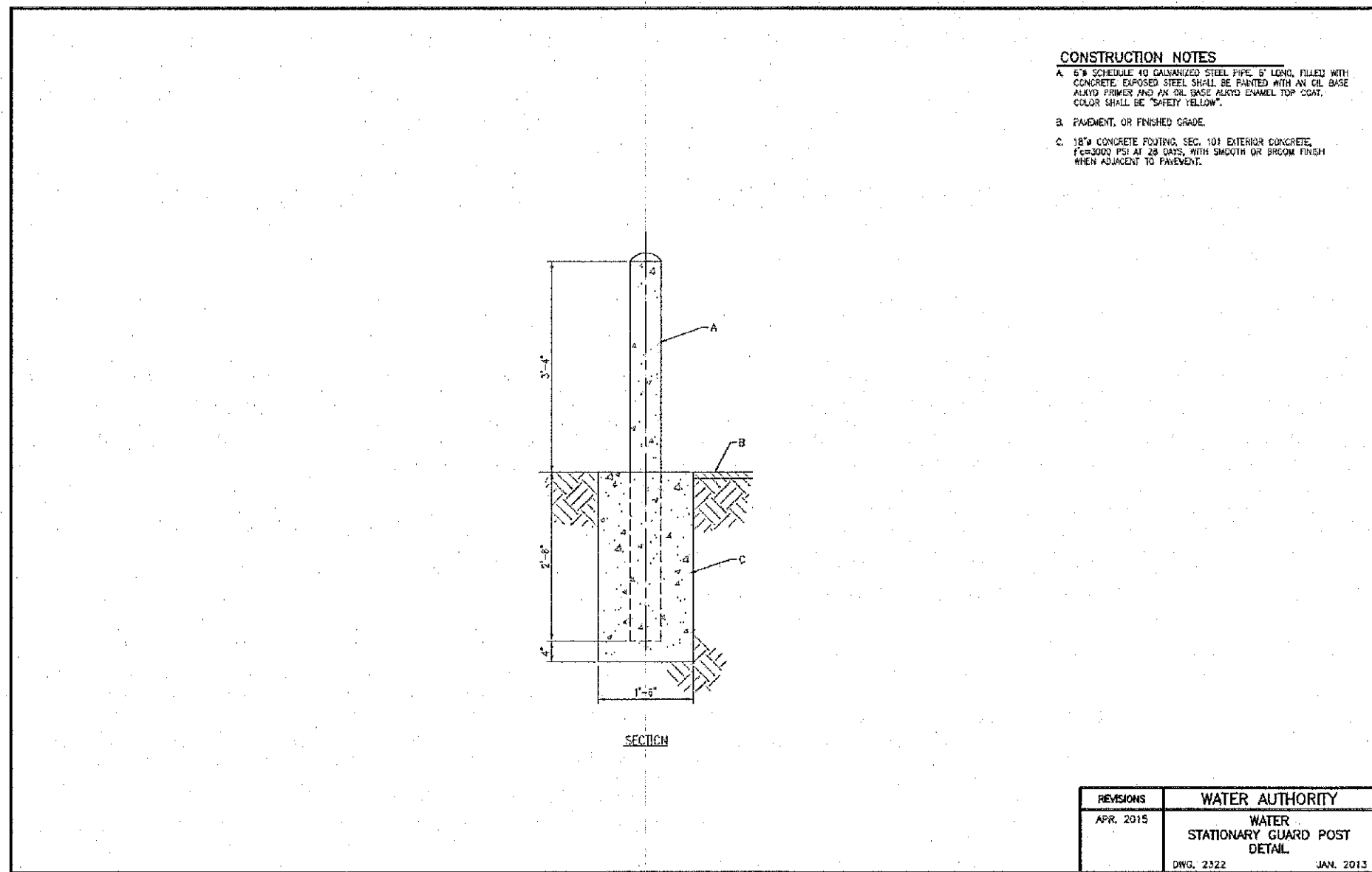


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DESIGNED BY: **DM**
DRAWN BY: **DM**
CHECKED BY: **DM**
DATE: **06/05/2020**
DPW CHK: _____
SHEET:

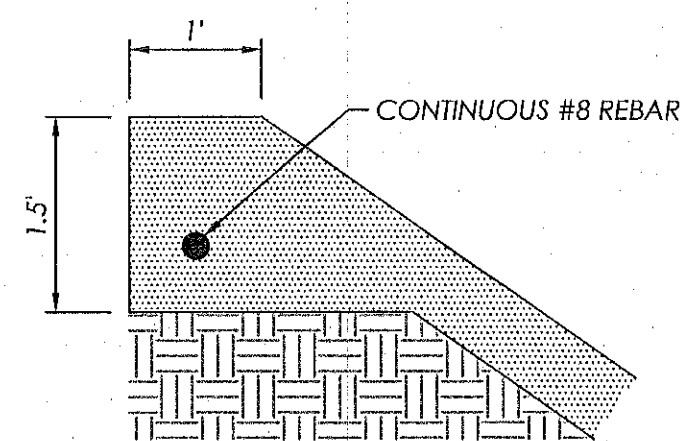


CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

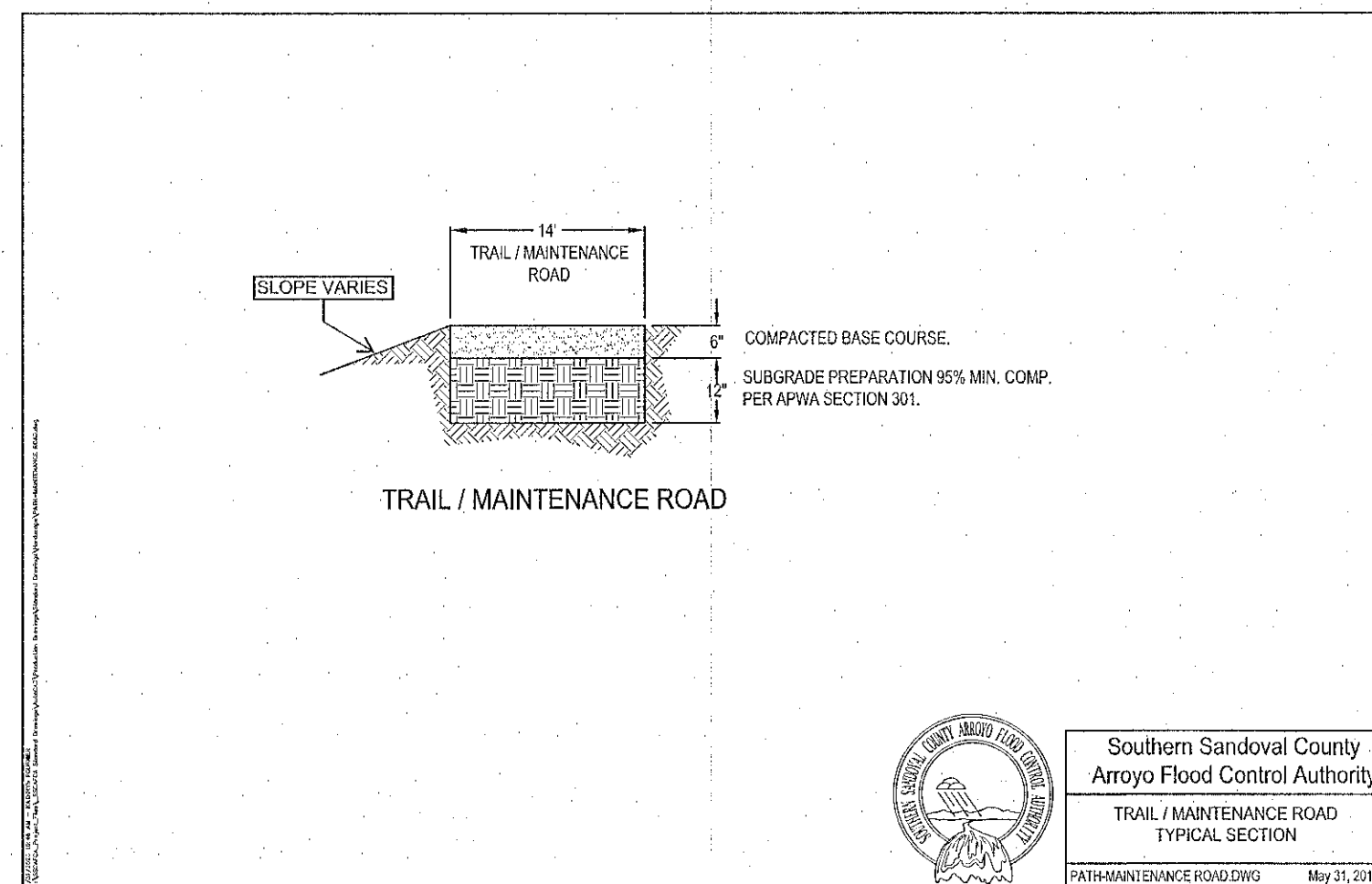
		City of Rio Rancho	
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NO.		DESCRIPTION	DATE BY
OWNER/DEVELOPER LD DEVELOPMENT, LLC		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS  10000 ALBUQUERQUE BLVD. SUITE 200 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
LOS DIAMANTES OFF SITE REGIONAL POND		POND CROSS SECTIONS & DETAILS	
ENGINEER'S SEAL			
			
PROJECT NO.		10820	
DESIGNED BY:		CRH	
DRAWN BY:		KJJ	
CHECKED BY:		CRH	
DATE:		12/28/20	
DPW CHK:			
SHEET:			
23 of 30			



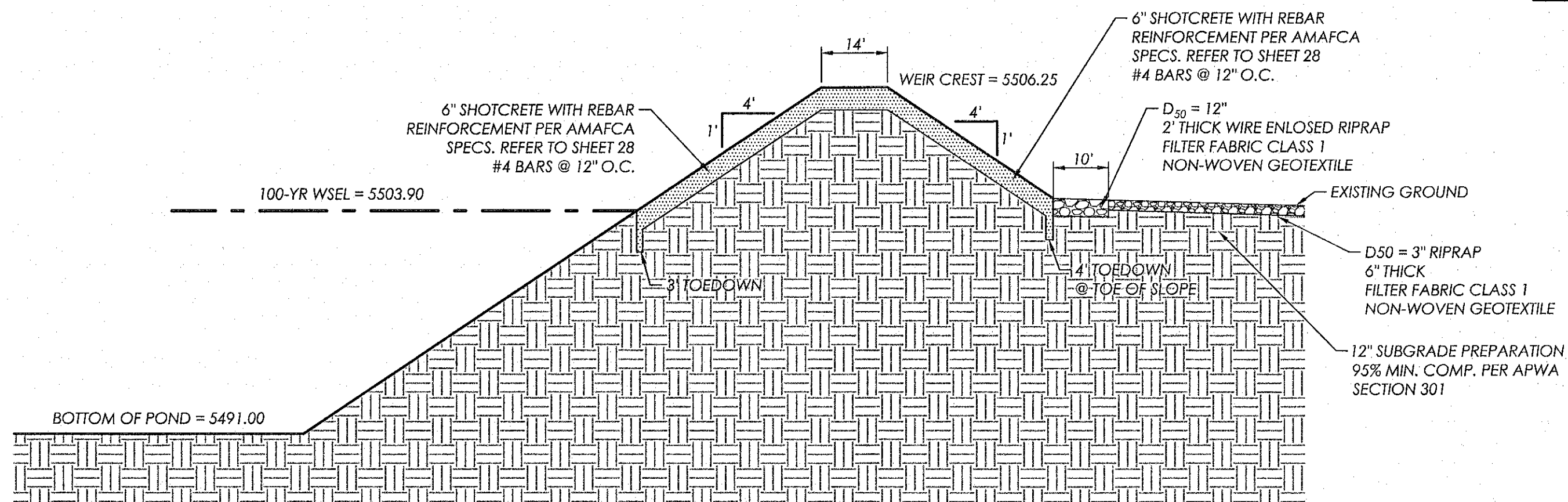
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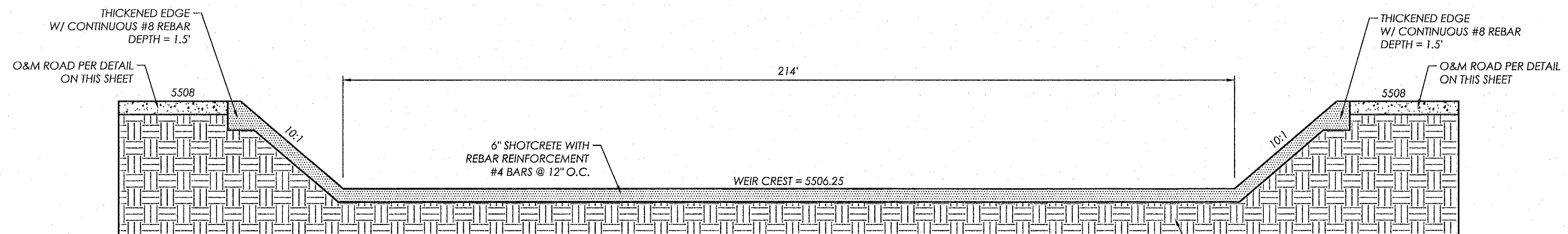
THICKENED EDGE DETAIL
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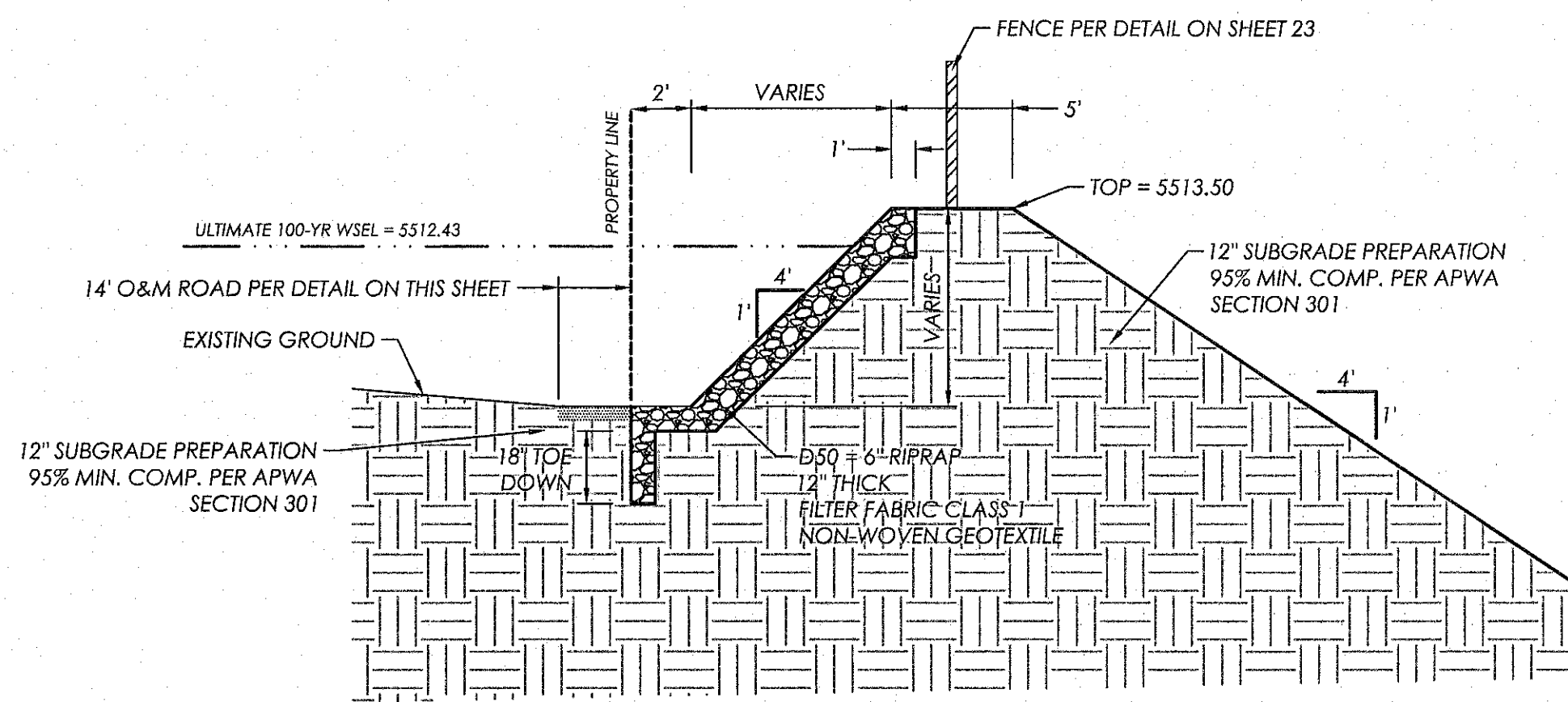
O&M ROAD SECTION
NOT TO SCALE



EMERGENCY SPILLWAY SECTION A-A
NOT TO SCALE



EMERGENCY SPILLWAY SECTION B-B
NOT TO SCALE



SECTION C-C
NOT TO SCALE

NOTE:
ALL POND SLOPE SLOPES SHALL BE PROTECTED WITH GRAVEL MULCH PER APWA SPECIFICATION 1012. ALL DISTURBED AREAS SHALL BE SEEDED PER APWA 1012.

CAUTION:
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LOS DIAMANTES OFF SITE REGIONAL POND		OWNER/DEVELOPER LD DEVELOPMENT, LLC	 MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS FLORIAN G. BOBER REGISTERED PROFESSIONAL ENGINEER NEW MEXICO 87198 (505)628-2200, FAX (505)797-9539																																				
POND CROSS SECTIONS & O&M ROAD DETAIL		REVISIONS (OR CHANGE NOTICES) <table><thead><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th><th>BY</th></tr></thead><tbody><tr><td>1</td><td></td><td></td><td></td></tr><tr><td>2</td><td></td><td></td><td></td></tr><tr><td>3</td><td></td><td></td><td></td></tr><tr><td>4</td><td></td><td></td><td></td></tr><tr><td>5</td><td></td><td></td><td></td></tr><tr><td>6</td><td></td><td></td><td></td></tr><tr><td>7</td><td></td><td></td><td></td></tr></tbody></table>						NO.	DESCRIPTION	DATE	BY	1				2				3				4				5				6				7			
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ENGINEER'S SEAL



PROJECT NO. 10820

DESIGNED BY: CRH

DRAWN BY: KJJ

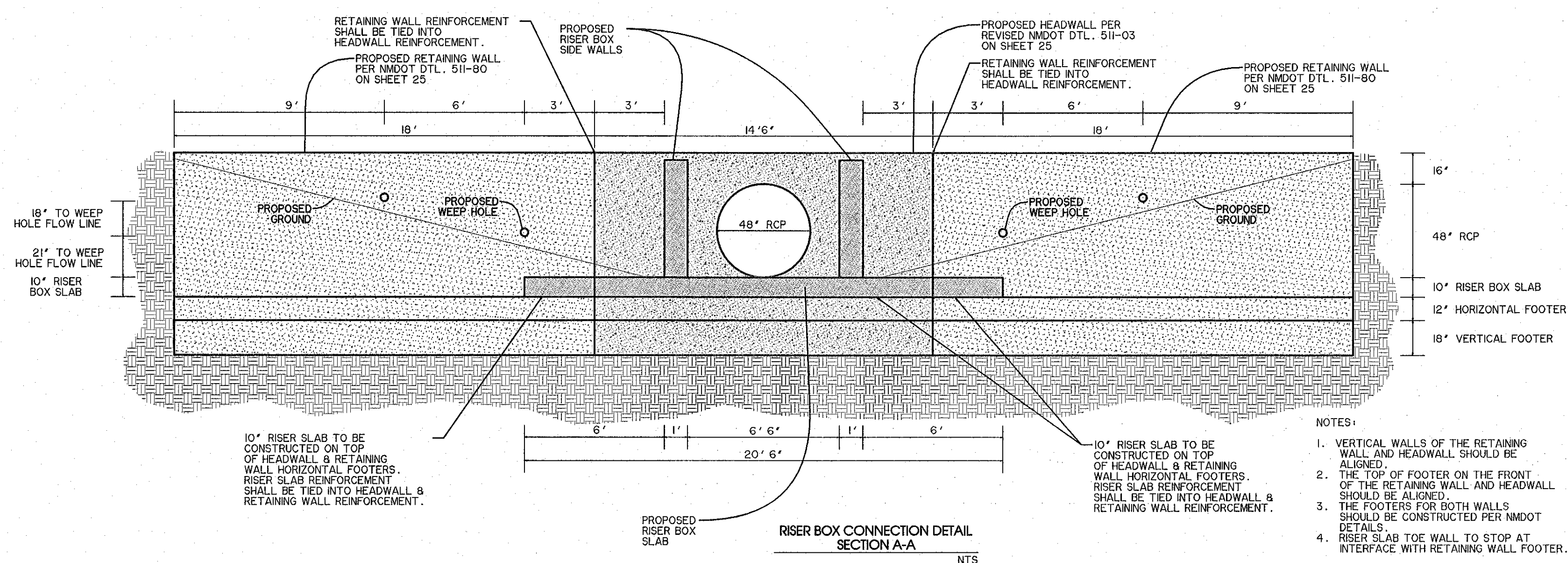
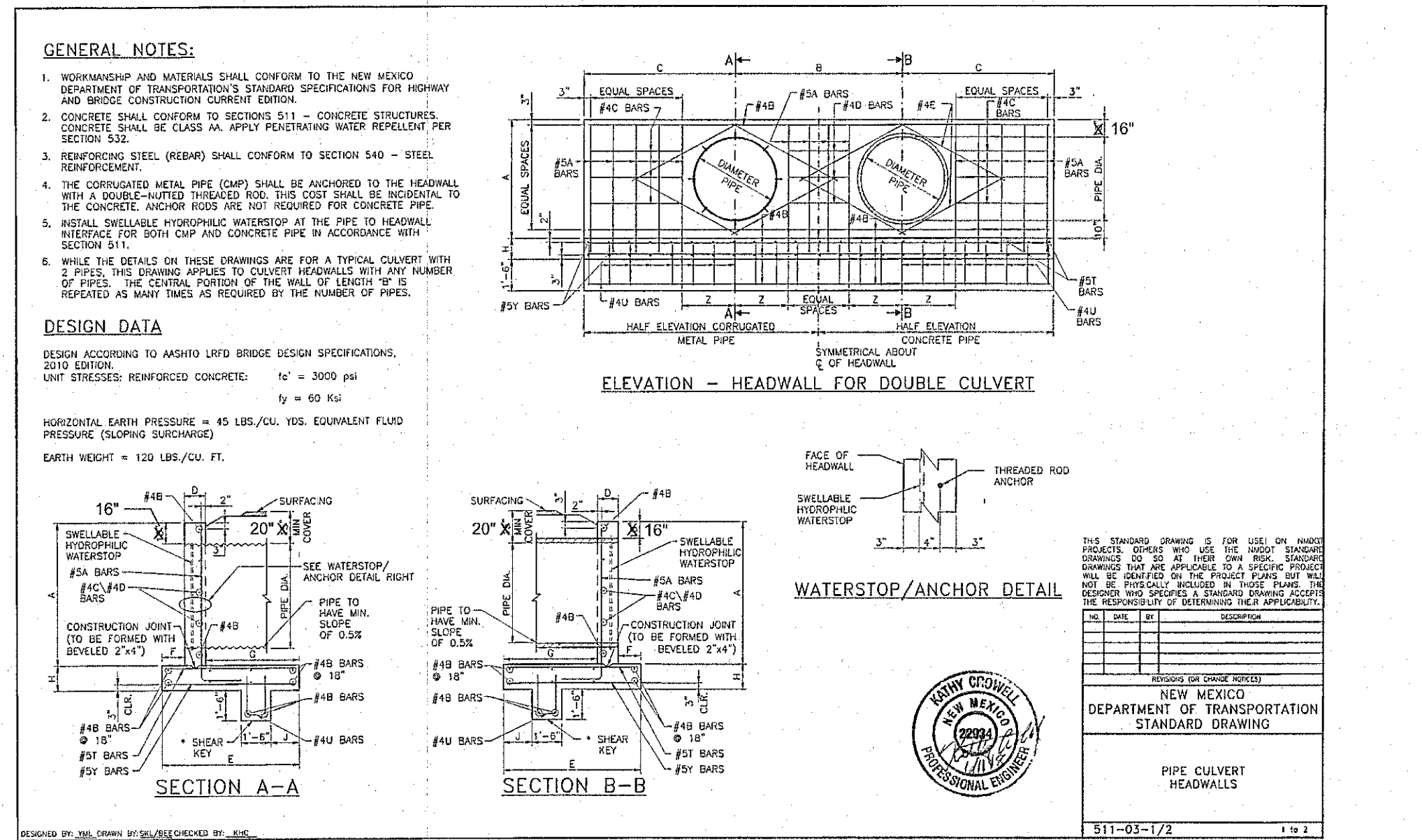
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DATE: 12/28/20

DPW CHK:

SHEET:

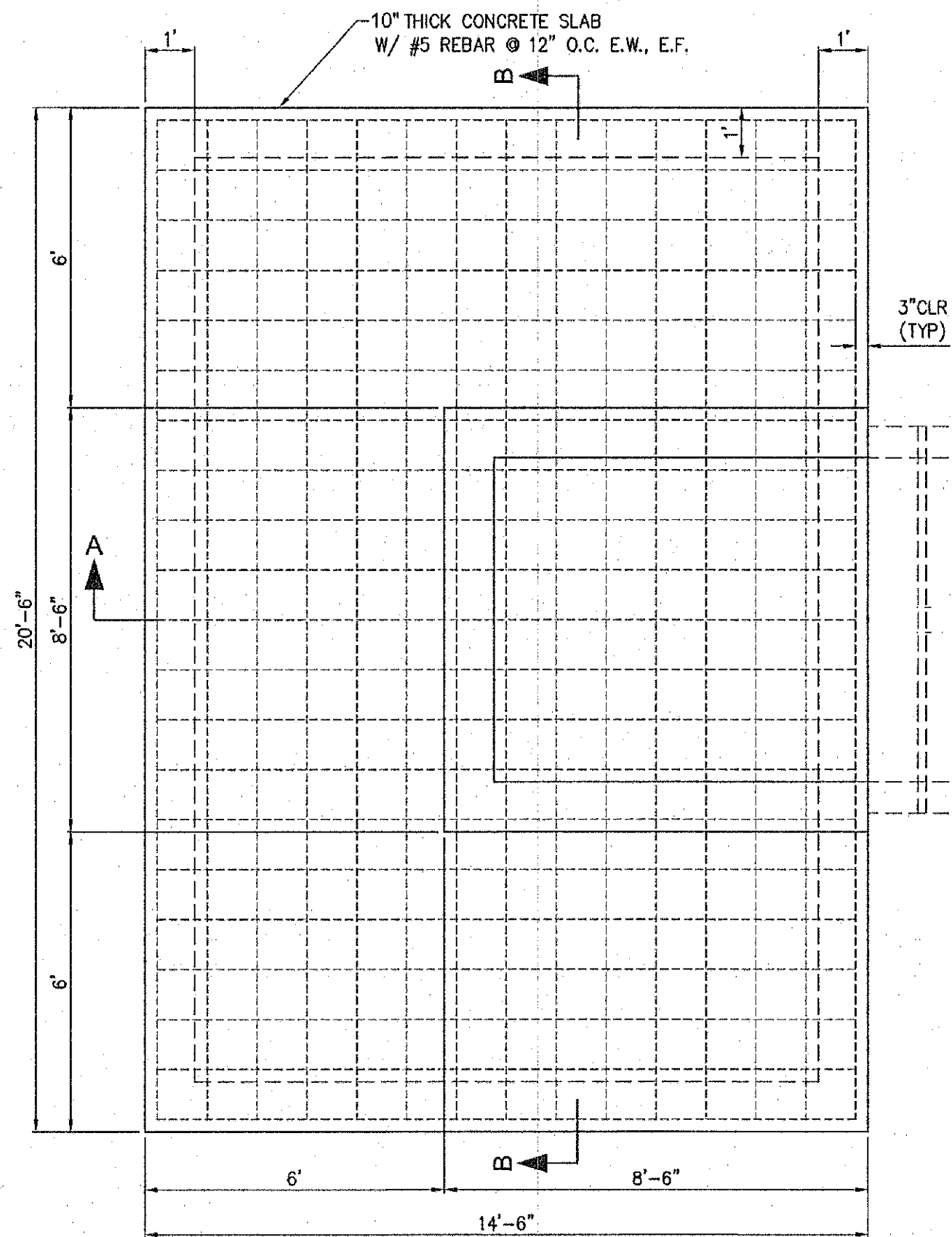
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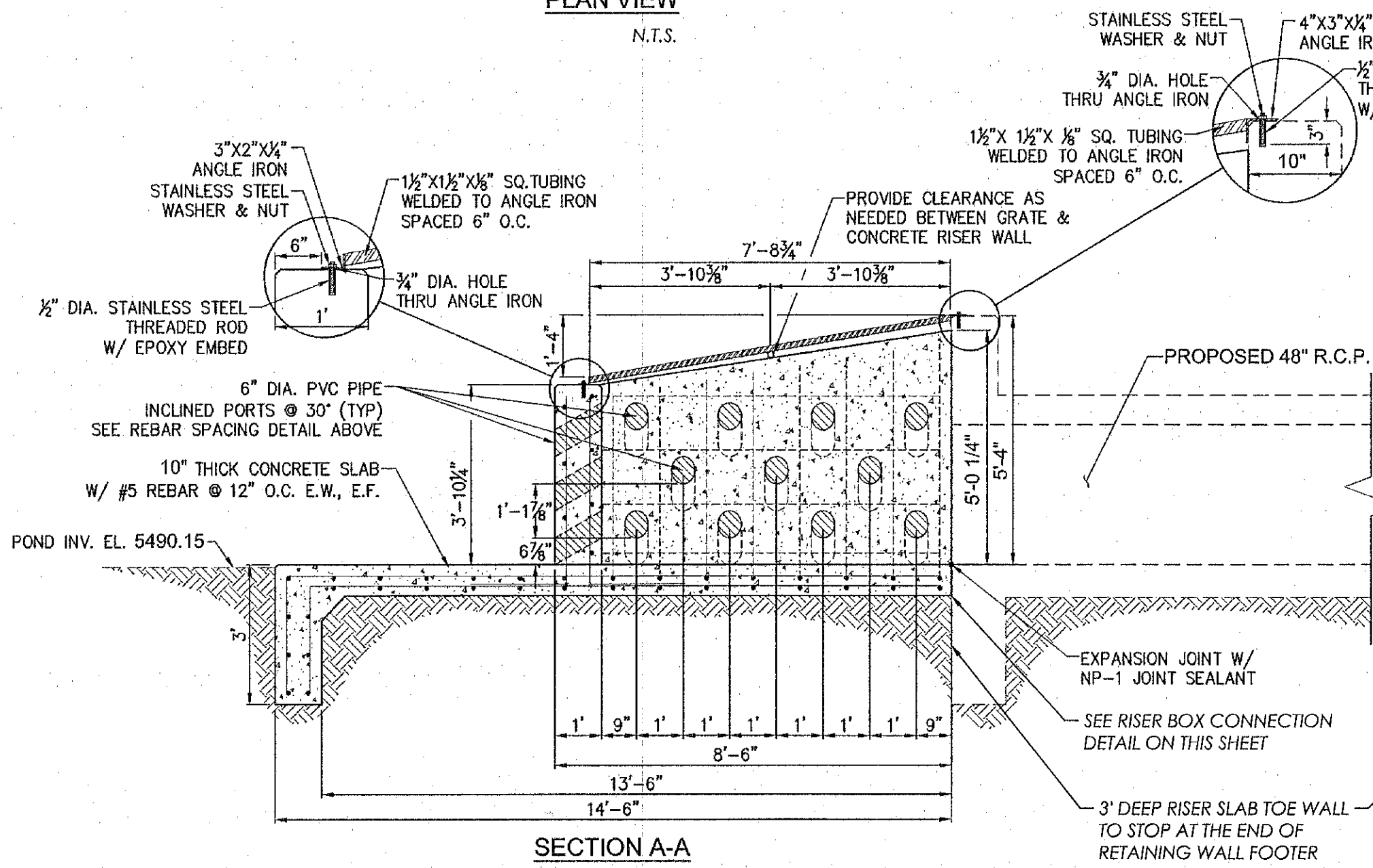
PROJECT NO.	10820
DESIGNED BY:	CRH
DRAWN BY:	KJJ
CHECKED BY:	CRH
DATE:	12/28/20

PORTED RISER - PORT ELEVATIONS					
COLUMN	EAST & WEST SIDE WALLS	OUTSIDE FACE INV. EL.	OUTSIDE TOP OF PORT	INSIDE FACE INV. EL.	INSIDE TOP OF PORT
1, 3, 5 & 7	BOTTOM ROW	5490.00	5490.58	5490.58	5491.15
2, 4 & 6	MIDDLE ROW	5491.15	5491.73	5491.73	5492.31
1, 3, 5 & 7	TOP ROW	5492.31	5492.89	5492.89	5493.46
COLUMN	FRONT WALL	OUTSIDE FACE INV. EL.	OUTSIDE TOP OF PORT	INSIDE FACE INV. EL.	INSIDE TOP OF PORT
1, 3 & 5	BOTTOM ROW	5490.00	5490.58	5490.58	5491.15
2, 4 & 6	MIDDLE ROW	5491.15	5491.73	5491.73	5492.31
1, 3 & 5	TOP ROW	5492.31	5492.89	5492.89	5493.46

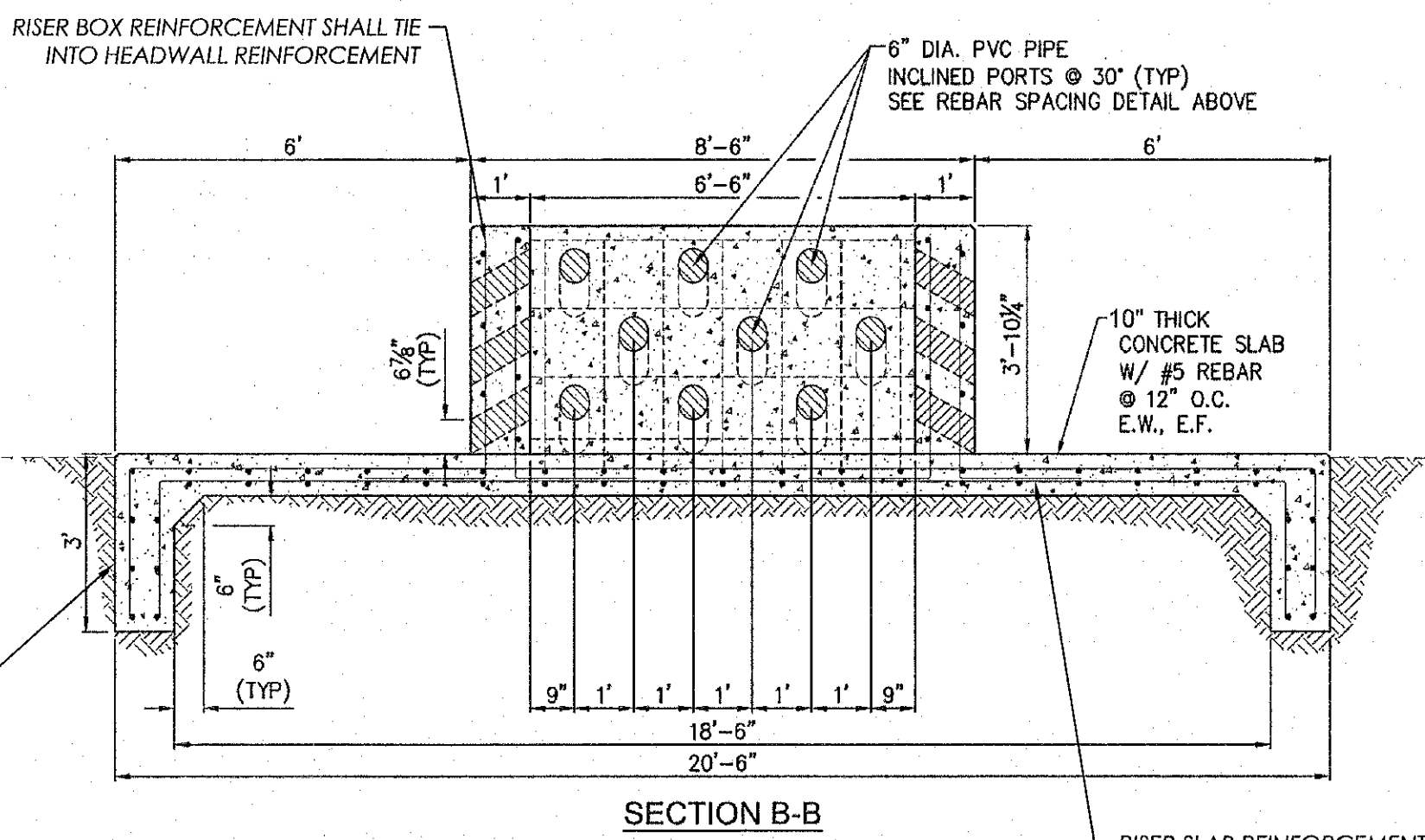
RISER - TOP OF CONCRETE ELEVATIONS	
FRONT TOP OF WALL ELEV	5493.85
FRONT TOP OF GRATE ELEV	5494.02
BACK TOP OF WALL ELEV	5495.02
BACK TOP OF GRATE ELEV	5495.33



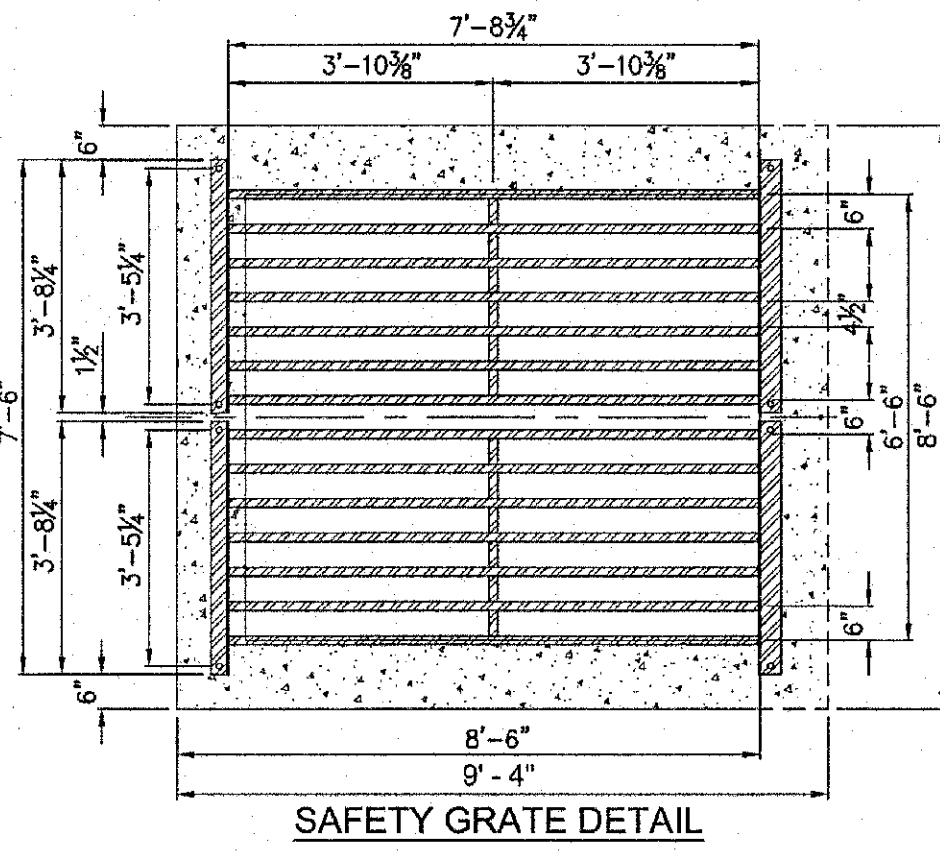
PORTED RISER DETAIL
PLAN VIEW
N.T.S.



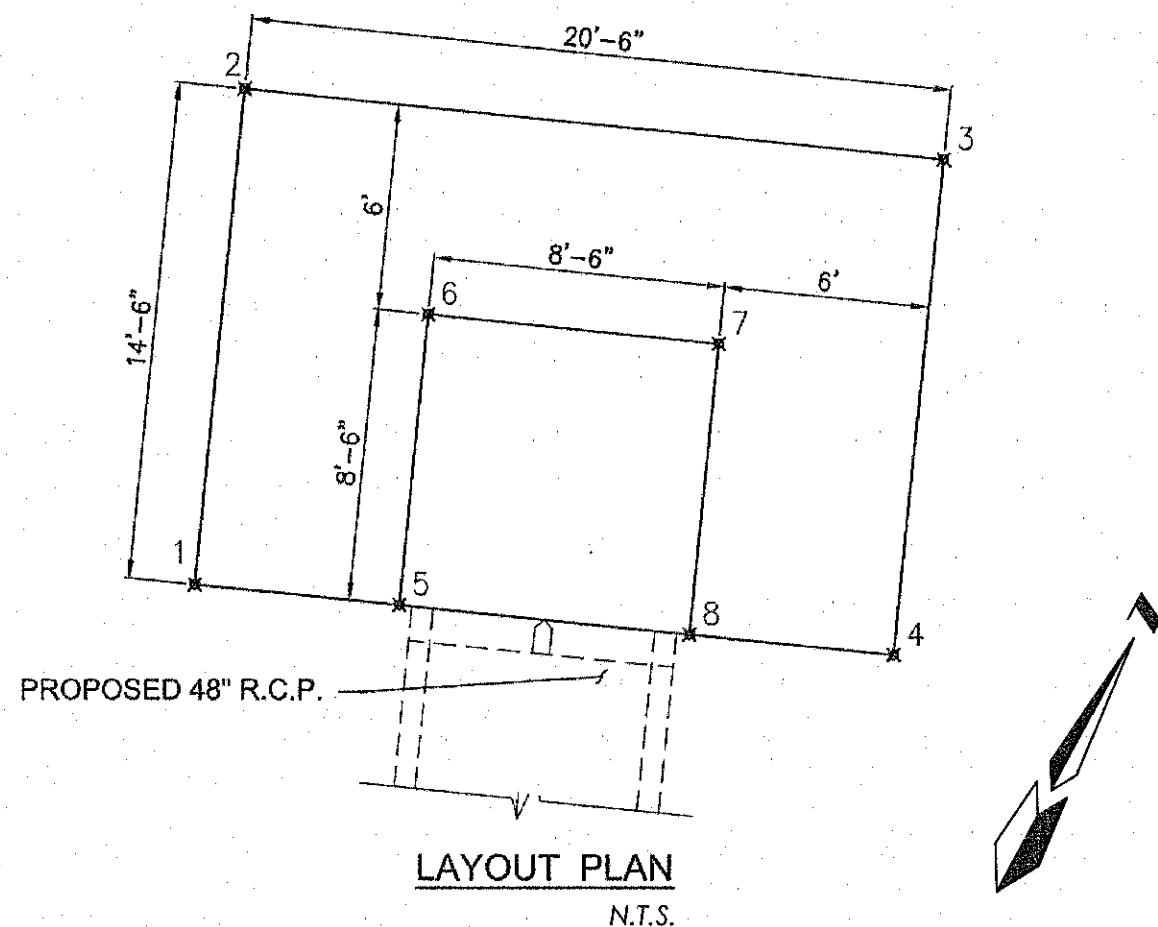
SECTION A-A
N.T.S.



SECTION B-B
N.T.S.



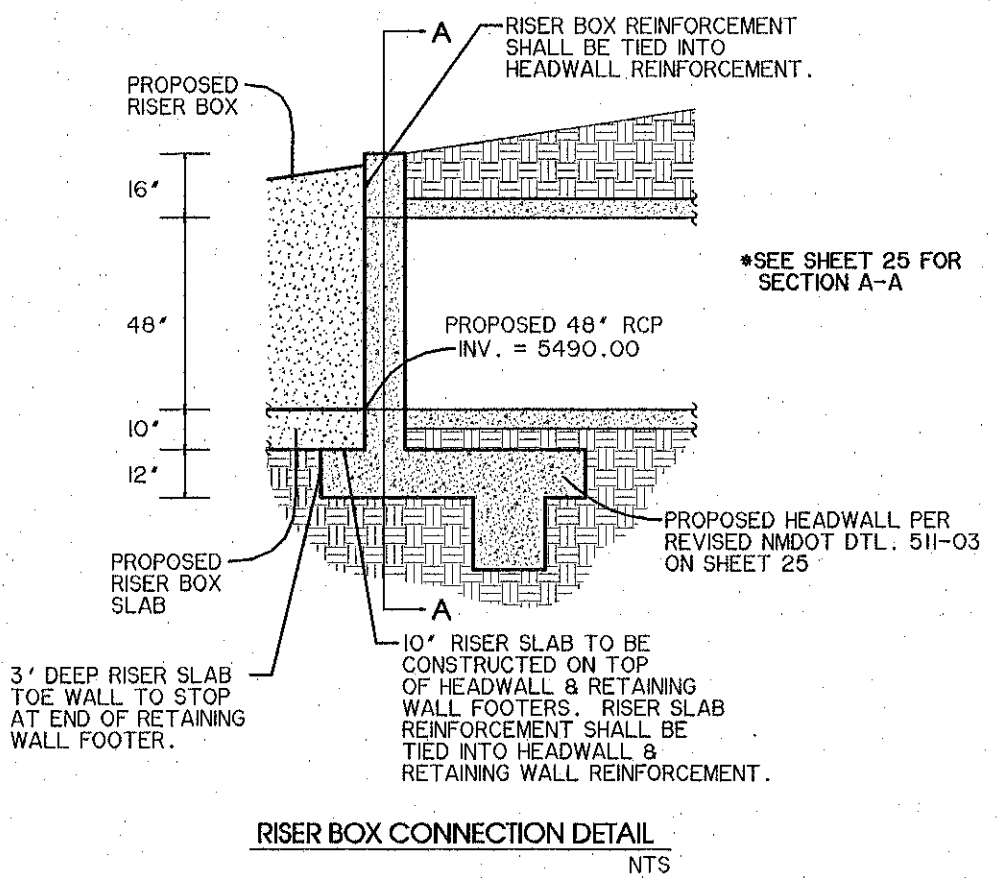
REBAR SPACING DETAIL



LAYOUT PLAN
N.T.S.

POINT TABLE				
POINT#	DESCRIPTION	ELEVATION	NORTHING	EASTING
1	SW COR	5490.10	1536757.683	1497693.413
2	NW COR	5490.15	1536767.213	1497682.485
3	NE COR	5490.15	1536782.663	1497695.960
4	SE COR	5490.10	1536773.132	1497706.887
5	PR SW TOE	5490.00	1536762.205	1497697.357
6	PR NW TOE	5490.00	1536767.791	1497690.951
7	PR NE TOE	5490.00	1536774.197	1497696.538
8	PR SE TOE	5490.00	1536768.611	1497702.944

LAYOUT CONTROL POINTS



RISER BOX CONNECTION DETAIL
N.T.S.

- GENERAL NOTES:**
- 24" SUBGRADE COMPACTION UNDER ALL NEW WORK. COMPACTION TO 95% ASTM D-1557.
 - 3/4" CHAMFER TYPICAL ON ALL EXPOSED CONCRETE EDGES.
 - 3 ROWS AND 7 COLUMNS (STAGGERED AS SHOWN ON SECTION A-A) OF 6" DIA. PVC PIPE @ 30" (TYP) ON EACH SIDE WALL OF RISER FOR A TOTAL OF 22 INCLINED PORTS.
 - 3 ROWS AND 6 COLUMNS (STAGGERED AS SHOWN ON SECTION B-B) OF 6" DIA. PVC PIPE @ 30" (TYP) ON FRONT WALL OF RISER FOR A TOTAL OF 9 INCLINED PORTS.
 - COORDINATE REBAR SPACING WITH PORT LOCATIONS. SEE REBAR SPACING DETAIL ABOVE.
 - ALL WELDS ON SAFETY GRATE TO BE 3/8" FILLET. ALL CUTS AND WELDS SHALL BE CLEANED THOROUGHLY WITH A WIRE BRUSH AND OR SAND BLAST.
 - PAINT ALL EXPOSED STEEL WITH ONE COAT OXIDE PRIMER AND TWO COATS OF EXTERIOR LATEX PAINT. FINISH PAINT COLOR SHALL BE "OSHA SAFETY BLUE". PROVIDE COLOR SAMPLE TO OWNER FOR APPROVAL.
 - CORNER BARS TO MATCH HORIZONTAL SIZE AND SPACING WITH 24" MIN. OVERLAP TYPICAL ALL CORNERS.

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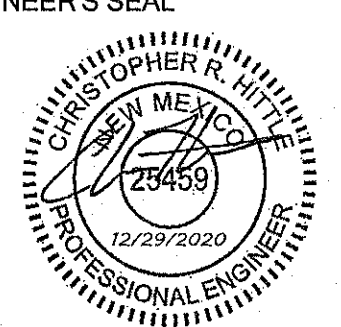


City of Rio Rancho

REVISIONS (OR CHANGE NOTICES)

NO.	DATE	DESCRIPTION	BY
7			
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1			

OWNER/DEVELOPER
LD DEVELOPMENT, LLC

ENGINEER'S SEAL

 MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 10000 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 977-8539

LOS DIAMANTES
OFF SITE REGIONAL POND

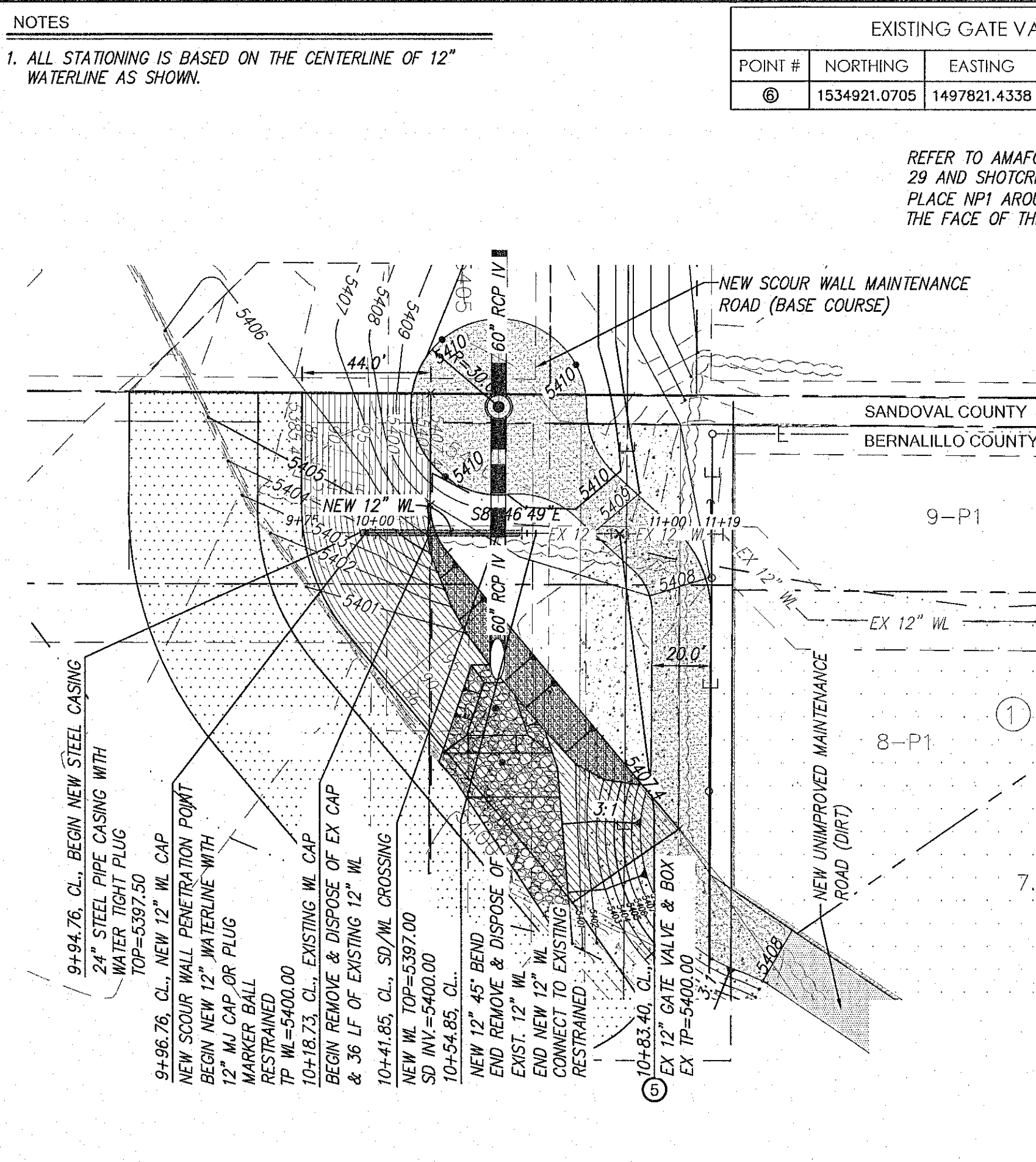
PORTED RISER DETAILS

PROJECT NO. 10820
 DESIGNED BY: CRH
 DRAWN BY: KJJ
 CHECKED BY: CRH
 DATE: 12/28/20
 DPW CHK:
SHEET:

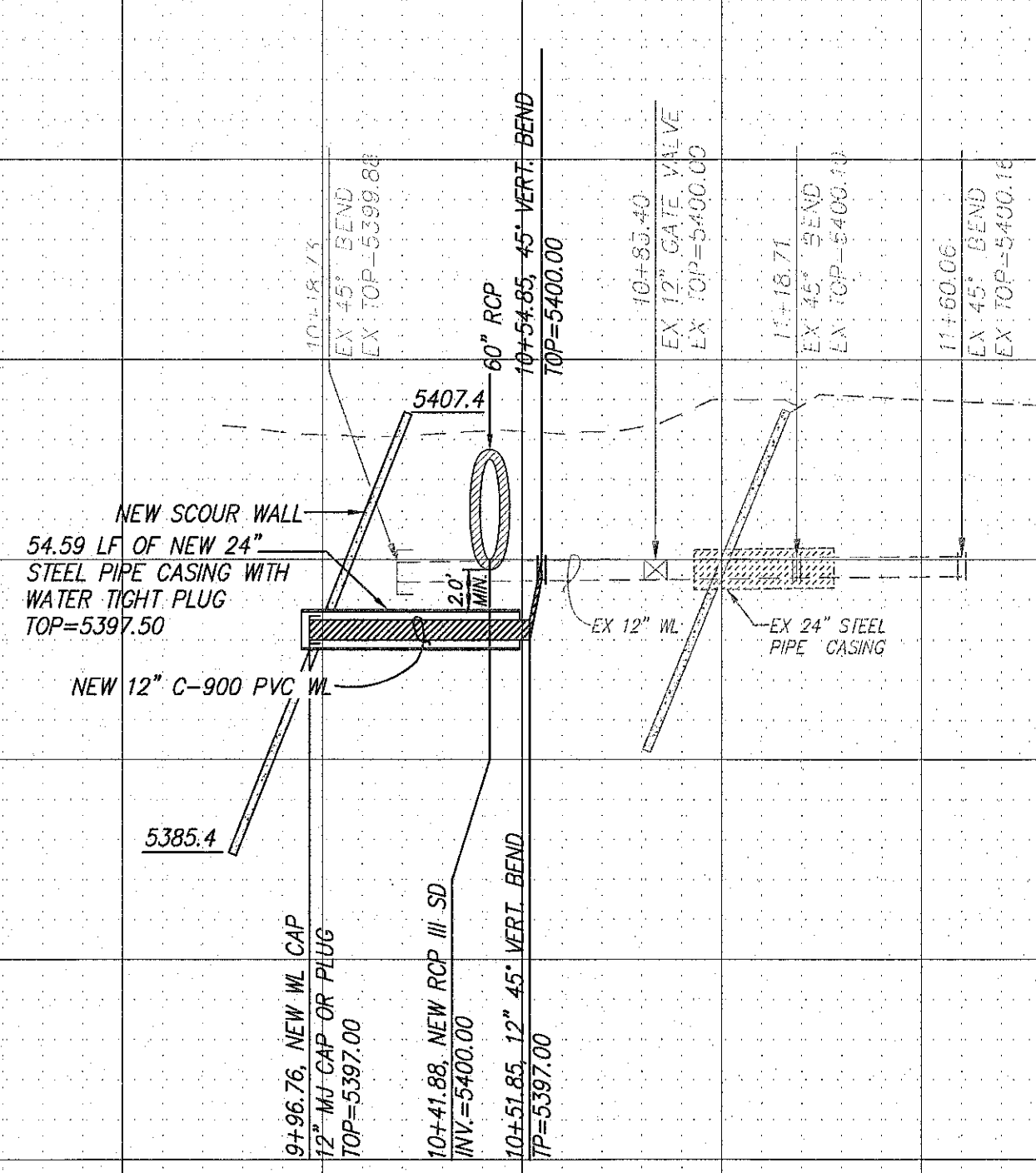
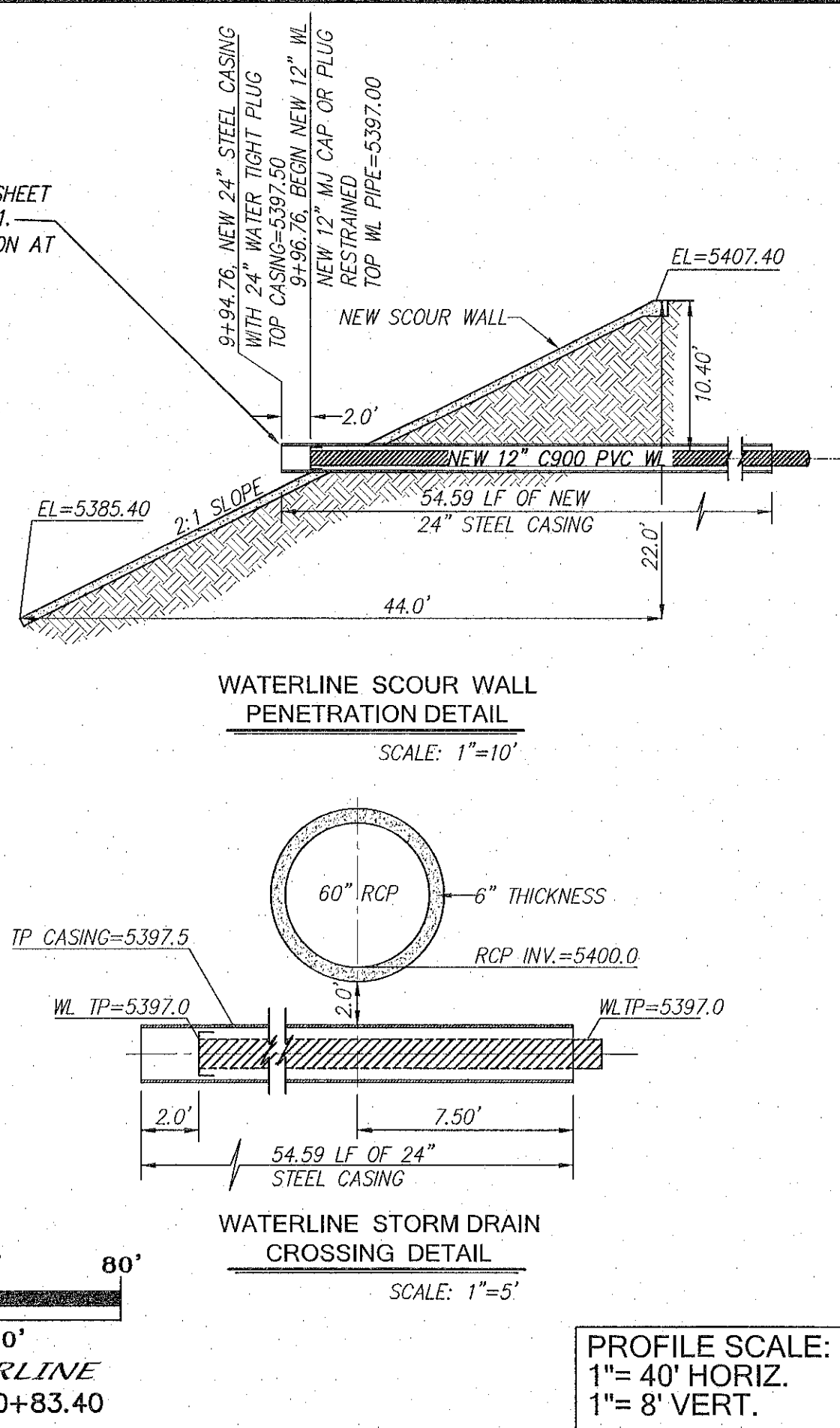
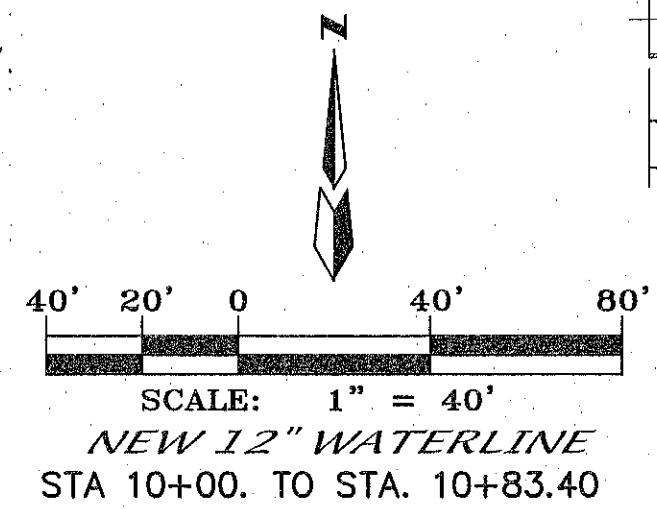
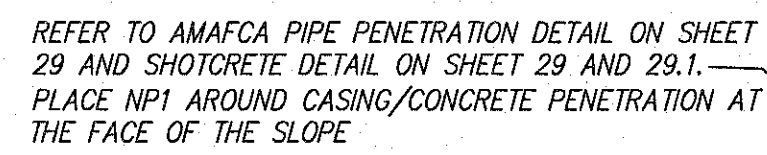
26 of 30

NOTES

1. ALL STATIONING IS BASED ON THE CENTERLINE OF 12" WATERLINE AS SHOWN.



EXISTING GATE VALVE TIE IN				
POINT #	NORTHING	EASTING	DESCRIPTION	
⑥	1534921.0705	1497821.4338	10+83.40	ALIGNMENT TIE IN

[illegible]

		City of Rio Rancho	
OWNER/DEVELOPER LD DEVELOPMENT, LLC		MARK GOODWIN & ASSOCIATES, P.A. P.O. BOX 50606 ALBUQUERQUE, NEW MEXICO 87108 (505)822-2200, FAX (505)797-6539	
LOS DIAMANTES OFF-SITE REGIONAL POND		SCOUR WALL & WATERLINE RELOCATION PLAN & PROFILE	
ENGINEER'S SEAL			
			
PROJECT NO.		A18033	
DESIGNED BY:		DLH	
DRAWN BY:		DER	
CHECKED BY:		DMG	
DATE:		11/13/20	
DPW CHK:			
SHEET:			
27 of 30			

A.M.A.F.C.A. STANDARD SPECIFICATIONS FOR SHOTCRETE

Section 625
SHOTCRETE

Add the following section:

625.1 GENERAL

625.11 This work shall consist of construction of the shotcrete channel lining utilizing the shotcrete process, including mixing, placing, finishing, testing and curing as shown in the contract in compliance with these specifications:

625.12 The requirements of New Mexico Department of Transportation (NMDOT) Standard Specifications for Highway and Bridge Construction Section 509 - Portland Cement Concrete Mix Designs, Section 510 - Portland Cement Concrete, and Section 519 - Shotcrete shall apply where appropriate and not expressly modified by these specifications. Fly Ash shall be used in all concrete and shotcrete per NMDOT Section 509.

625.13 The design mixes must be submitted by the Contractor for approval by the Project Manager prior to placement.

625.2 MATERIALS

625.21 All requirements of New Mexico Department of Transportation (NMDOT) Standard Specifications for Highway and Bridge Construction Section 509 - Portland Cement Concrete Mix Designs shall apply except as modified herein. Shotcrete shall have a minimum compressive strength of 4,000 PSI at 28 days, 6.5% plus or minus 1.5% air content, and a slump of 1'-12" to 4". Plastic properties shall be measured on a sample taken directly out of the truck. NMDOT Section 509.2.7.5.2 shall not be applicable to shotcrete as defined by this specification. Shotcrete shall be tinted in accordance with Subsection 625.211 of these specifications.

625.211 Tinted concrete will be made by the addition of an approved concrete coloring agent to the concrete mix. The coloring agent will be added in addition to other concrete ingredients and no reductions to other ingredients will be made.

The concrete coloring for use on this project shall be:

DAVIS COLOR OR APPROVED EQUAL

	lbs./sack of cement	Color number
San Diego Buff	1 lbs./sack	5237

Coordination with the General contractor, shotcrete subcontractor, and AMAFCA Project Manager will be required prior to any shotcrete placement.

625.22 Shotcrete Aggregate. Shotcrete aggregate shall meet the aggregate quality requirements set forth in NMDOT Section 509.2.3 where applicable. The aggregate shall comply with the following combined gradation requirements.

Sieve Size	Percent Passing
1/2 inch	100
3/8 inch	90-100
No. 4	70 - 85
No. 8	50 - 70
No. 16	35 - 55
No. 30	20 - 35
No. 50	8 - 20
No. 100	2 - 10

625.23 Mix Materials. Shotcrete shall be mixed and pneumatically applied by the wet-mix process. The concrete shall meet the minimum requirements set forth in NMDOT Section 519 including the addition of air entrainment, fly ash, and tint.

625.24 Preconstruction Testing:

Mockup panel simulating actual field conditions shall be fabricated prior to start of construction. Mockup panel shall be colored shotcrete for color approval prior to construction and shall be a minimum of 8'x20'. This preconstruction mockup panel can be incorporated into the planned work area or waived at the discretion of the AMAFCA Project Engineer and the Project Manager.

625.25 Quality Acceptance Tests:

Material Test Panel Frame Construction:

All material test panels shall be 16"x16" square, 6" deep, constructed of wood and sealed plywood with 45° sloped sides to permit escape of rebound. The panels shall contain no reinforcement or embedments. Panels shall be field cured using the same method implemented on the structure.

Compressive Strength:

Produce a material test panel not less than once a day, nor less than once for the first 30 cubic yards of shotcrete placed in a day, and then one panel for

every 50 cubic yards or fraction thereof thereafter. Extract a minimum of five (5) compressive strength test cores from each material test panel which are three (3) inch x six (6) inch deep (length/diameter ratio of 2:1).

Minimum Compressive Strength:

28 days - 4,000 PSI

The mean compressive strength is acceptable if the average of three cores tested at the specified age is equal to or greater than 85% of the specified strength, with no individual strength test being less than 75% of the specified strength. This reduction factor is used to compensate for the effects that coring has on the extracted specimens.

Concrete Consolidation:

Prior to the start of construction, produce one certification test panel that is 36" x 36" square (8) inch deep with reinforcement that matches the design requirements. Extract a minimum of three (3) four (4) inch diameter cores from locations of intersecting reinforcing steel or mesh to check the adequacy of consolidation of shotcrete around and behind the reinforcement. One panel is required per project.

If deemed necessary by the AMAFCA Project Engineer and the Project Manager, the contractor shall shoot two certification test panels for each nozzle orientation and for each nozzle operator each day of the shotcrete production in the presence of the Project Manager.

All test panels shall be produced in accordance with ASTM C 1140.

625.3 CONSTRUCTION

625.31 Equipment and Workmen. Shotcreting shall be done only by experienced personnel. Nozzlemen should be ACI certified shotcrete nozzlemen, or equivalent, and have completed at least one similar application as a nozzlemaster on a similar project. When requested by the Project Manager, the Contractor shall furnish evidence that each foreman, nozzle operator and delivery equipment operator has done satisfactory work in a similar capacity elsewhere and is fully qualified to perform the work.

The Contractor shall furnish the Project Manager with copies of the manufacturer's specifications and operating instructions for the equipment used. No shotcrete shall be placed until the type of equipment and method of operation have been approved by the Project Manager.

625.311 Premixed Shotcrete. The mixing equipment shall be capable of thoroughly mixing the specified materials in sufficient quantity to maintain continuous placing.

625.32 Surface Preparation. The foundation for areas to receive shotcrete shall be evenly graded to the required elevation before the shotcrete is applied. The areas shall be thoroughly compacted with sufficient mixture to provide a firm foundation and to prevent absorption of water from the shotcrete.

Surfaces shall be free of surface water, loose material, or frozen material at the time of shotcrete application.

625.33 Forms and Reinforcement. Forms, headers, and shooting strips shall be provided and rigidly braced as required for backing. Ground or gaging wires and depth gages shall be used where necessary to establish and insure thickness, surface and finish lines.

Steel reinforcement shall be rigidly supported in the position shown in the contract. Metal chairs shall be used to properly anchor and place the reinforcement. All reinforcement shall be clean and free from loose mill scale, loose rust, overspray from previous shotcrete application, soil and other undesirable materials that interfere with bonding.

625.34 Placing. Each layer of shotcrete shall be built up by making several passes of the nozzle over the working area. When enclosing steel reinforcement, the nozzle shall be held so as to direct the material around the bars. The shotcrete shall emerge from the nozzle in a steady, uninterrupted flow. The nozzle shall be directed so as to result in minimum rebound. The velocity of the material as it leaves the nozzle shall be maintained uniform and at a rate determined for the given job conditions.

Contractor shall use appropriate form work to separate areas of different tinting and shall prevent adjacent areas from being discolored by overspray and rebound.

Rebound shall not be worked back into the construction or salvaged. Rebound that does not fall clear of the work shall be removed.

Shotcrete shall not be placed when the air temperature is below forty degrees (40°F) unless the air temperature is at least thirty-five degrees (35°F) and rising.

The mixing, transporting, and placement time for shotcrete materials shall not exceed 90 minutes. Additional water may be added at job site only if requested by the Project Manager. When additional water or admixtures are added, the drum shall be rotated a minimum of 30 additional revolutions at mixing speed

prior to discharge. The ready-mix plant shall certify the material for weight, water, admixtures, and mixing time.

625.35 Finishing. After the shotcrete has been placed as nearly as practical to the required thickness, the ground wires may be removed, the surfaces shall be checked with a straight edge, and low spots or depressions shall be corrected by placing additional shotcrete in such a manner that the finished surface is natural as left by the nozzle and will be reasonably smooth and uniform.

Loose areas of shotcrete shall be removed and replaced by the Contractor at no additional cost.

625.36 Curing. Curing methods shall conform to the requirements of NMDOT Section 5.19.3.4.3, Curing and Protection and Section 519.3.4.3, Hot and Cold Weather Protection. In all cases, the period of protection shall be not less than 7 days.

625.37 Tolerance in Shotcrete Thickness. Acceptance of the finished channel lining with respect to thickness shall be on the basis of random core sampling, as designated by the Project Manager. At the discretion of the Owner, Project Manager, or Engineer, core samples may be required to confirm shotcrete thickness. If deficiencies are noted, the Project Manager may require additional core samples. All coring required by the Project Manager shall be at the Owner's expense.

Should the Contractor desire to have additional core samples taken, the additional samples shall be taken at the Contractor's expense.

Deduction for a deficiency in thickness shall be made according to the following: Thickness deficiency shall be based on the average thickness of the number of samples taken within each 500 or less linear feet of channel.

Thickness Deficiency Percent of Contract Price allowed

0-1/2"	100%
Greater than 1/2"	Reject

Any 500 linear foot span of channel lining that is noted to be deficient in thickness by more than the reject level shall be removed and replaced at the Contractor's expense.

It shall be the responsibility of the Contractor to have the core holes immediately filled with fresh shotcrete. This shotcrete shall be of the same mix and of equivalent or greater compressive strength as the original. Non-shrink grout may be substituted to fill core holes with the prior approval of the project manager. Non-shrink grout shall be tinted to match the shotcrete and shall have a compressive strength equivalent or greater than the original shotcrete.

For quality acceptance, the Project Manager may have the core samples tested for compressive strength.

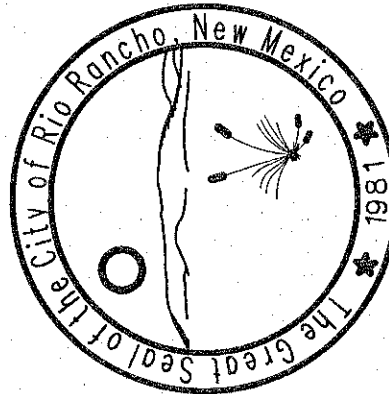
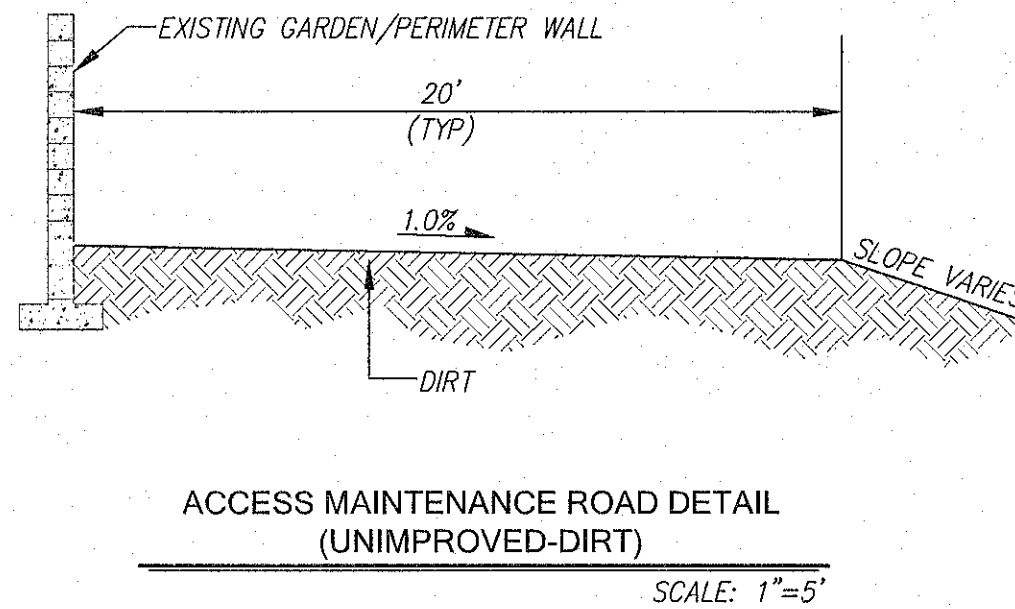
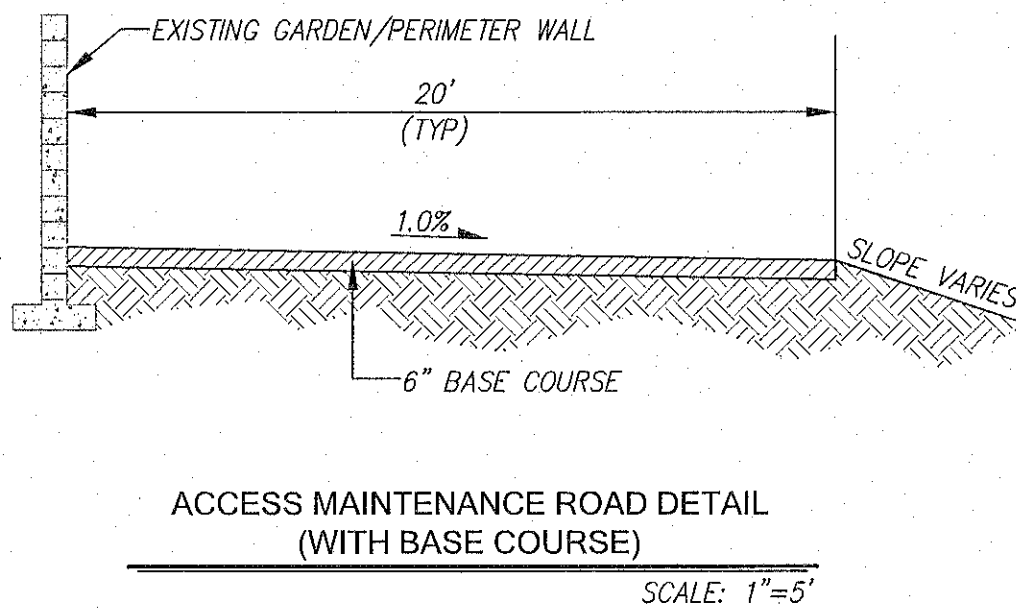
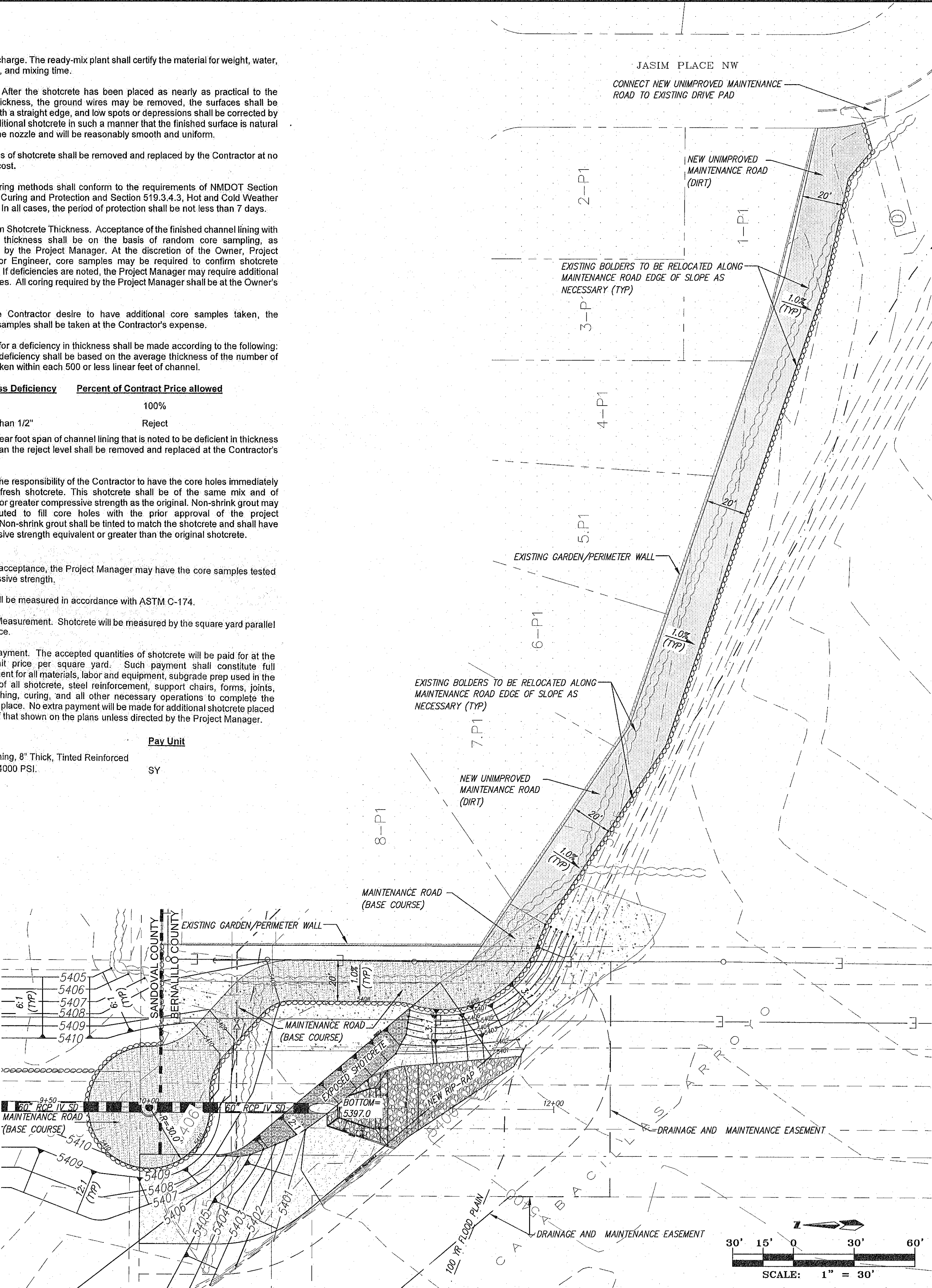
All cores will be measured in accordance with ASTM C-174.

625.38 Method of Measurement. Shotcrete will be measured by the square yard parallel to the surface.

Basis for Payment. The accepted quantities of shotcrete will be paid for at the contract unit price per square yard. Such payment shall constitute full reimbursement for all materials, labor and equipment, subgrade prep used in the placement of all shotcrete, steel reinforcement, support chairs, forms, joints, tinting, finishing, curing, and all other necessary operations to complete the shotcrete in place. No extra payment will be made for additional shotcrete placed in excess of that shown on the plans unless directed by the Project Manager.

Pay Item Pay Unit

Channel Lining, 8" Thick, Tinted Reinforced Shotcrete, 4000 PSI.	SY
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City of Rio Rancho

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REVISIONS (OR CHANGE NOTICES)

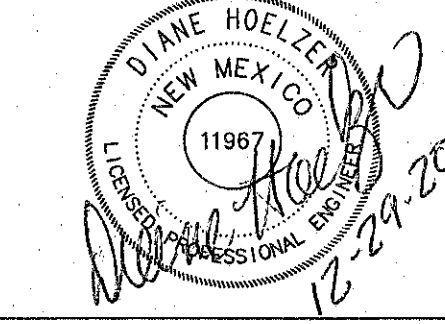
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 5406
RIO RANCHO, NEW MEXICO 87109
(505) 858-2200, FAX (505) 797-9559

LOS DIAMANTES
OFF SITE REGIONAL POND

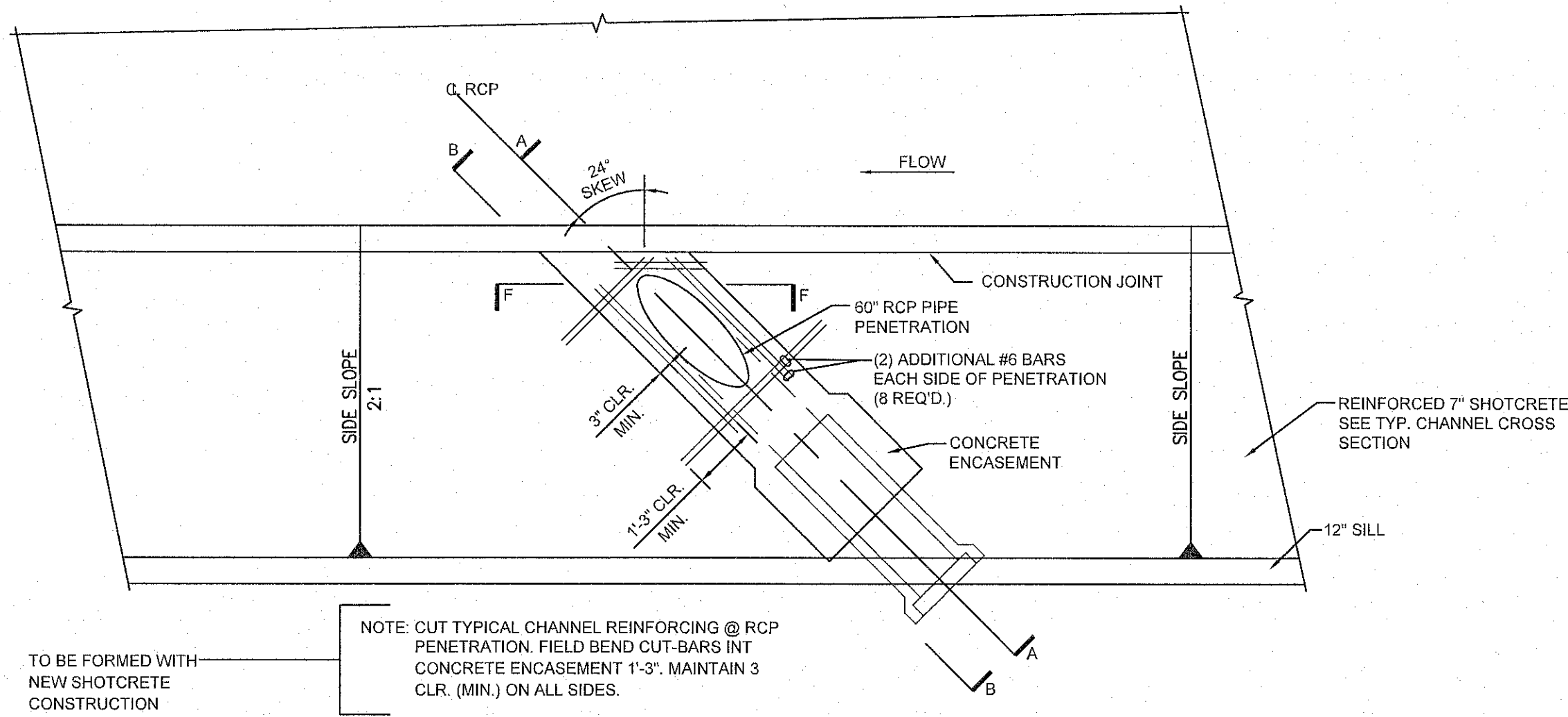
A.M.A.F.C.A. STANDARD
SHOTCRETE SPECIFICATIONS

ENGINEER'S SEAL

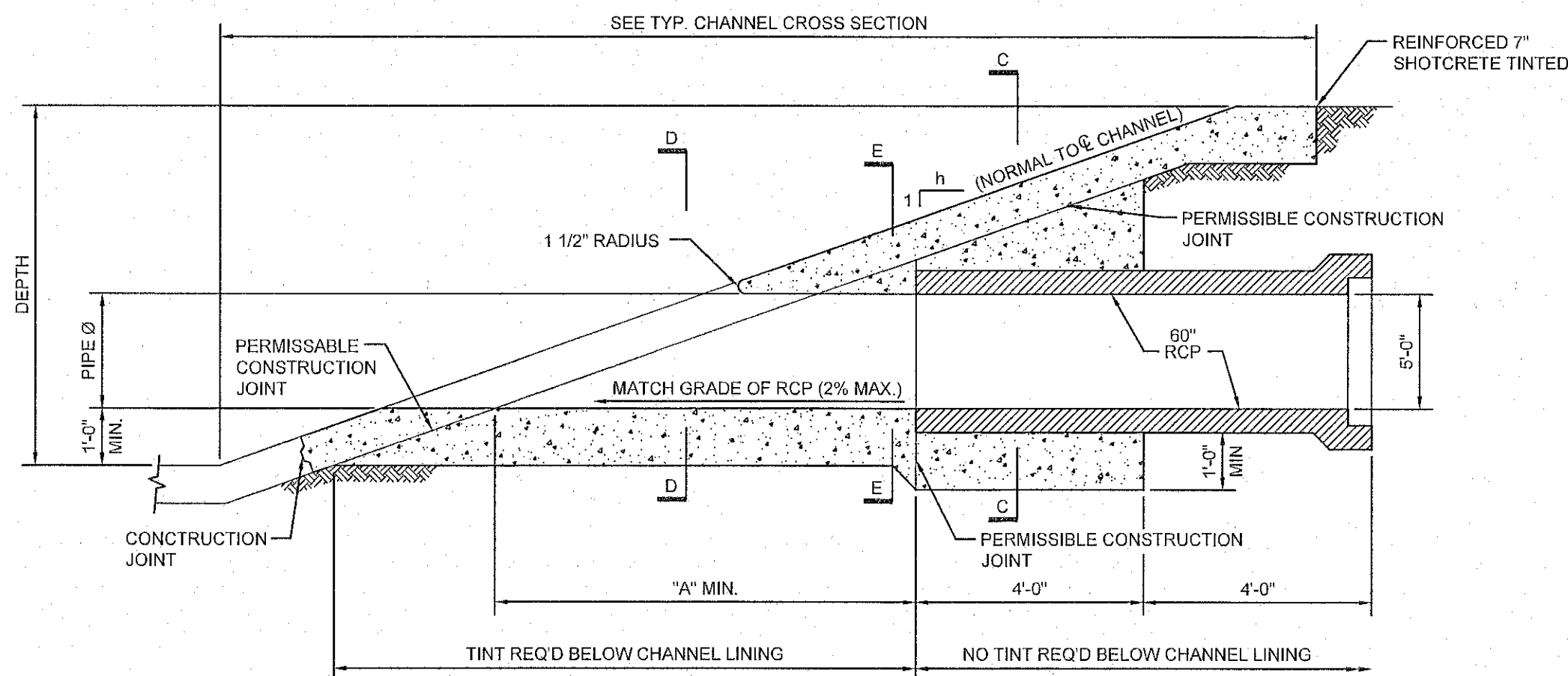


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DRAWN BY:	DER
CHECKED BY:	DMG
DATE:	11/12/20
DPW CHK:	

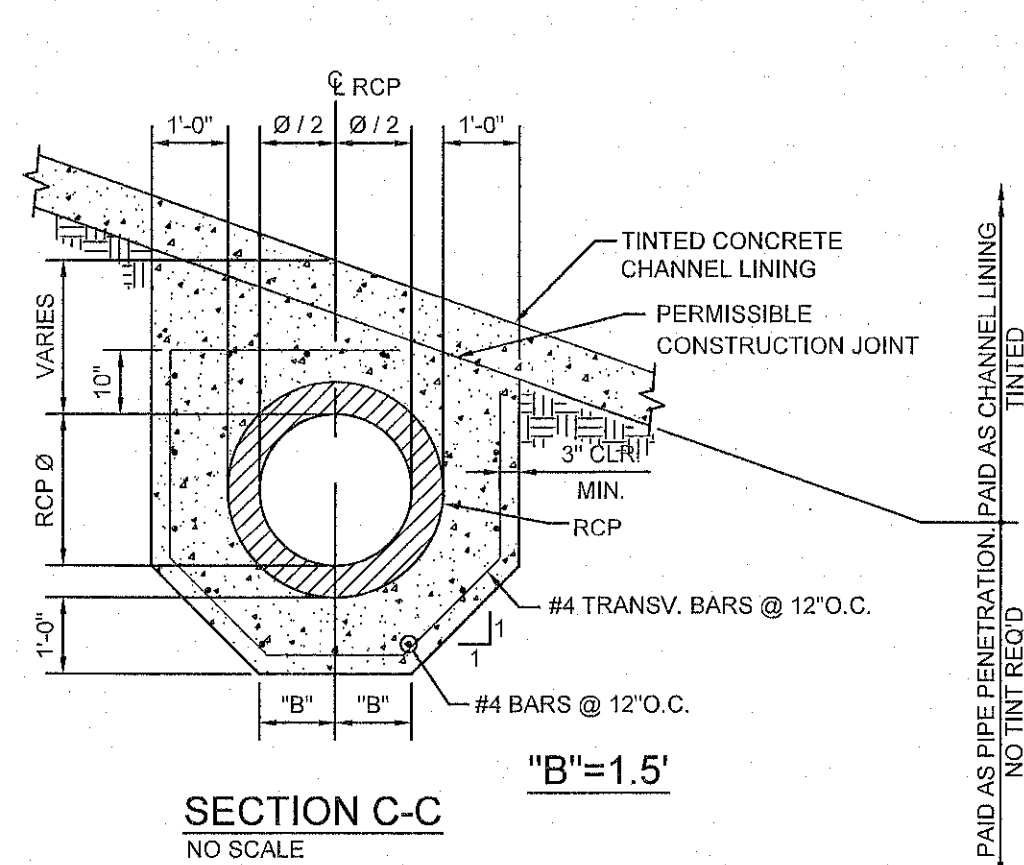
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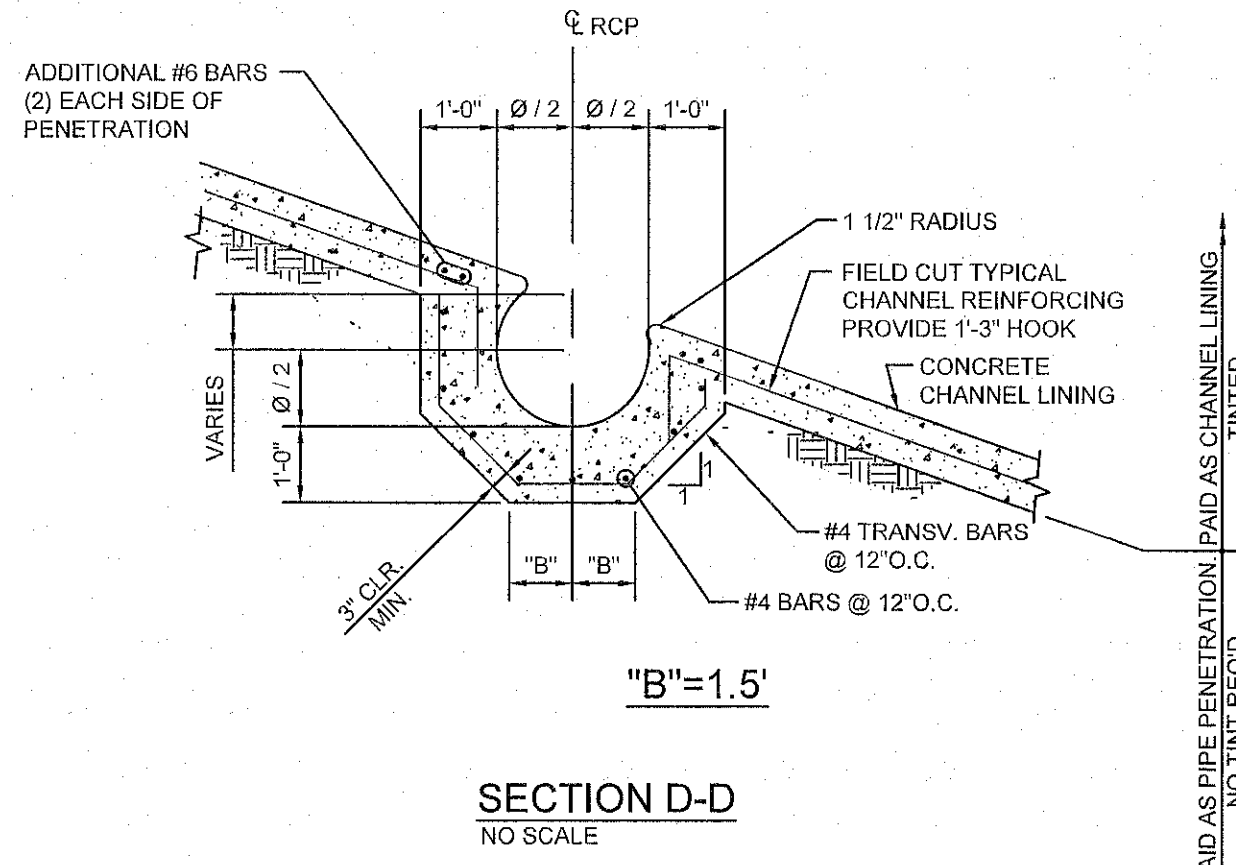
PIPE PENETRATION (PLAN VIEW)
NO SCALE



SECTION A-A
NO SCALE



SECTION C-C
NO SCALE



SECTION D-D
NO SCALE

SKEW ANGLE (DEGREES)	PIPE DIAMETER (INCHES)							
	24	30	36	42	48	54	60	72
0-10	5'-8"	6'-9"	7'-10"	8'-10"	9'-10"	10'-10"	11'-11"	13'-11"
>10-20	5'-11"	7'-0"	8'-1"	9'-2"	10'-3"	11'-3"	12'-4"	14'-6"
>20-30	6'-4"	7'-6"	8'-7"	9'-9"	10'-11"	12'-1"	13'-3"	15'-7"
>30-45	7'-4"	8'-9"	10'-2"	11'-7"	13'-0"	14'-5"	15'-10"	18'-9"
(49.8)							(16'-0")	

THIS PROJECT

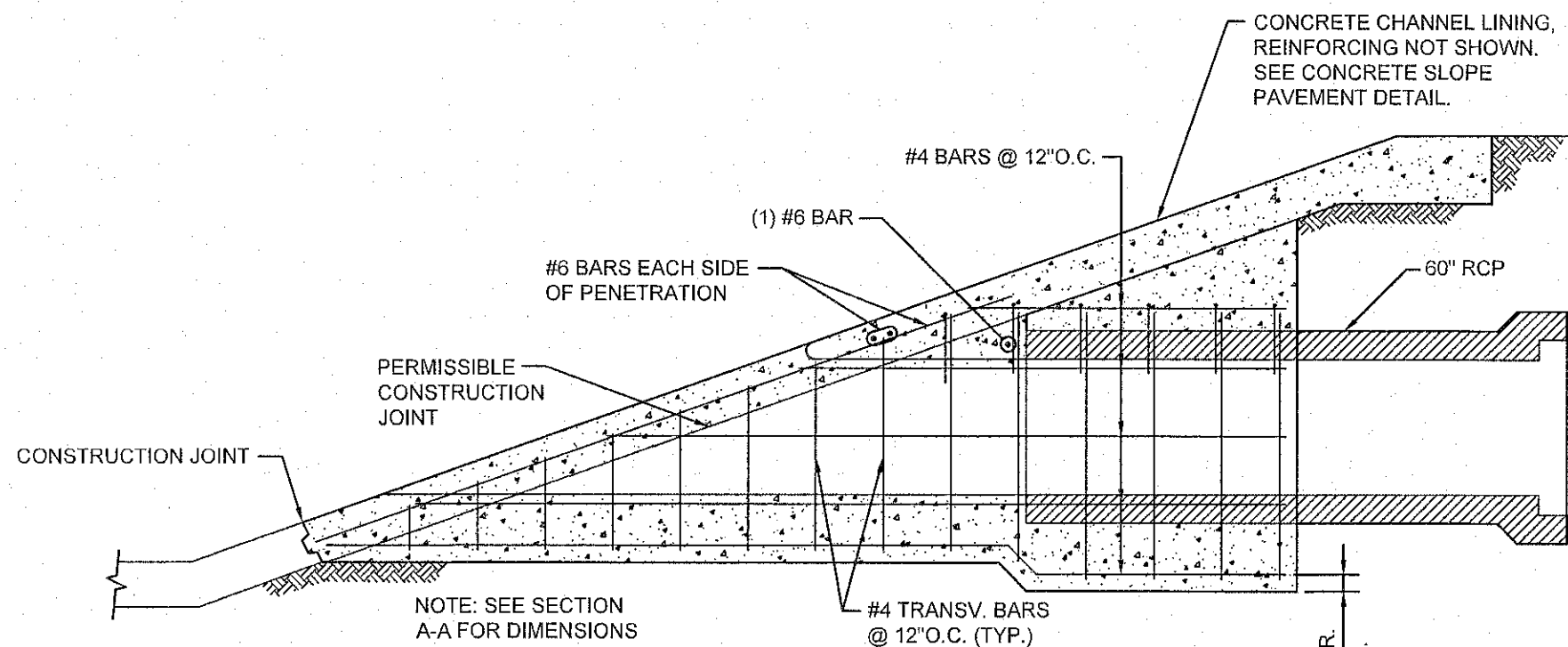
THIS PROJECT

PIPE DIAMETER (INCHES)							
24	30	36	42	48	54	60	72
10"	11"	1'-1"	1'-2"	1'-3"	1'-4"	(1'-6")	1'-8"

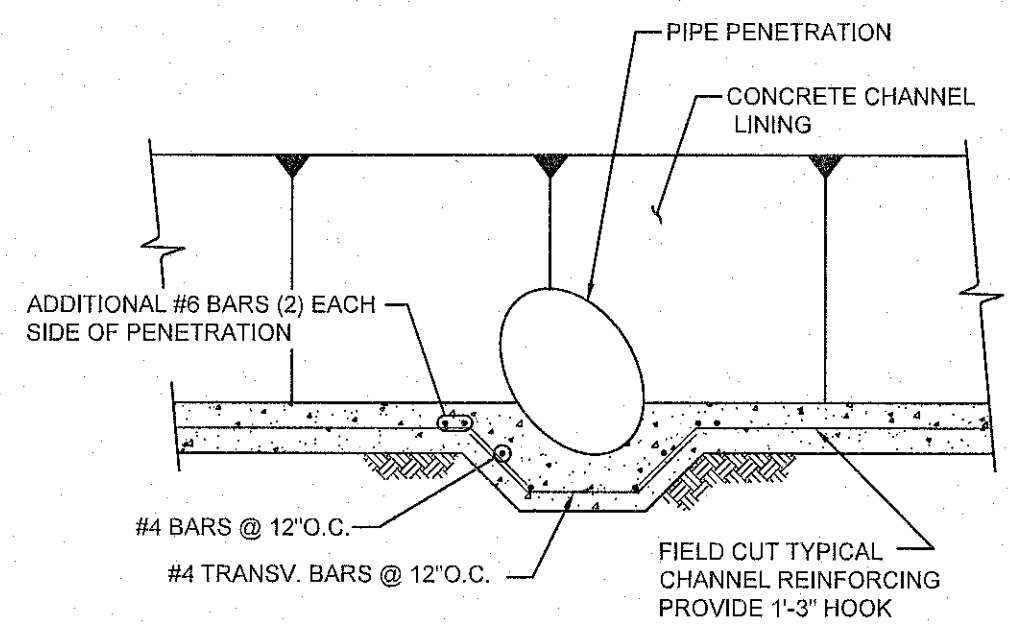
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7" TINTED SHOTCRETE

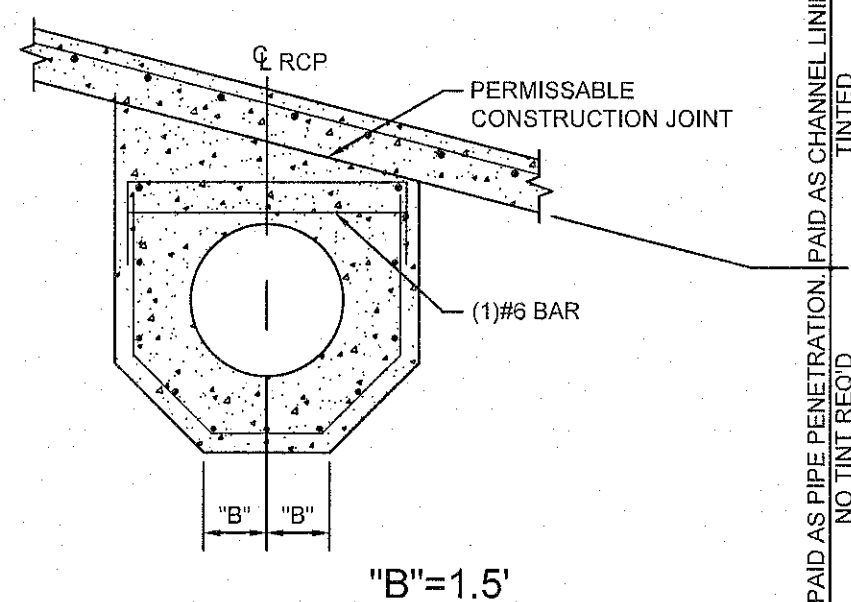
TYPICAL SHOTCRETE
KEYED CONNECTION DETAIL
(BETWEEN TOURS) N.T.S.



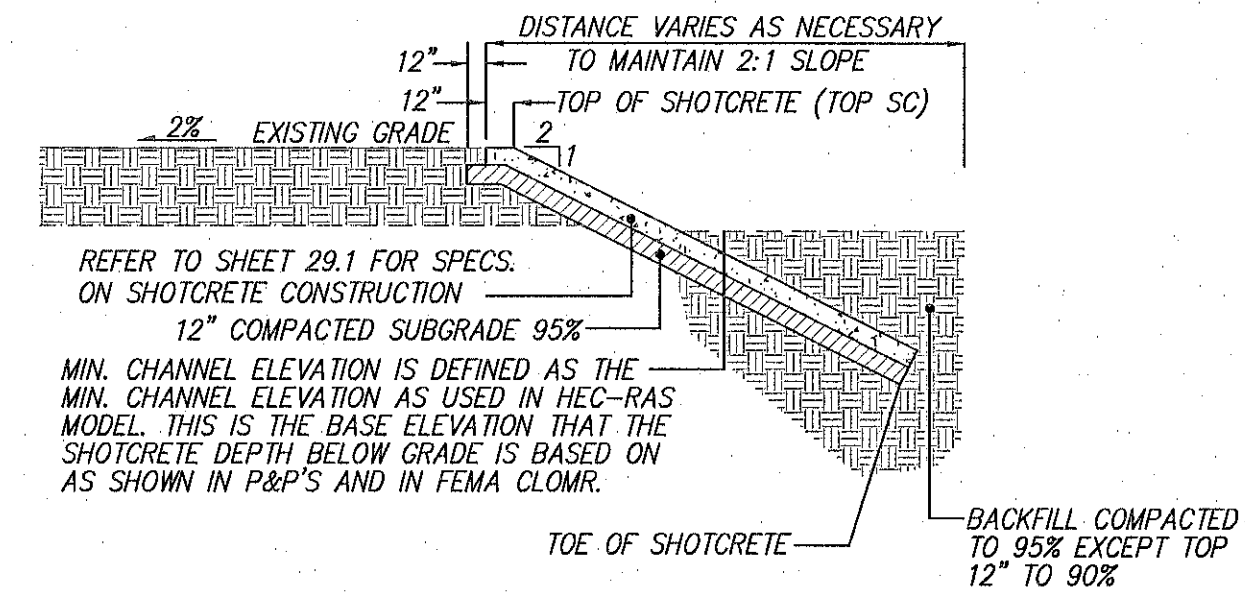
SECTION B-B
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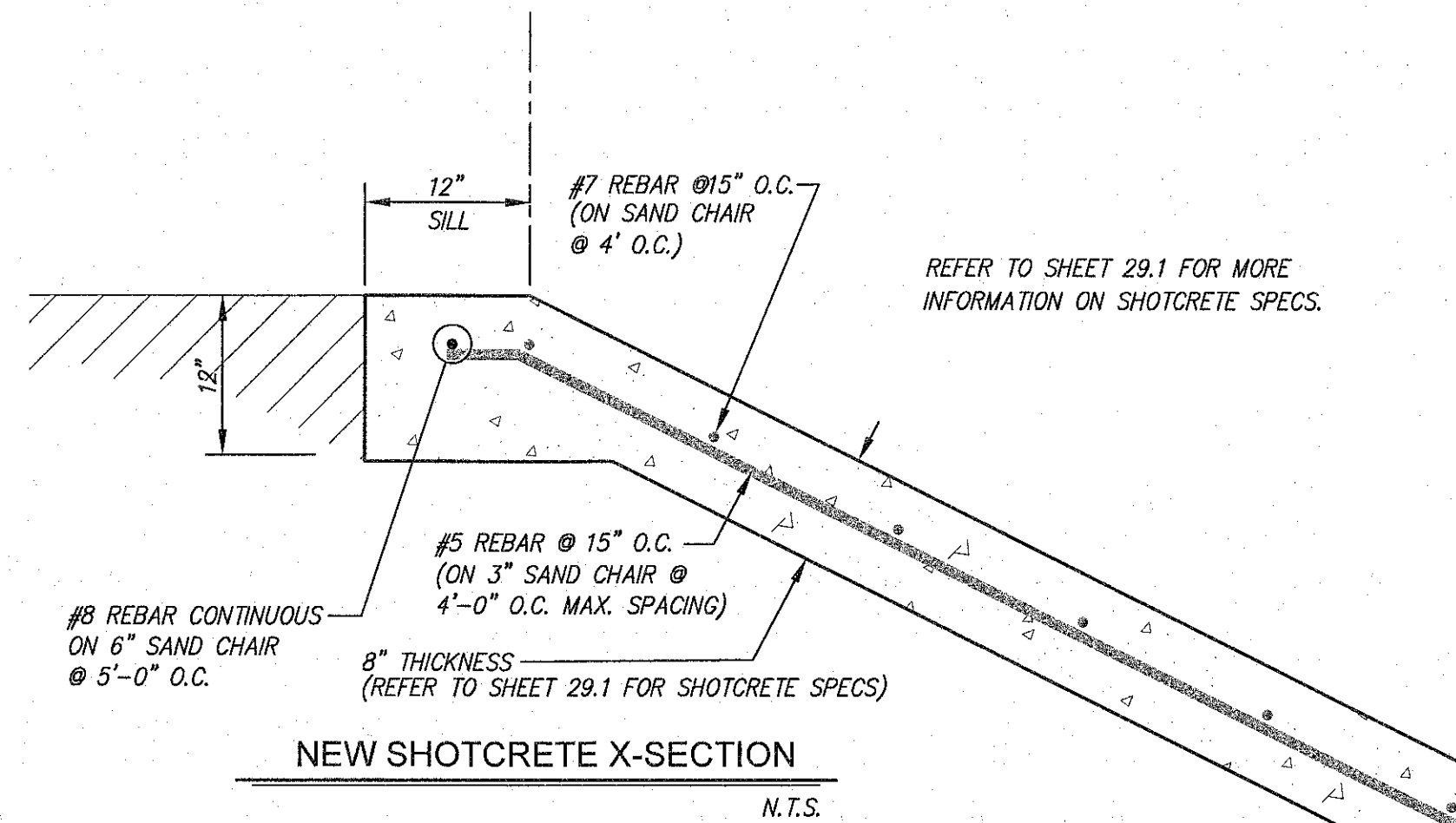
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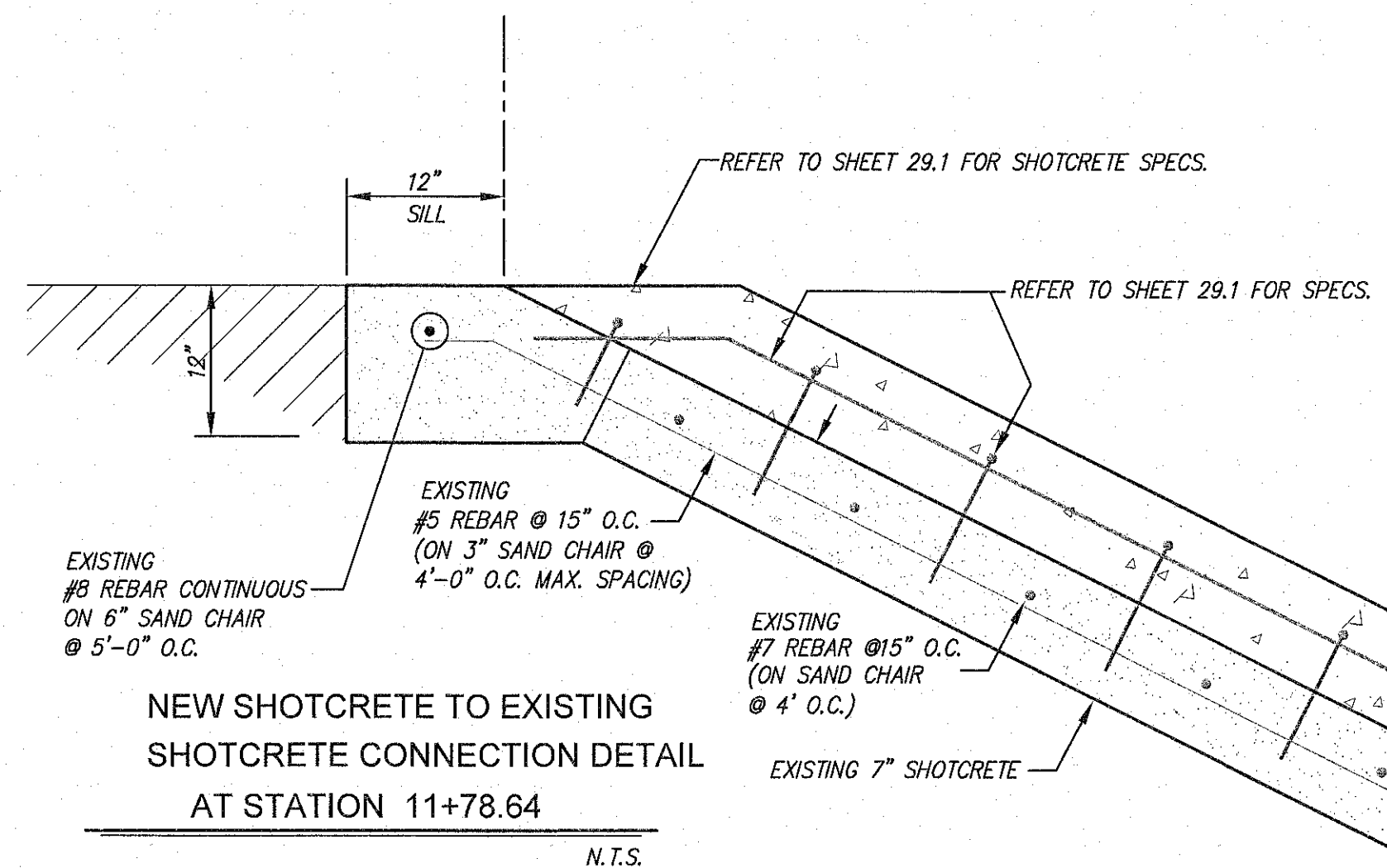
SECTION E-E
NO SCALE



SECTION G - G
N.T.S.



NEW SHOTCRETE X-SECTION
N.T.S.



NEW SHOTCRETE TO EXISTING
SHOTCRETE CONNECTION DETAIL
AT STATION 11+78.64
N.T.S.

NOTES

1. THE PIPE PENETRATION DETAILED HEREIN SHALL BE PAID FOR UNDER LUMP SUM AND SHALL BE COMPENSATION FOR THE PENETRATION COMPLETE AND IN PLACE. INCLUDED IN THIS WORK (BUT NOT LIMITED TO) IS GRADING, SUBGRADE PREPARATION, REINFORCED CONCRETE, CONSTRUCTION JOINTS, CONCRETE PLACEMENT AND FINISHING. NOTE THE MEASUREMENT FOR 7" SHOTCRETE IS CONTINUOUS AND UNINTERRUPTED AT THE PENETRATION LOCATION.
2. ALL CULVERT PIPE PLACED UNDER THE CHANNEL LINING OR WITHIN AMAFCA RIGHT-OF-WAY SHALL BE RCP CLASS III MIN.
3. FOR PIPE PENETRATIONS INTO EXISTING CHANNELS, USE CHANNEL REMOVAL DETAILS FROM AMAFCA STANDARD DRAWING 102.



City of Rio Rancho

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REVISIONS (OR CHANGE NOTICES)

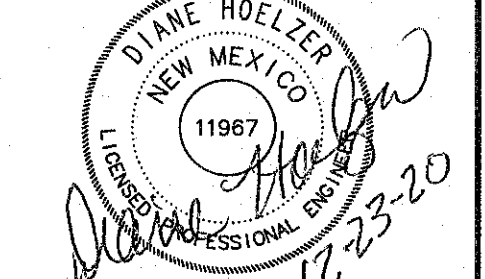
OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
11100 UNIVERSITY BLVD., SUITE 100
ALBUQUERQUE, NEW MEXICO 87109
(505) 268-2200, FAX (505) 797-9539

LOS DIAMANTES
OFF SITE REGIONAL POND

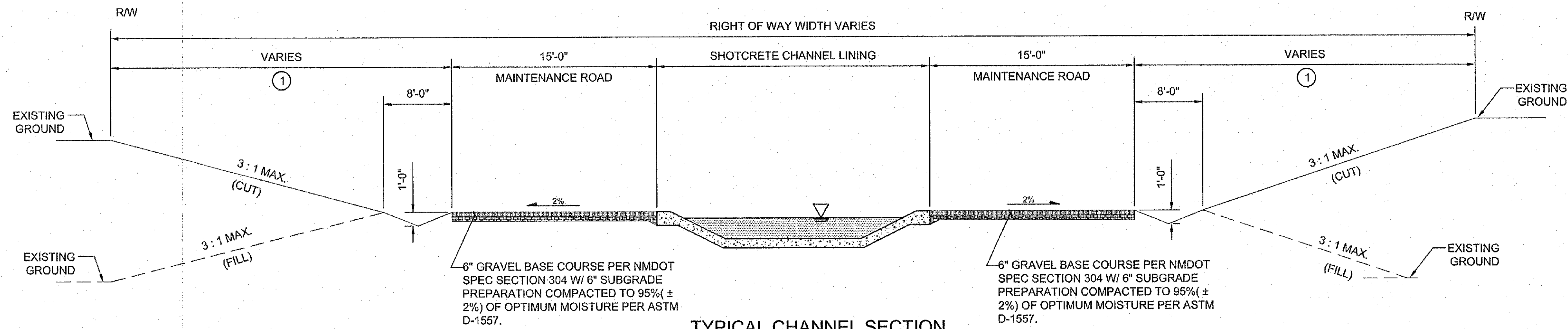
PIPE PENETRATION DETAILS

ENGINEER'S SEAL

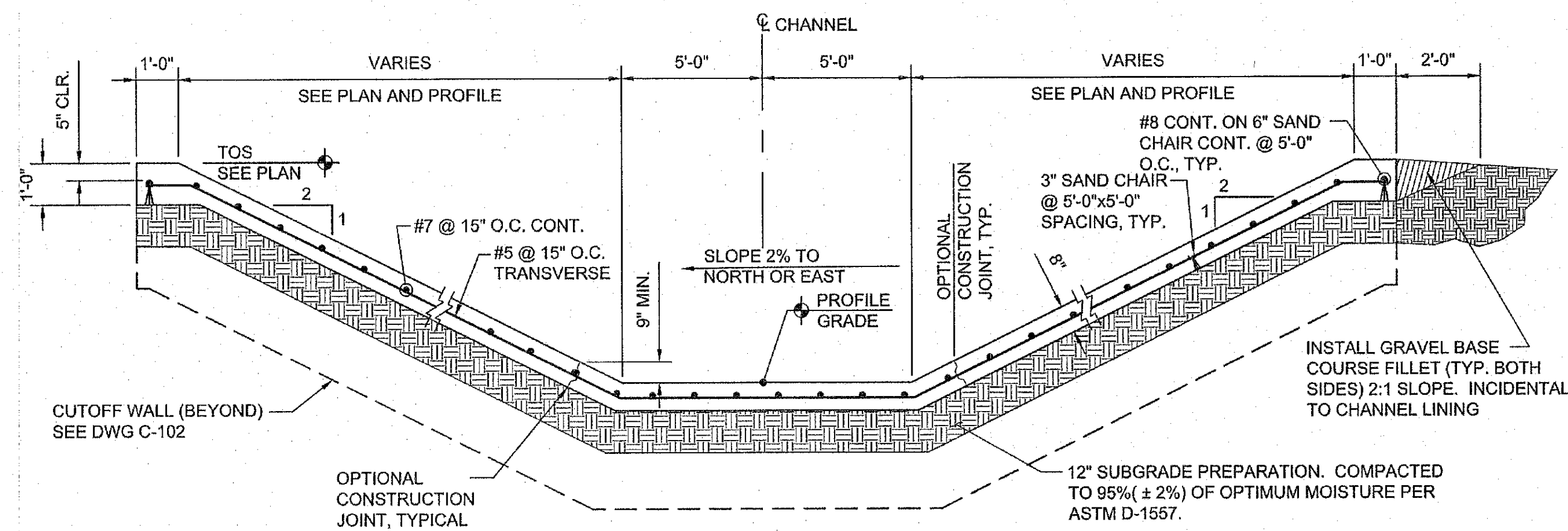


PROJECT NO. A18033
DESIGNED BY: DER
DRAWN BY: DER
CHECKED BY: DMG
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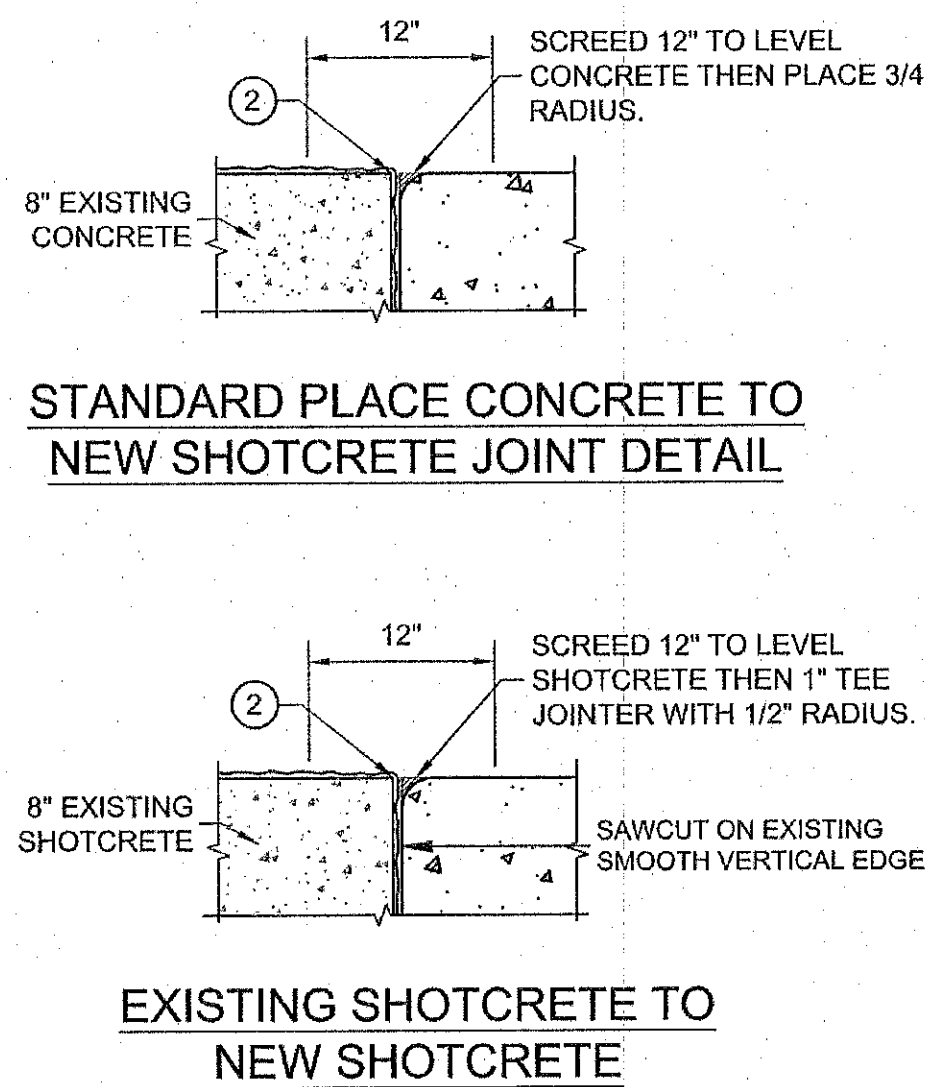
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TYPICAL CHANNEL SECTION

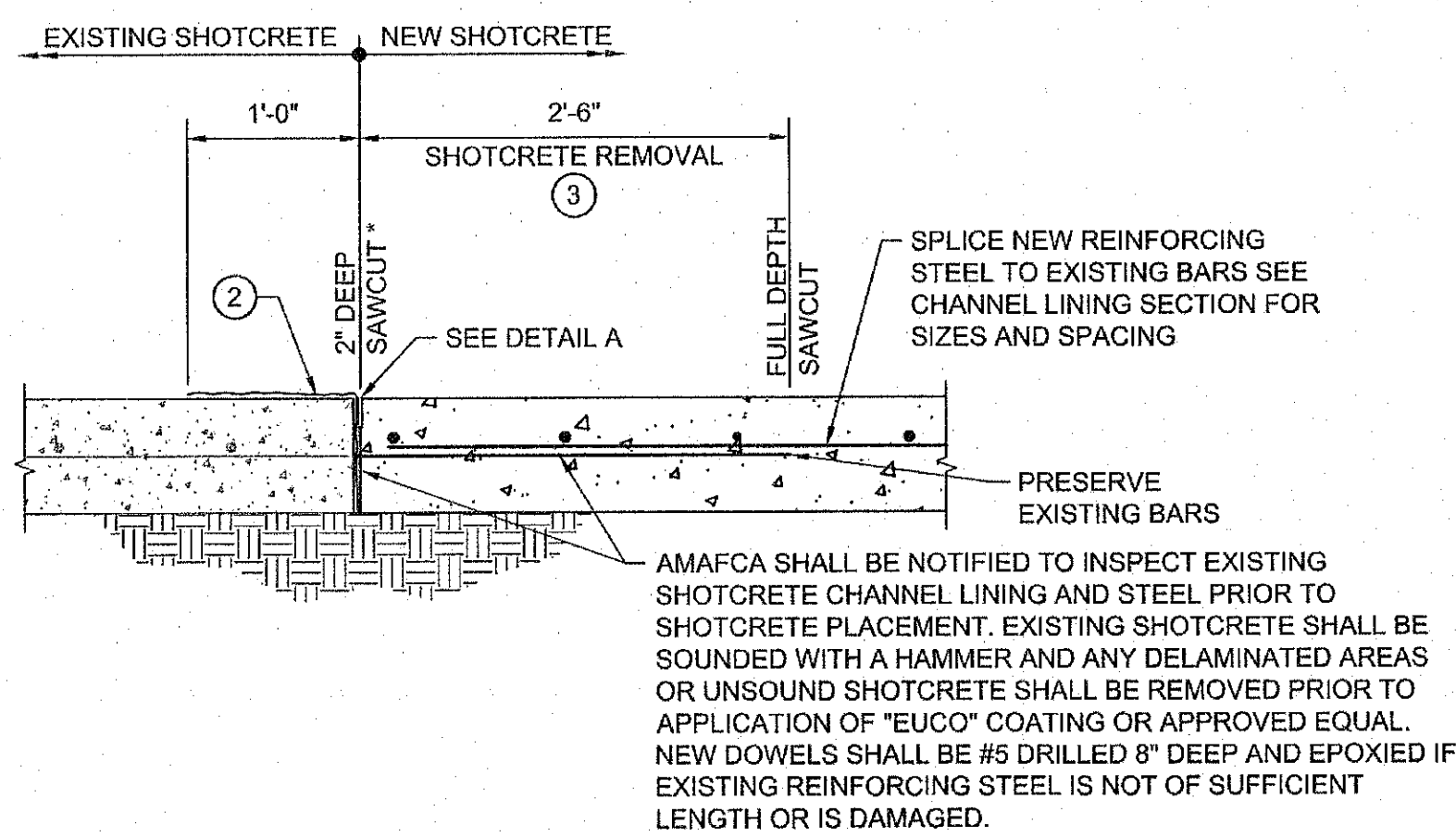


SHOTCRETE CHANNEL LINING

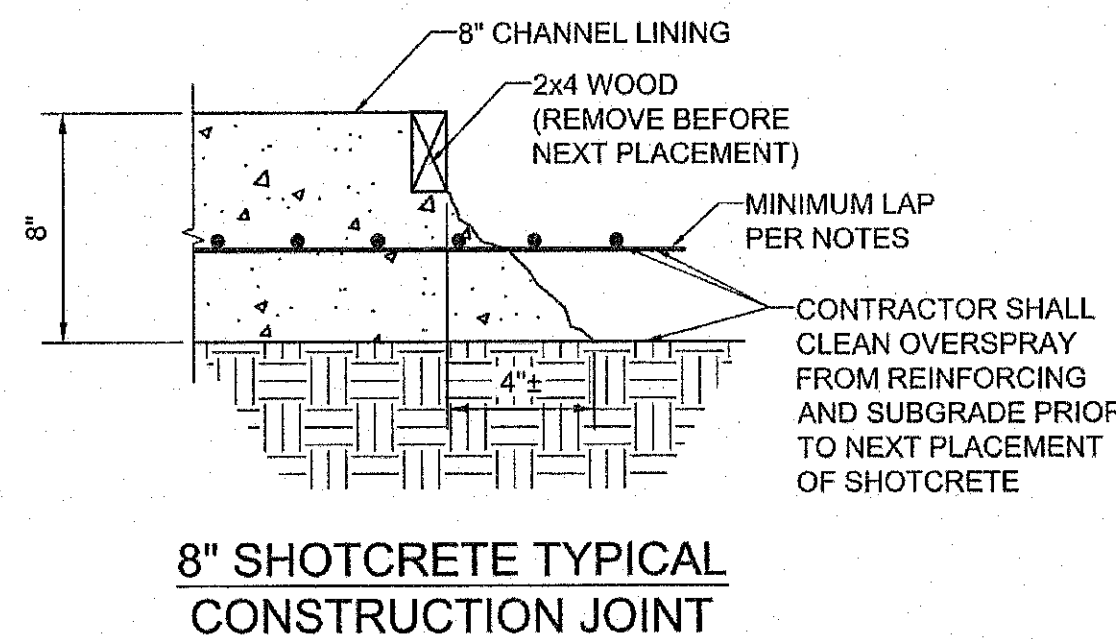


STANDARD PLACE CONCRETE TO NEW SHOTCRETE JOINT DETAIL

EXISTING SHOTCRETE TO NEW SHOTCRETE



NEW TO EXISTING CHANNEL LINING CONSTRUCTION JOINT



8" SHOTCRETE TYPICAL CONSTRUCTION JOINT

NOTES FOR SHOTCRETE CHANNEL CONSTRUCTION

- SHOTCRETE: CONCRETE SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS. ($f_c = 4000$ psi MINIMUM). $3/4"$ CHAMFER ON ALL EXPOSED FORMED EDGES UNLESS NOTED OTHERWISE.
- REINFORCING STEEL: STEEL REINFORCEMENT AND PLACEMENT SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND SHALL CONFORM TO ASTM A615, GRADE 60. ALL LAP SPLICES SHALL BE CLASS "B" UNLESS NOTED OTHERWISE. REINFORCING STEEL SHALL BE INCIDENTAL TO CONCRETE BID ITEMS.
- ALL EXPOSED CONCRETE SHALL BE TINTED WITH SAN DIEGO BUFF (DAVIS COLOR 5237) AT THE REDUCED DOSAGE OF 1 LB PER SACK OF CEMENT, OR APPROVED EQUAL. TINT SHALL BE INCIDENTAL TO THE COST OF THE RESPECTIVE CONCRETE.
- NEW TO EXISTING CHANNEL CONSTRUCTION: EUCO ARC LITHIUM NITRATE OR APPROVED EQUAL TREATMENT IS REQUIRED FOR ANY EXISTING CONCRETE CHANNELS. SEE DETAILS FOR INSTALLATION REQUIREMENTS, THIS SHEET.
- MINIMUM REBAR LAP LENGTH (CLASS B LAPS):
#4 = 24"
#5 = 26"
#7 = 43"
#8 = 54"
- THE EARTH SIDE OF SILL WALLS SHALL BE WATERPROOFED AT IRRIGATED AREAS AND DAMP PROOFED AT ALL OTHER AREAS. WATERPROOFING SHALL BE CONWRAP BARRIER CS-212 AS MANUFACTURED BY CONCRETE SEALANTS, INC. (MEMBRANE THICKNESS 0.100 INCHES MINIMUM) OR APPROVED EQUAL. DAMP PROOFING SHALL BE HYDROCID 700B OR APPROVED EQUAL.
- FOR SILL WALL AND CUT OFF WALL DETAILS SEE SHEET C-102.

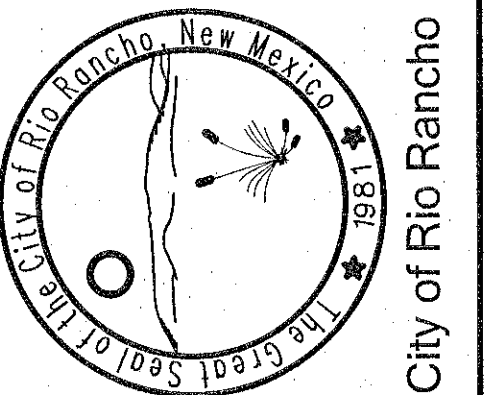
KEYED NOTES

- NATIVE RE-VEGETATION. SEE CITY OF ALBUQUERQUE SPECIFICATION SECTION 1012. GRAVEL MULCH IS REQUIRED FOR SLOPES GREATER THAN 3H:1V.
- EUCO ARC LITHIUM NITRATE COATING OR APPROVED EQUAL APPLIED TO VERTICAL SURFACE AND 12" OF TOP SURFACE OF EXISTING CONCRETE TO REMAIN.
- REMOVAL OF CONCRETE ADJACENT TO THE 2" SAWCUT WILL BE WITH A 30 LB., MAX. PNEUMATIC HAMMER. IN THE EVENT OF DAMAGE TO THE CONCRETE TO REMAIN, THE CONTRACTOR SHALL RE SAW THE 2" JOINT AND REMOVE AND REPLACE THAT CONCRETE AT NO COST.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY			
AMAFCA STANDARD DETAILS			
SHOTCRETE CHANNEL STRUCTURE SECTIONS AND DETAILS			
REV	DATE	DESCRIPTION	CHKD
DRAWING NO. C-102S		MAP NO.	SHEET OF

ISSUE DATE: 2-14-2020

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February 19, 2020 - 9:27am



City of Rio Rancho

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REVISIONS (OR CHANGE NOTICES)

OWNER/DEVELOPER
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LOS DIAMANTES
OFF SITE REGIONAL POND

A.M.A.F.C.A.
SHOTCRETE CHANNEL STRUCTURE
SECTIONS AND DETAILS

ENGINEER'S SEAL	
PROJECT NO. A18033	
DESIGNED BY: DER	
DRAWN BY: DER	
CHECKED BY: DMG	
DATE: 12/22/20	
DPW CHK:	
SHEET:	

