

LOS DIAMANTES: 10th STREET S.E. INFRASTRUCTURE PLANS CITY OF RIO RANCHO SANDOVAL COUNTY, NEW MEXICO

10th STREET

LOS DIAMANTES

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- 2 STANDARD NOTES
- 3 STANDARD ABBREVIATIONS

GRADING PLANS

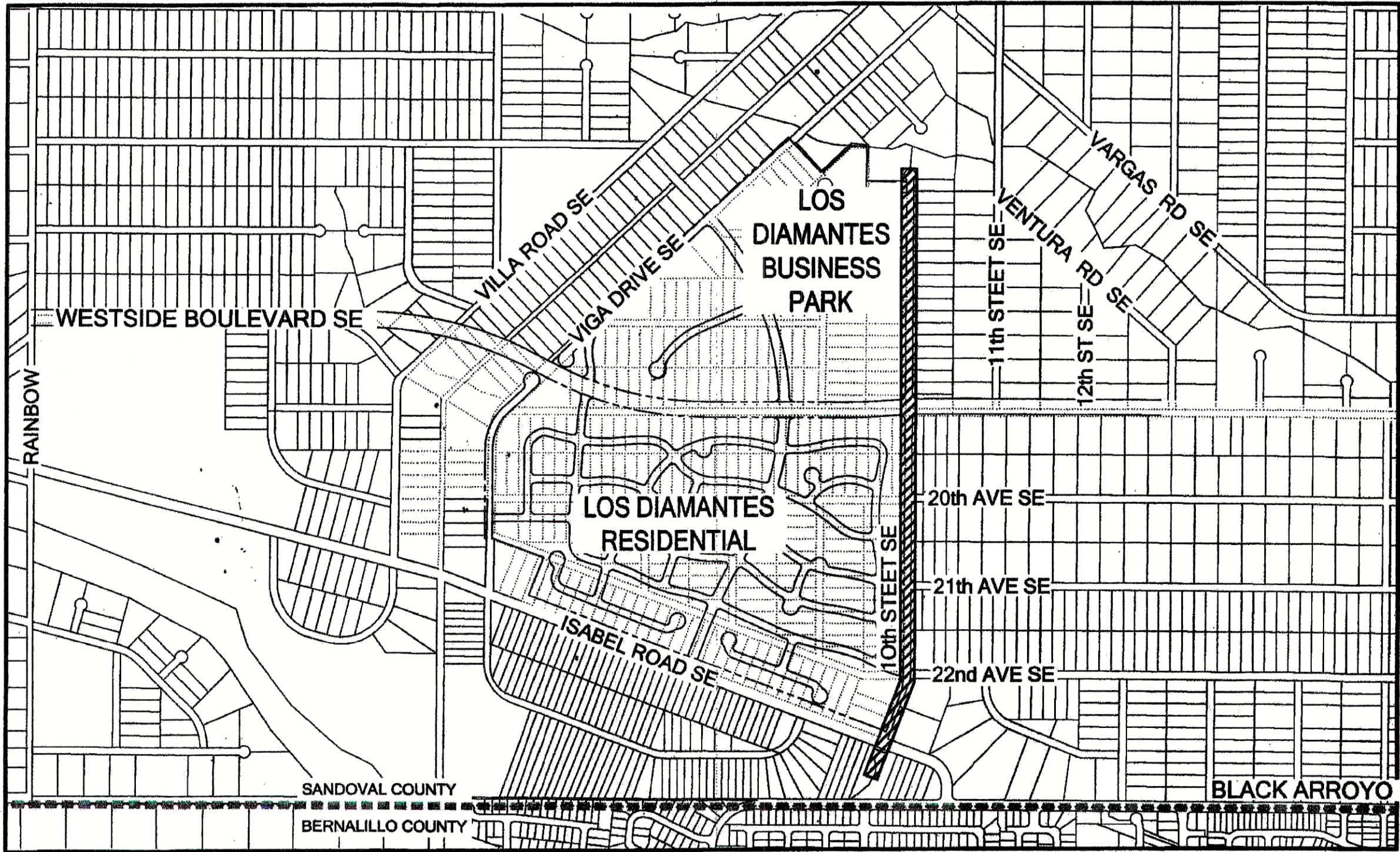
- 4 EROSION CONTROL PLAN

UTILITY PLANS

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- 12 STRUCTURAL OUTFALL DETAILS

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VICINITY MAP

DEVELOPER: 
LD DEVELOPMENT, LLC

DATE: 10-17-19

CITY OF RIO RANCHO: David Serrano
DEVELOPMENT SERVICES

DATE: 5/11/2020

SSCAFCA: Charles Thomas
EXECUTIVE ENGINEER

Digitally signed by Charles Thomas
DN: cn=Charles Thomas,
o=SSCAFCA, ou=Executive Engineer,
email=c.thomas@sscafca.com, c=US
Date: 2020.05.11 09:41:47 -0600

DATE: 5/8/2020

"Record Drawings" Engineer's Certification

I, Mark Goodwin, a Registered Professional Engineer in the State of New Mexico, have reviewed the Final Plat of Los Diamantes 10th Street SE and related relevant drainage plans, street plans and profiles, design and construction plans, and other improvement plans. I do hereby certify that I have made an inspection of those improvements described herein and find same to be built in accordance with the Preliminary and Final Plat, except for the modifications specifically noted. I have attached hereto reasons for the modifications and relevant "Record Drawings" plans detailing the modifications.


Registered Professional Engineer Date 11/9/20



CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

PROJECT NO. A18026
DESIGNED BY: DER
DRAWN BY: DER
CHECKED BY: DMG
DATE: 10/16/19
DPW CHK:

SHEET:
DE 5/8/2020

1 of 19

ENGINEER'S SEAL



3/15/20
4/16/20
4/18/20

OWNER/DEVELOPER
LD DEVELOPMENT, LLC


MARK GOODWIN & ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ENGINEERS
10000 RIVINGTON AVE., SUITE 100
ALBUQUERQUE, NEW MEXICO 87118
(505) 888-2200, FAX (505) 797-8339

LOS DIAMANTES:
10th STREET S.E. INFRASTRUCTURE

COVER SHEET



City of Rio Rancho

REVISIONS (OR CHANGE NOTICES)

NO.	DESCRIPTION	DATE	BY
7			
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RECORD DRAWING

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
8"x8"x8"	13'	3'
8"x8"x8"	7'	5'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
16"	37'	15'	7'	4'	132'
12"	30'	12'	6'	3'	85'
10"	26'	11'	5'	3'	72'
8"	22'	9'	4'	2'	60'
6"	17'	7'	3'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTHS FOR REDUCERS (FT.)		
PIPE SIZE	LARGE SIDE	SMALL SIDE
16" X 10"	25'	30'
12" X 10"	25'	30'
12" X 8"	45'	68'
12" X 6"	62'	121'
12" X 4"	74'	213'
10" X 8"	24'	30'
10" X 6"	44'	73'
10" X 4"	58'	141'
8" X 6"	25'	33'



City of Rio Rancho

REVISIONS (OR CHANGE NOTICES)	
NO.	DESCRIPTION
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OWNER/DEVELOPER
LD DEVELOPMENT, LLC

DESIGNED BY: DER
DRAWN BY: DER
CHECKED BY: DMG
DATE: 1/9/20

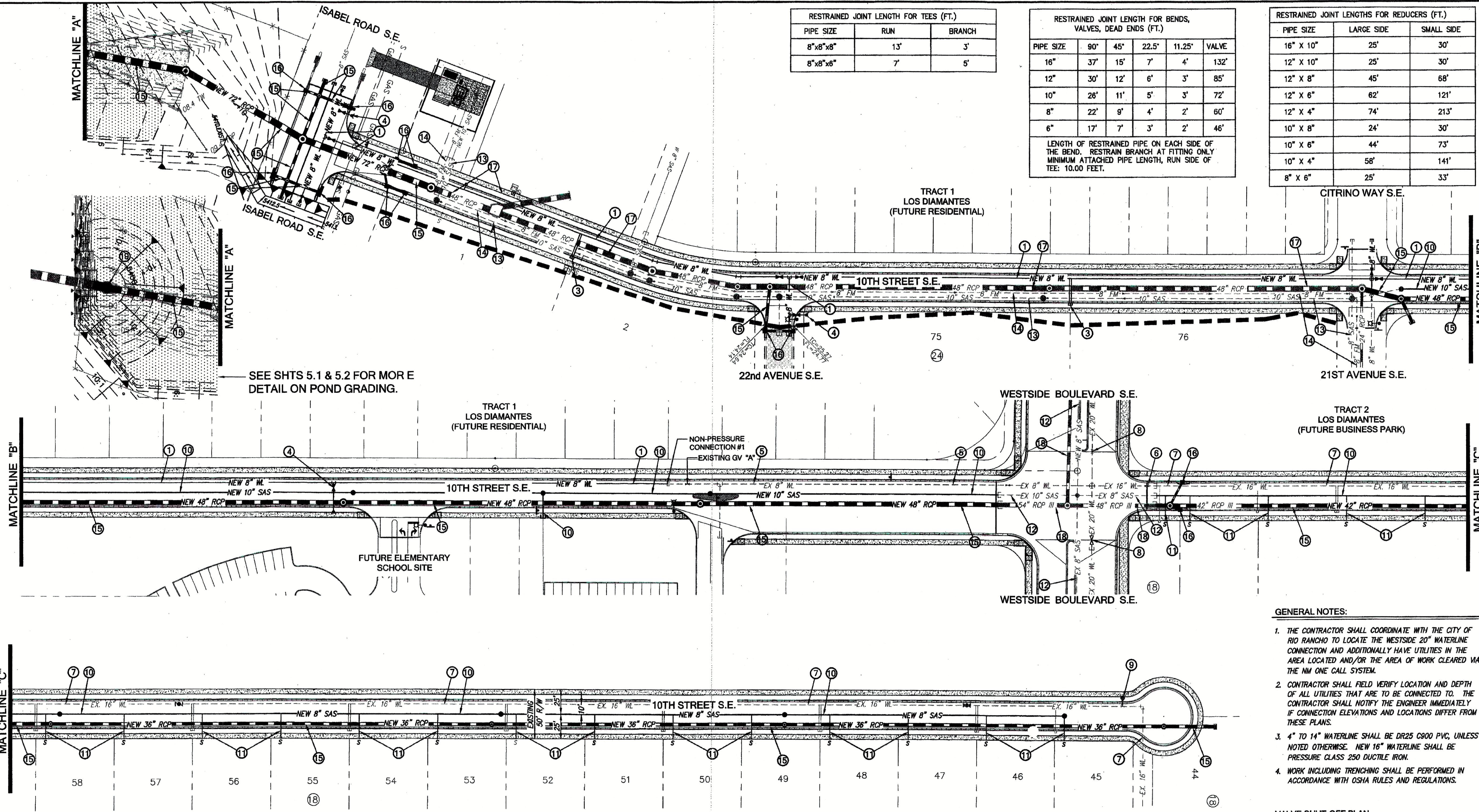
LOS DIAMANTES:
10th STREET S.E. INFRASTRUCTURE

MASTER UTILITY PLAN

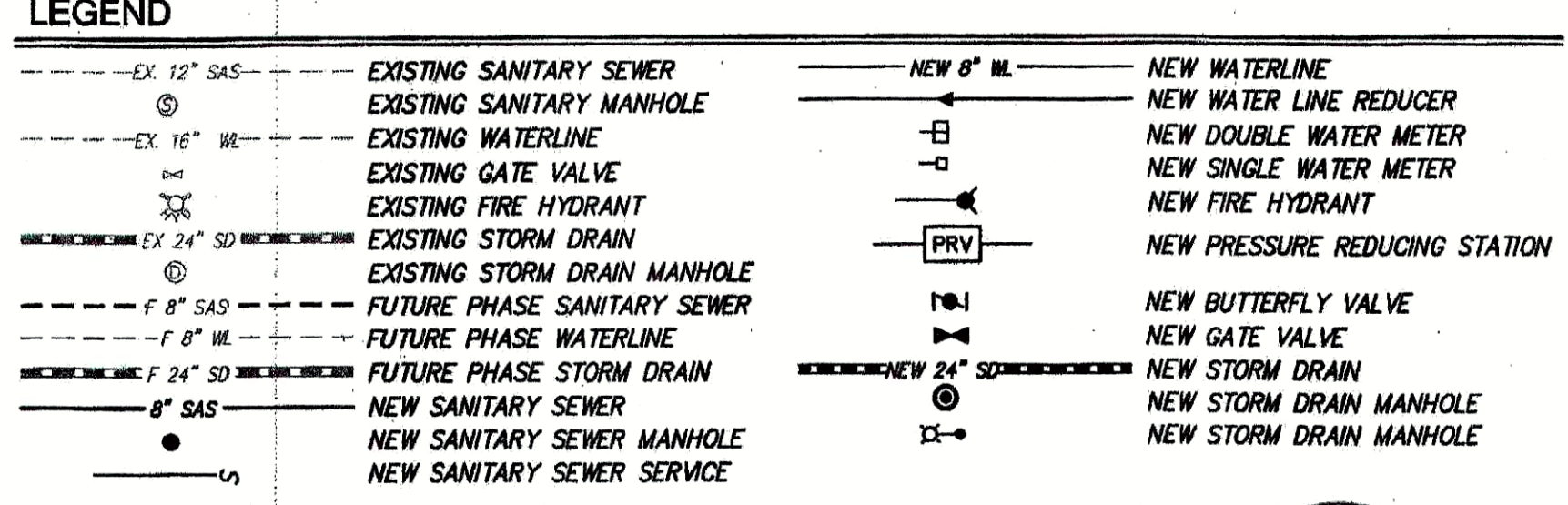
ENGINEER'S SEAL

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DATE: 1/9/20

SHEET:
DE 5/8/2020
5 of 19



- KEY NOTES:
- BUILD NEW 8" SDR18 C900 PVC WATERLINE.
 - BUILD NEW SINGLE WATER METER AND SERVICE LINE PER C.O.R.R. STD. DWG. W-5. (NONE)
 - BUILD NEW DOUBLE WATER METER AND SERVICE LINE PER C.O.R.R. STD. DWG. W-5.
 - BUILD NEW FIRE HYDRANT ASSEMBLY (COMPLETE IN PLACE) PER C.O.R.R. STD. DWG. W-15.
 - EXISTING 8" SDR18 C900 PVC WATERLINE BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 1.
 - EXISTING 16" PRESSURE CLASS 250 DUCTILE IRON WATERLINE BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 1.
 - EXISTING 16" PRESSURE CLASS 250 DUCTILE IRON WATERLINE BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 3.
 - EXISTING 20" PRESSURE CLASS 250 DUCTILE IRON WATERLINE BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 1.
 - EXISTING FIRE HYDRANT.
 - BUILD NEW SDR35 PVC SANITARY SEWER LINE.
 - BUILD NEW SANITARY SEWER SERVICE LINE PER C.O.R.R. STD. DWG. S-6.
 - EXISTING SR35 PVC SANITARY SEWER LINE BUILT WITH LOS DIAMANTES WESTSIDE BOULEVARD S.E. PLANS.
 - EXISTING 8" DR35 PVC SANITARY SEWER LINE BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 2A.
 - EXISTING 8" C-900 PVC SANITARY SEWER FORCE MAINLINE BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 2A.
 - BUILD NEW RCP III STORM DRAIN.
 - BUILD NEW STORM DRAIN INLETS PER C.O.R.R. STD. DWGS.
 - EXISTING RCP III STORM DRAIN BUILT WITH LOS DIAMANTES OFF-SITE UTILITIES, PHASE 2A.
 - EXISTING RCP III STORM DRAIN BUILT WITH LOS DIAMANTES WESTSIDE BOULEVARD S.E. PLANS.
 - BUILD NEW STORM DRAIN STRUCTURE. SEE DETAILS ON SHEET 12.

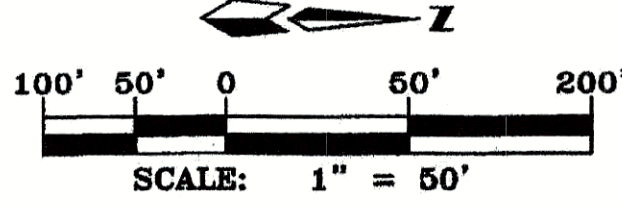


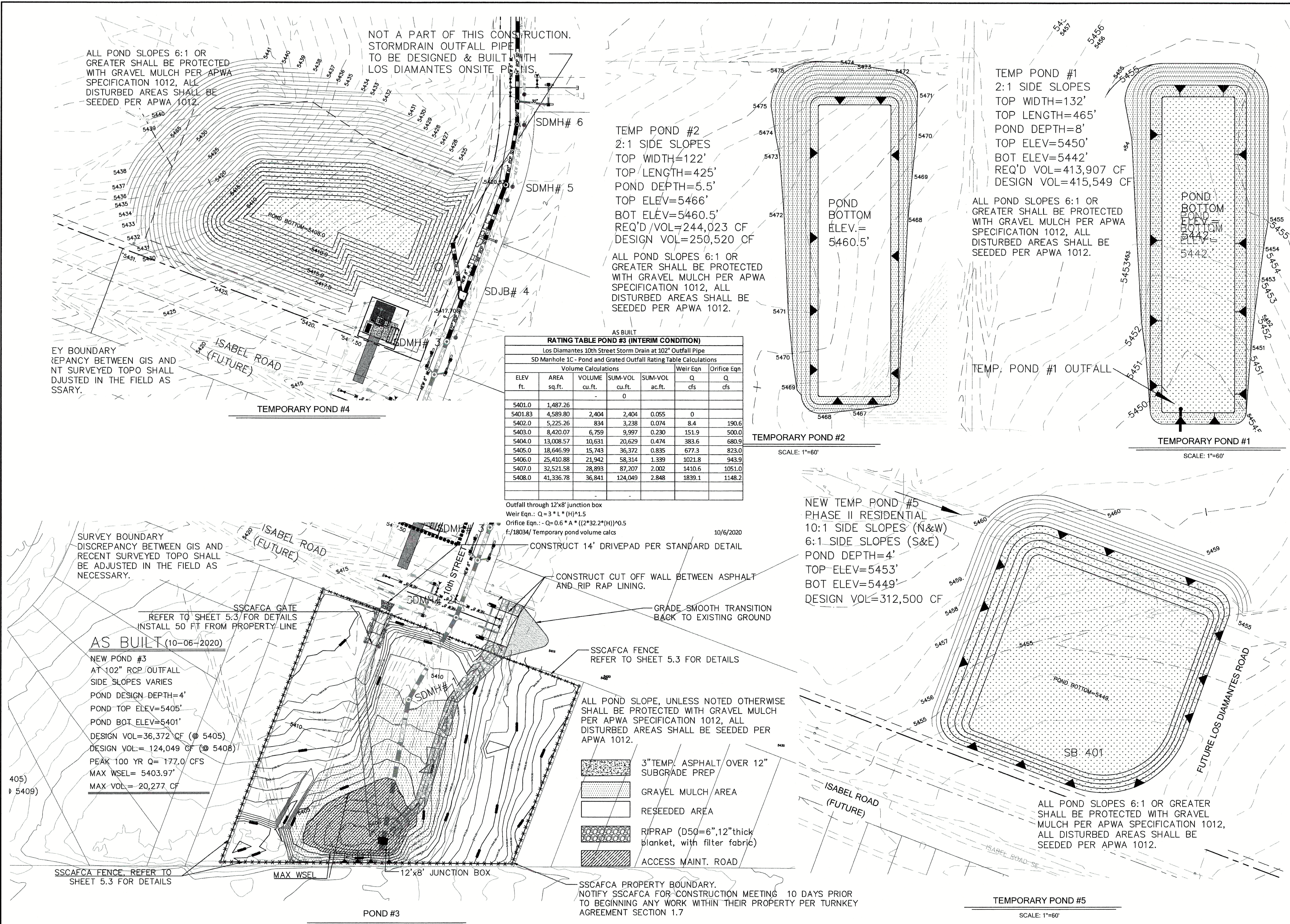
"Record Drawings" Engineer's Certification

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Mark Goodwin
Registered Professional Engineer
Date: 1/9/20

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City of Rio Rancho

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OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 60608
ALBUQUERQUE, NEW MEXICO 87108
(505) 258-2200, FAX (505) 797-9539

LOS DIAMANTES:
10th STREET S.E. INFRASTRUCTURE

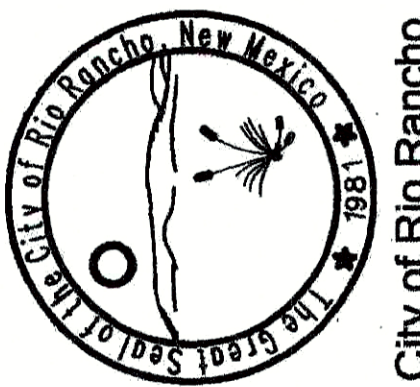
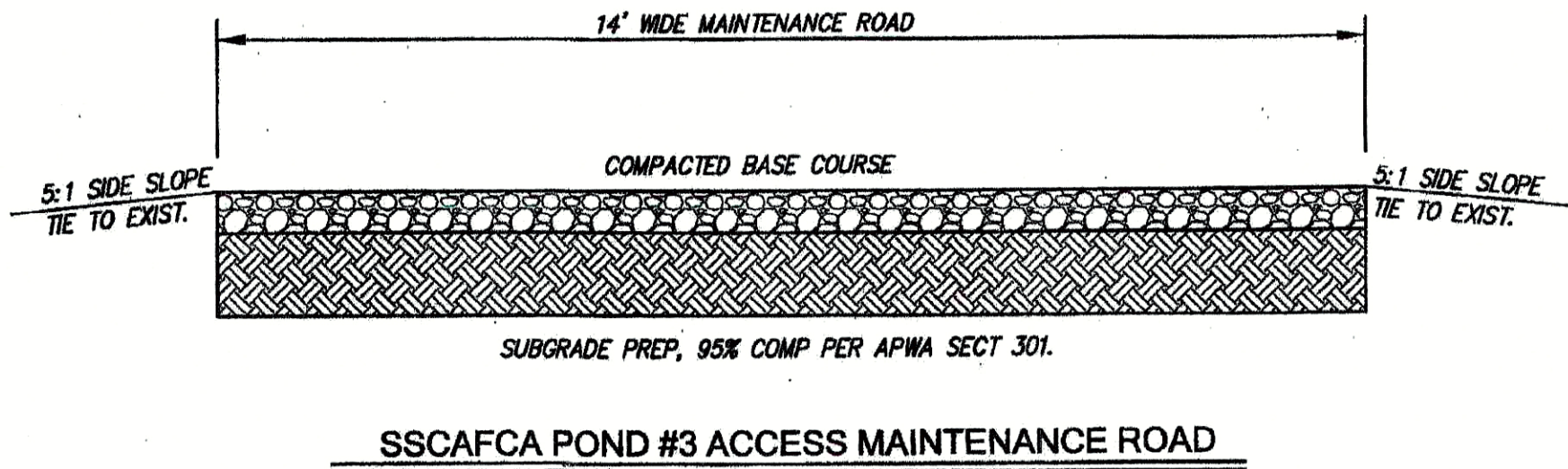
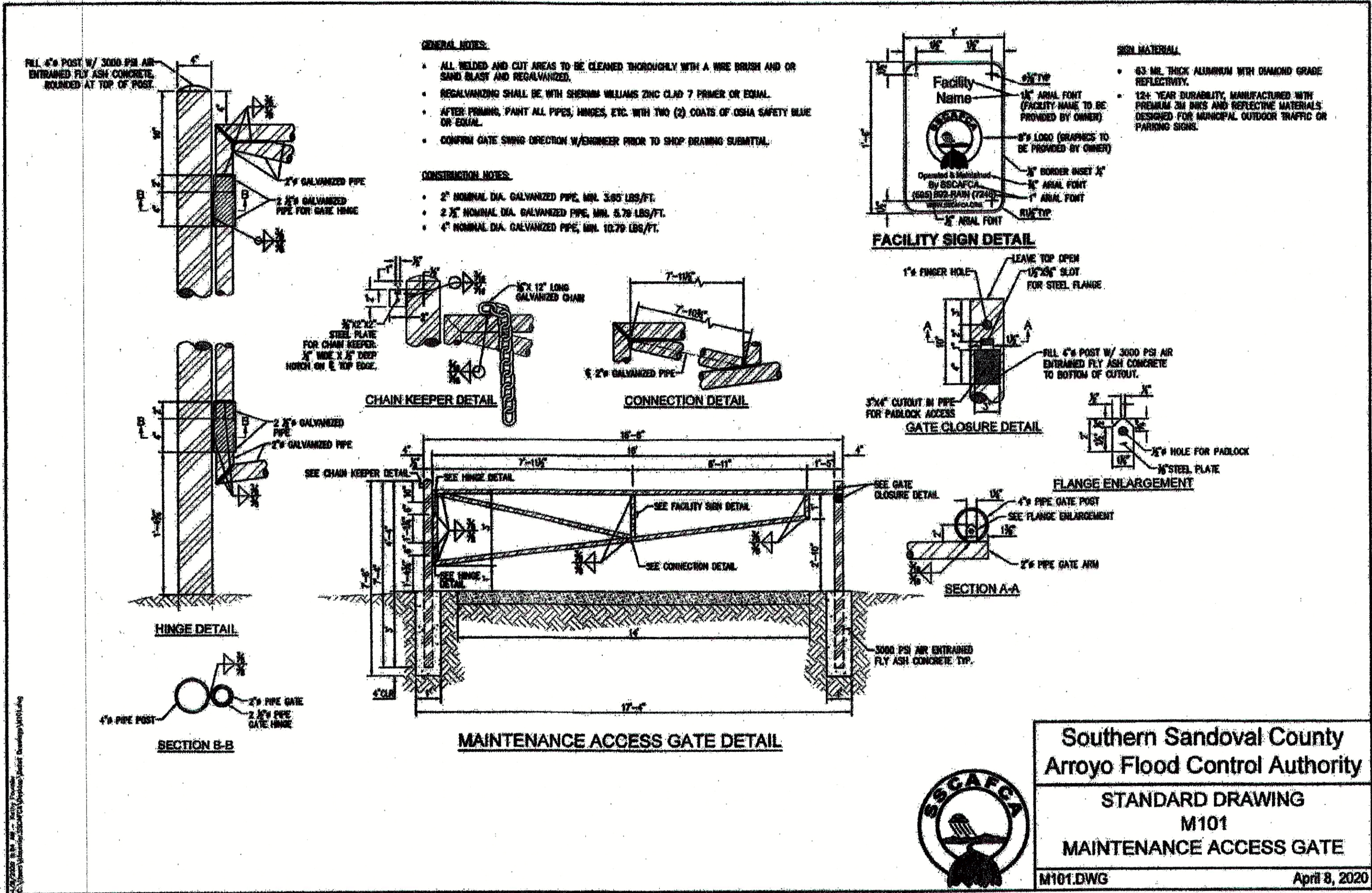
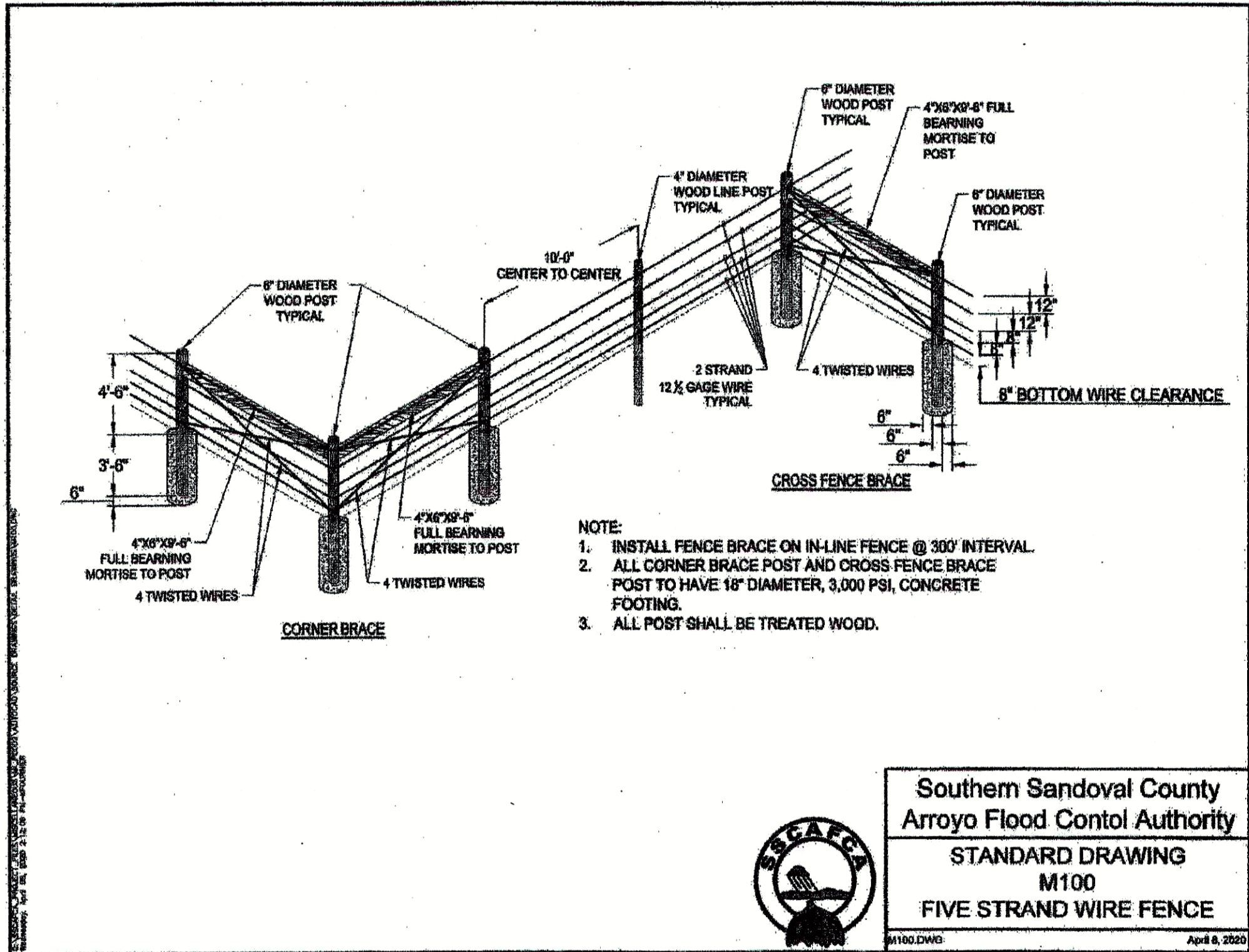
TEMPORARY POND GRATING
PLAN



PROJECT NO.	A18026
DESIGNED BY:	DER
DRAWN BY:	DER
CHECKED BY:	DMG
DATE:	4/16/2020
DPW CHK:	
SHEET:	AS BUILT
	5.2R of 19

F:\18\JOBS ACAD 2019\18026 Los Diamantes BP Entitlements\PLANS\18026_10th STREET SHTS 15.3.dwg, 4/16/2020 3:06:06 PM, Dwayne

RECORD DRAWING



City of Rio Rancho

REVISIONS (OR CHANGE NOTICES)	
NO.	DESCRIPTION
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OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 1000
ALBUQUERQUE, NEW MEXICO 87103
(505) 263-7777

LOS DIAMANTES:
10th STREET S.E. INFRASTRUCTURE

SSCAFCA POND 3 DETAILS

ENGINEER'S SEAL



PROJECT NO.	A18026
DESIGNED BY:	DER
DRAWN BY:	DER
CHECKED BY:	DMG
DATE:	4/16/20
DPW CHK:	

SHEET:
DE 5/8/2020
5.3 of 19

Record Drawings Engineer's Certification

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RECORD DRAWING

Registered Professional Engineer Date

CURVE DATA DESCRIBES CENTERLINE
① $A=2022'56''$
 $L=124.51$
 $R=350.00$
 $Tan=62.92$

10th STREET S.E.				
BLOCK	LOT	STATION AT PUE	LENGTH AT PUE	SERVICE TYPE
74	1	12+90.00	25'	DBL
24	75	18+00.13	25'	DBL

NOTES

- ALL STATIONING IS BASED ON THE CENTERLINE OF 10th STREET S.E. (50 R/W).
- REMOVE AND DISPOSE ALL EXIST. CONCRETE APRON AND EXISTING CONCRETE STRUCTURE UP TO 102" RCP OUTFALL.
- EXISTING CONCRETE BLOCK IN CASING ON 10" SAS AT 72" RCP CROSSING. CONNECT EXISTING 72" RCP STUB TO NEW SDMH 3A.
- BUILT WITH LIFT STATION PHASE 2B PLANS.



City of Rio Rancho

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OWNER/DEVELOPER
LD DEVELOPMENT, LLC

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
10000 N. 10th Street, Suite 100
Rio Rancho, NM 87199
(505) 882-2200, FAX (505) 977-8539

LOS DIAMANTES
10TH STREET S.E. INFRASTRUCTURE

UTILITY PLAN & PROFILE
STA. 07+55.30 - STA. 19+50.00



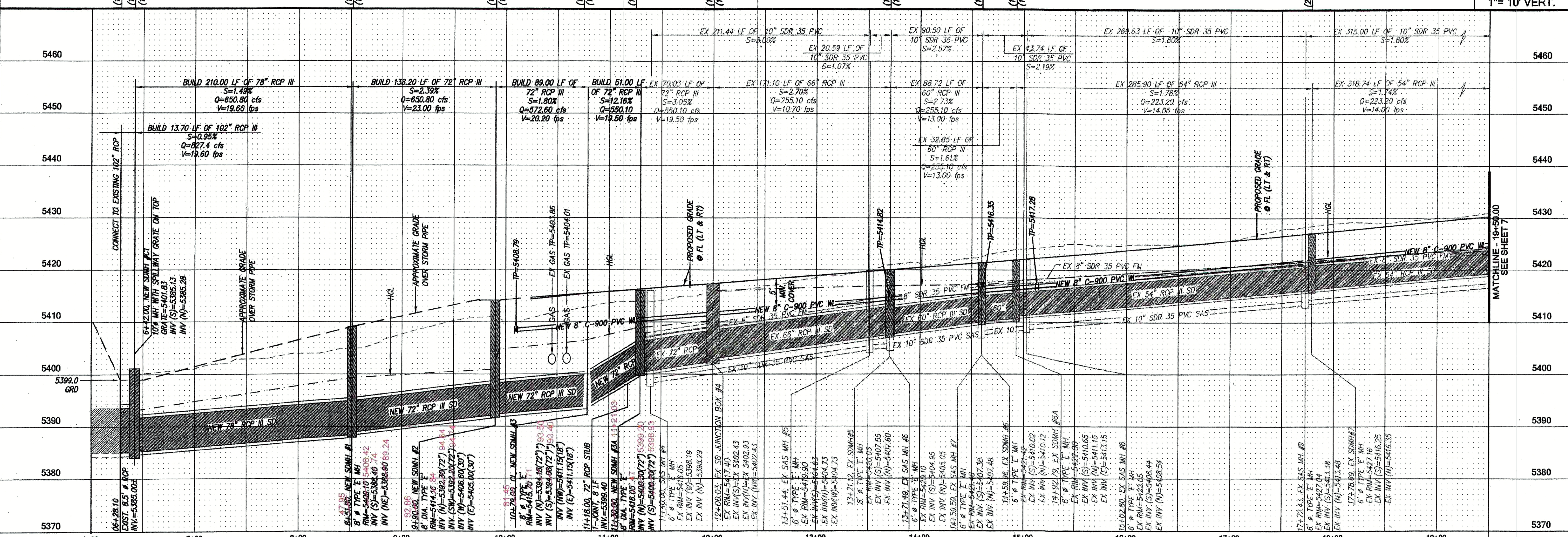
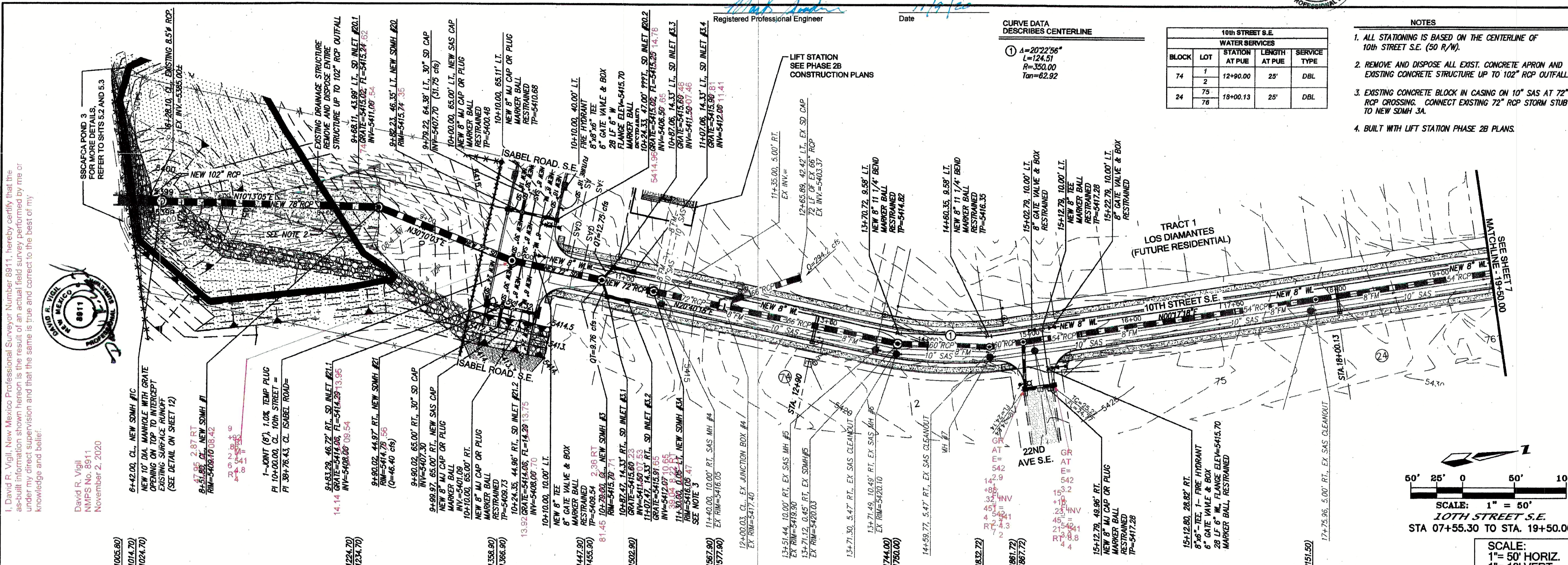
PROJECT NO. A18026
DESIGNED BY: HLC
DRAWN BY: DER
CHECKED BY: DMG
DATE: 4/16/20

DPW CHK:
SHEET: DE 5/8/2020
6 of 19

SURVEYORS CERTIFICATION

I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information shown herein is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

David R. Vigil
NMPS No. 8911
November 2, 2020



RECORD DRAWING



"Record Drawings" Engineer's Certification
I, Mark Goodwin, a Registered Professional Engineer in the State of New Mexico, have reviewed the Final Plan of Los Diamantes 10th Street S.E. and related relevant drainage plans, street plans and profiles, design and construction plans, and other improvement plans. I do hereby certify that I have made an inspection of these improvements described herein and find same to be in accordance with the Preliminary and Final Plan, except for the modifications specifically noted. I have attached hereto reasons for the modifications and relevant "Record Drawings" plans detailing the modifications.
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Registered Professional Engineer

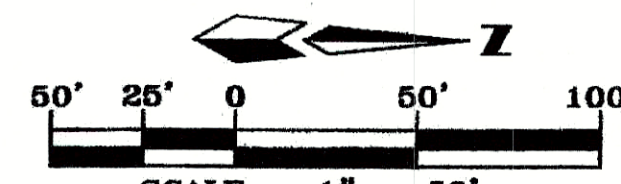
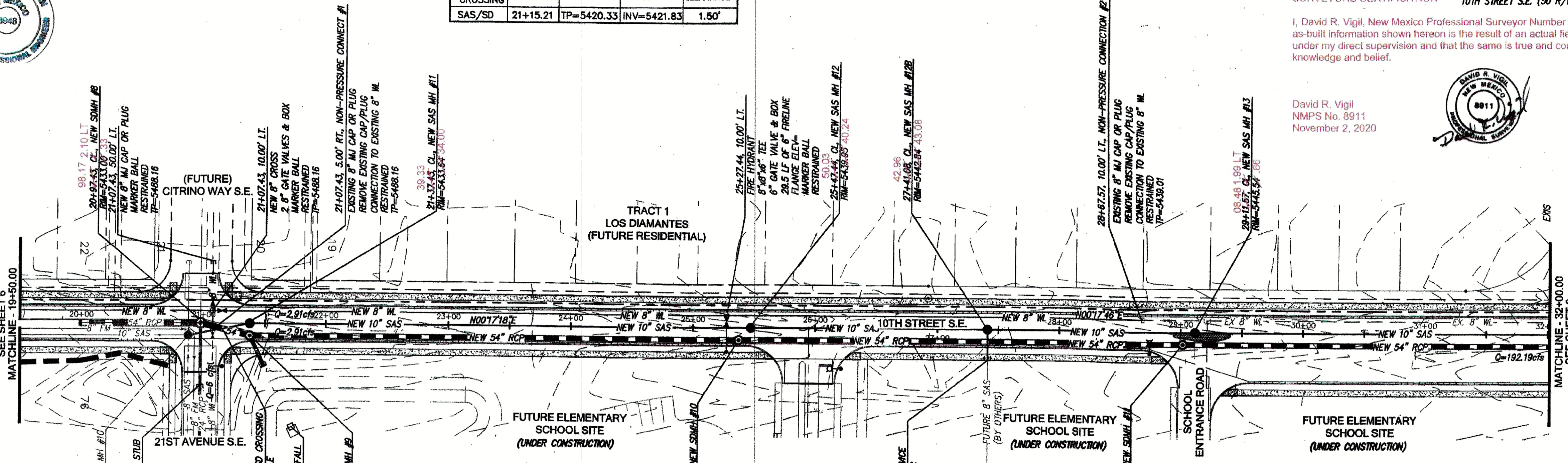
UTILITY CROSSING TABLE				
UTILITY CROSSING	STATION	SAS	SD	CLEARANCE
SAS/SD	21+15.21	TP=5420.33	INV=5421.83	1.50'

NOTES
1. ALL STATIONING IS BASED ON THE CENTERLINE OF 10TH STREET S.E. (50 R/W).
SURVEYORS CERTIFICATION
I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.
David R. Vigil
NMPS No. 8911
November 2, 2020



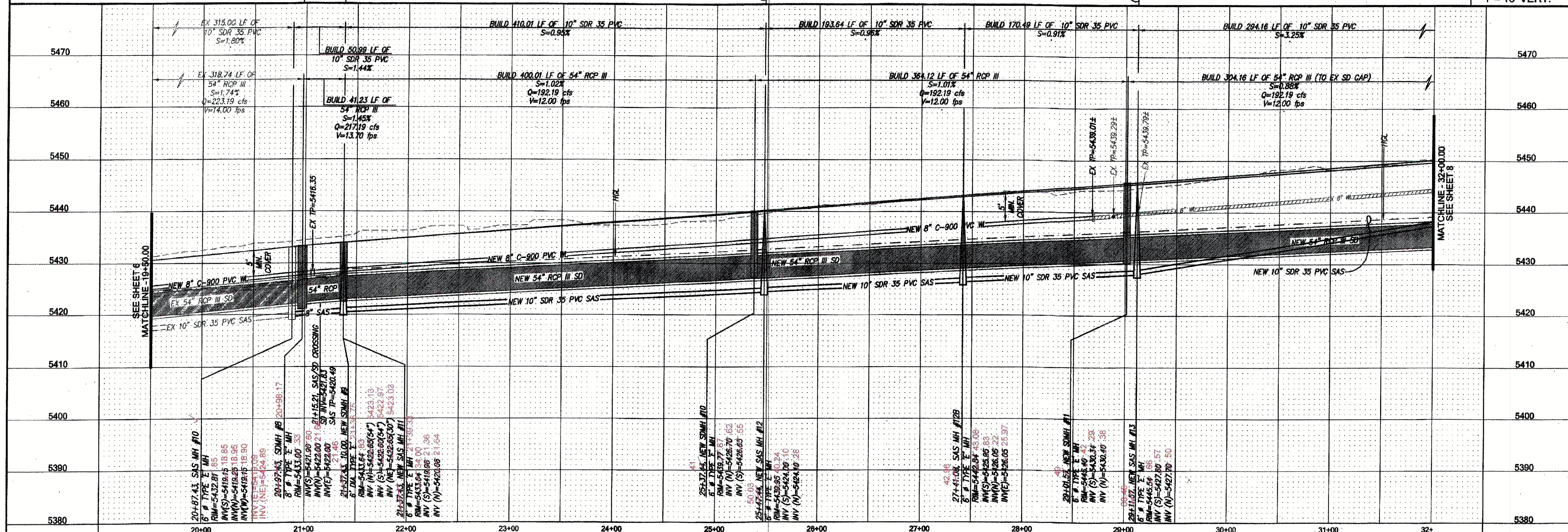
REVISIONS (OR CHANGE NOTICES)		
NO.	DESCRIPTION	DATE
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OWNER/DEVELOPER
LD DEVELOPMENT, LLC
MARK GOODWIN & ASSOCIATES, P.A.
P.O. BOX 8080
ALBUQUERQUE, NM 87108-8080
(505) 262-2250, FAX (505) 767-1839



SCALE: 1" = 50'
10TH STREET S.E.
STA 20+00.00 TO STA. 32+00.00

SCALE:
1" = 50' HORIZ.
1" = 10' VERT.



LOS DIAMANTES
10TH STREET S.E. INFRASTRUCTURE
UTILITY PLAN & PROFILE
STA. 19+50.00 - STA. 32+00.00



PROJECT NO. A18026
DESIGNED BY: HLC
DRAWN BY: DER
CHECKED BY: DMG
DATE: 1/26/20
DPW CHK:

SHEET:
DE 3/16/20
DE 5/8/2020
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REVISIONS (OR CHANGE NOTICES)	
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OWNER/DEVELOPER
LD DEVELOPMENT, LLC

ENGINEER'S SEAL
D. MARK GOODWIN
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
NO. 118026
EXPIRATION DATE 12/31/2024

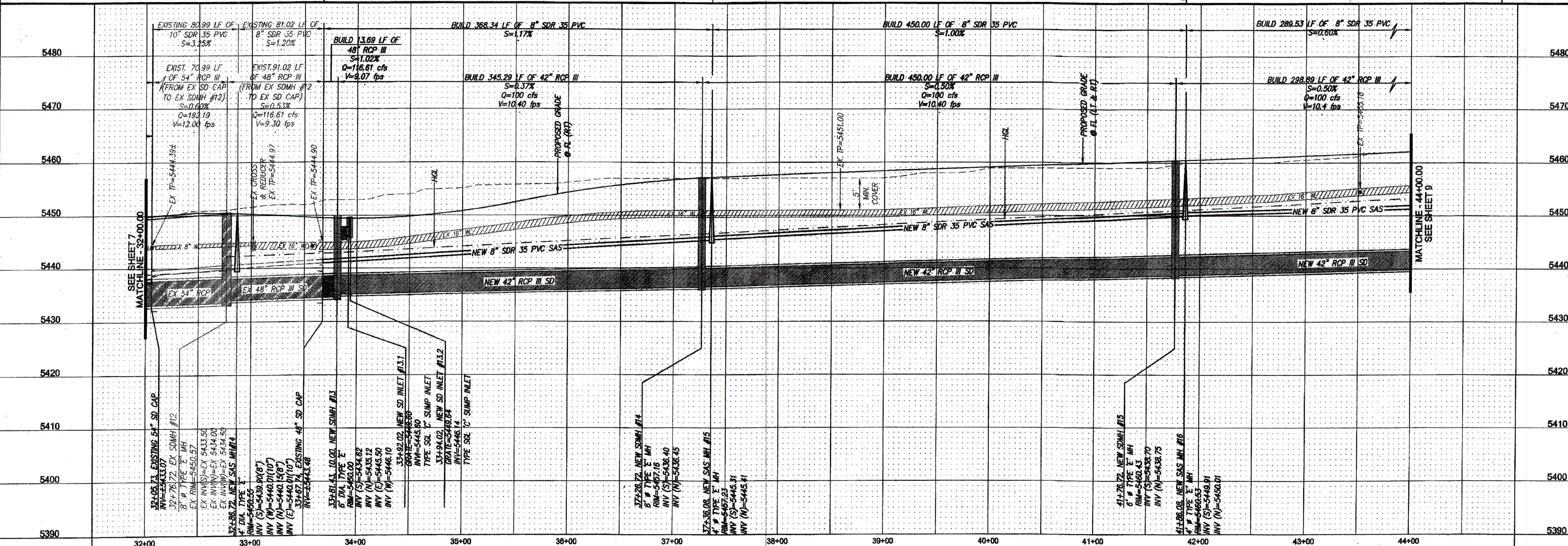
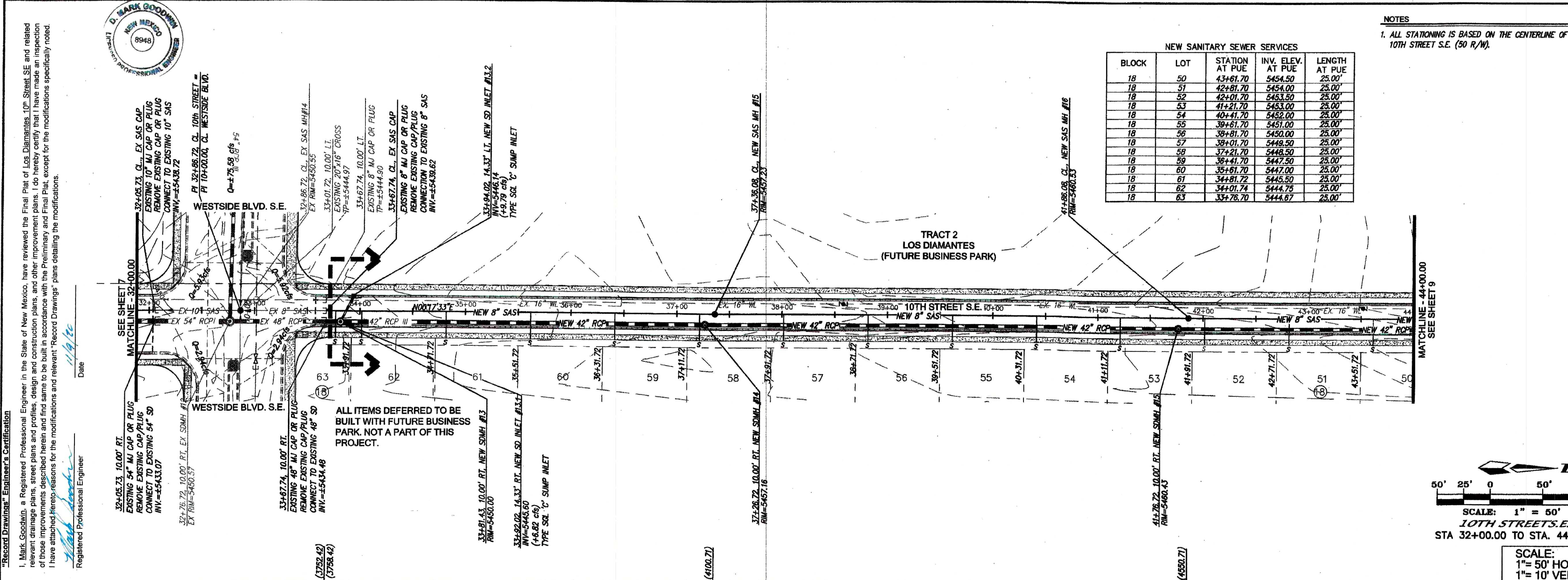
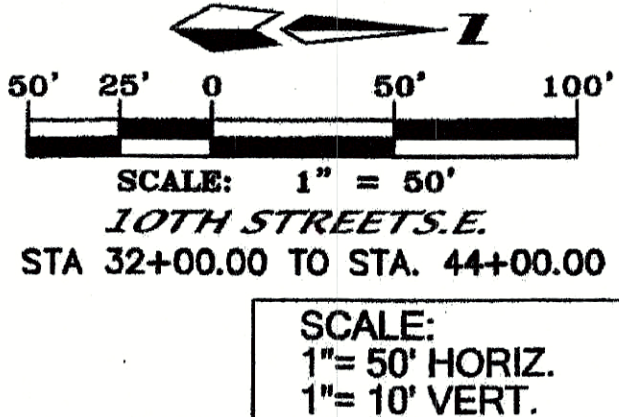
LOS DIAMANTES
10TH STREET S.E. INFRASTRUCTURE

UTILITY PLAN & PROFILE
STA. 32+00.00 - STA. 44+00.00

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SHEET: 8 of 19
DE 3/16/20
DE 5/8/2020

NOTES
1. ALL STATIONING IS BASED ON THE CENTERLINE OF 10TH STREET S.E. (50 R/W).

NEW SANITARY SEWER SERVICES				
BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
18	50	43+61.70	5454.50	25.00'
18	51	42+81.70	5454.00	25.00'
18	52	42+01.70	5453.50	25.00'
18	53	41+21.70	5453.00	25.00'
18	54	40+41.70	5452.00	25.00'
18	55	39+61.70	5451.00	25.00'
18	56	38+81.70	5450.00	25.00'
18	57	38+01.70	5449.50	25.00'
18	58	37+21.70	5448.50	25.00'
18	59	36+41.70	5447.50	25.00'
18	60	35+61.70	5447.00	25.00'
18	61	34+81.70	5446.50	25.00'
18	62	34+01.70	5444.75	25.00'
18	63	33+21.70	5444.67	25.00'



Record Drawings Engineer's Certification

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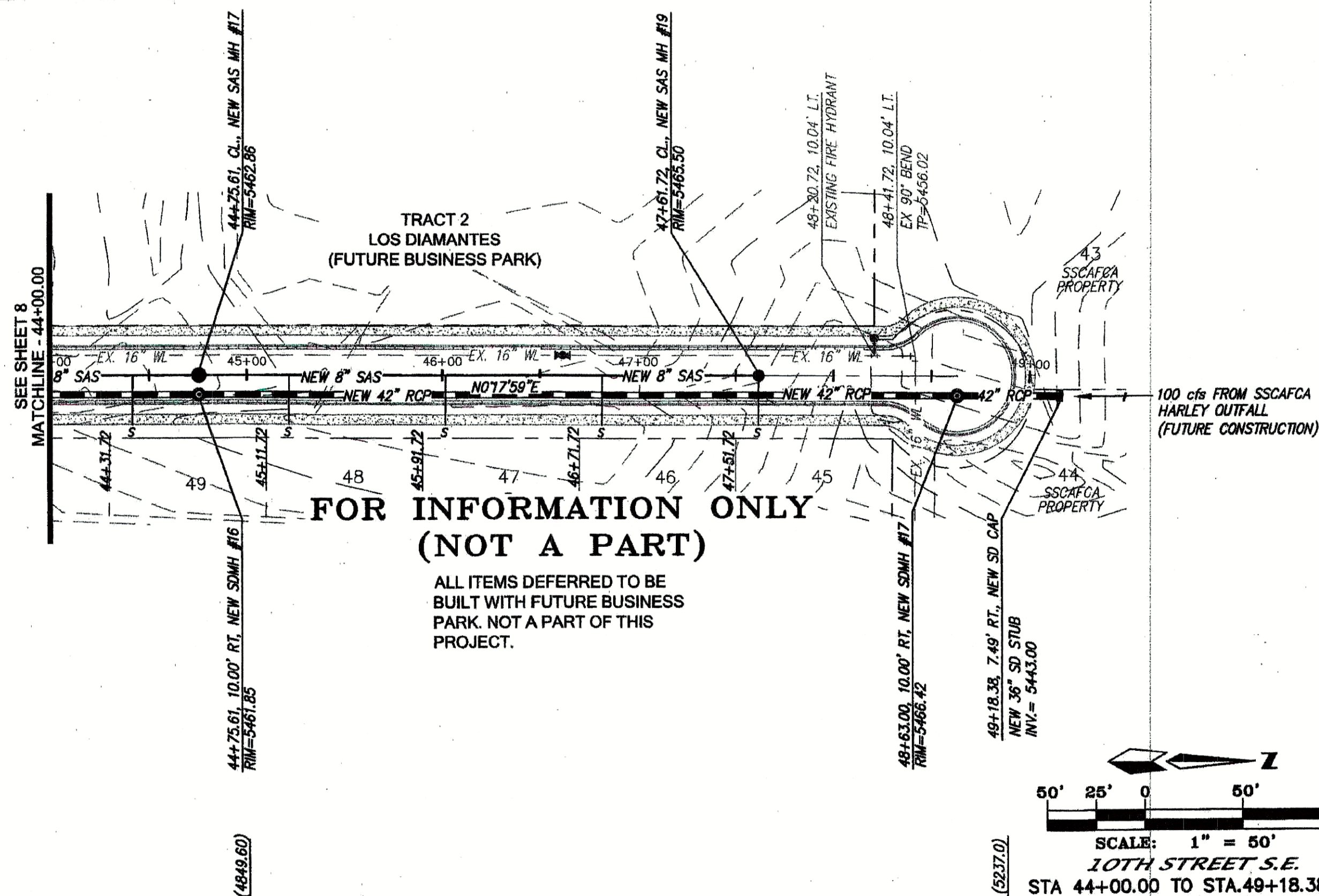
Registered Professional Engineer

Date

NOTES

1. STATIONING IN 10TH STREET IS BASED ON THE CENTERLINE OF 10TH STREET S.E. (50 R/W).

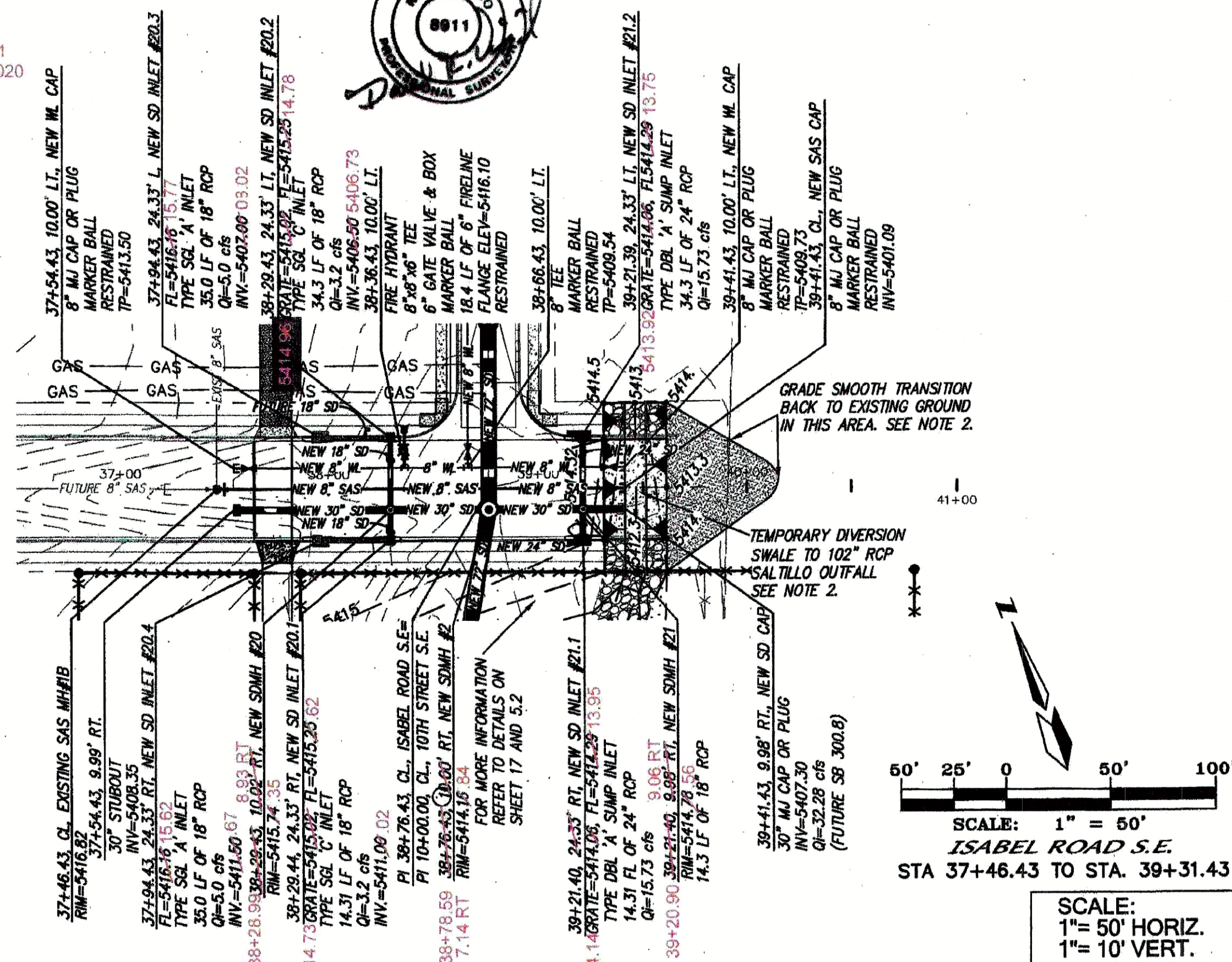
NEW SANITARY SEWER SERVICES				
BLOCK	LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
18	45	47+61.70	5456.00	25.00'
18	46	48+61.70	5456.00	25.00'
18	47	49+01.70	5455.50	25.00'
18	48	49+21.70	5455.00	25.00'
18	49	44+41.70	5454.50	25.00'



SURVEYORS CERTIFICATION

I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

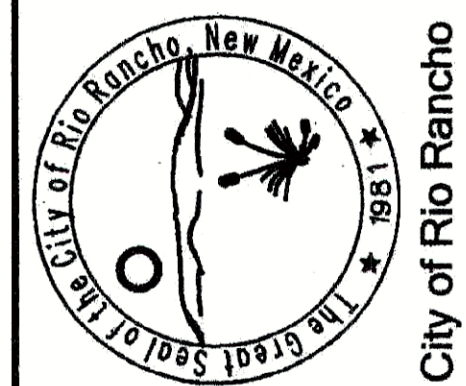
David R. Vigil
NMPS No. 8911
November 2, 2020



NOTES

1. STATIONING IN ISABEL ROAD IS BASED ON THE CENTERLINE OF ISABEL ROAD S.E. (50 R/W).
2. THE TEMPORARY DIVERSION SWALE SHALL REMAIN IN PLACE UNTIL THE ADJACENT NORTH PROPERTY DEVELOPS AND EXTENDS STORM DRAIN STUB IN ISABEL ROAD TO THEIR PROPERTY TO CAPTURE ONSITE RUNOFF. REFER TO PAVING SHEET 17 FOR MORE DETAILS ON THE SWALE.

RECORD DRAWING



REVISIONS (OR CHANGE NOTICES)	
NO.	DESCRIPTION
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OWNER/DEVELOPER LD DEVELOPMENT, LLC	
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS 1600 BROADWAY, SUITE 200 ALBUQUERQUE, NEW MEXICO 87102 (505) 262-2200, FAX (505) 797-8536	

LOS DIAMANTES 10TH STREET S.E. INFRASTRUCTURE	
UTILITY PLAN & PROFILE STA. 44+00.00 - STA. 49+18.38	

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