



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 19, 2004

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Los Suenos Subdivision Phase Three, SIA/Financial Guarantee Release
Engineer's Stamp dated 8-06-02 (A11/D4A)
Certification dated 2-16-04**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 2-17-04, the above referenced certification is approved for release of SIA and Financial Guarantee.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Arlene Portillo, COA# 660483
file

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

A-11/D4A

PROJECT TITLE: Los Suenos Subdivision, Unit/~~Phase Three~~
DRB #: 1000187 EPC #:ZONE MAP/DRG. FILE #: A/11-D4A
WORK ORDER #: 6604.83LEGAL DESCRIPTION: Los Suenos Subdivision
CITY ADDRESS: Northwest Corner of North Bandelier and McMahonENGINEERING FIRM: Tierra West, LLC
ADDRESS: 8509 Jefferson NE
CITY, STATE: Albuquerque, NMCONTACT: RONALD R. BOHANNAN
PHONE: (505) 858-3100
ZIP CODE: 87113OWNER: Los Suenos LLC
ADDRESS: 12512 Modesto Ave. NE
CITY, STATE: Albuquerque, NMCONTACT: Fred Montano, Steve Schumann
PHONE: 998-3830
ZIP CODE: 87112ARCHITECT: N/A
ADDRESS:
CITY, STATE:CONTACT:
PHONE:
ZIP CODE:SURVEYOR: Precision Surveys
ADDRESS: 8414-D Jefferson Street, NE
CITY, STATE: Albuquerque, NMCONTACT: Larry Medrano
PHONE: 856-5700
ZIP CODE: 87113CONTRACTOR: Salls Brothers Construction
ADDRESS: 7301 Reading Drive, SE
CITY, STATE: Albuquerque, NMCONTACT: Fred Salls
PHONE: 873-8780
ZIP CODE: 87105Stamp Date → 8/6/02
Cert Date → 2/16/04**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

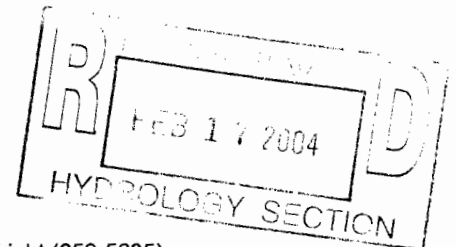
- ☒ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

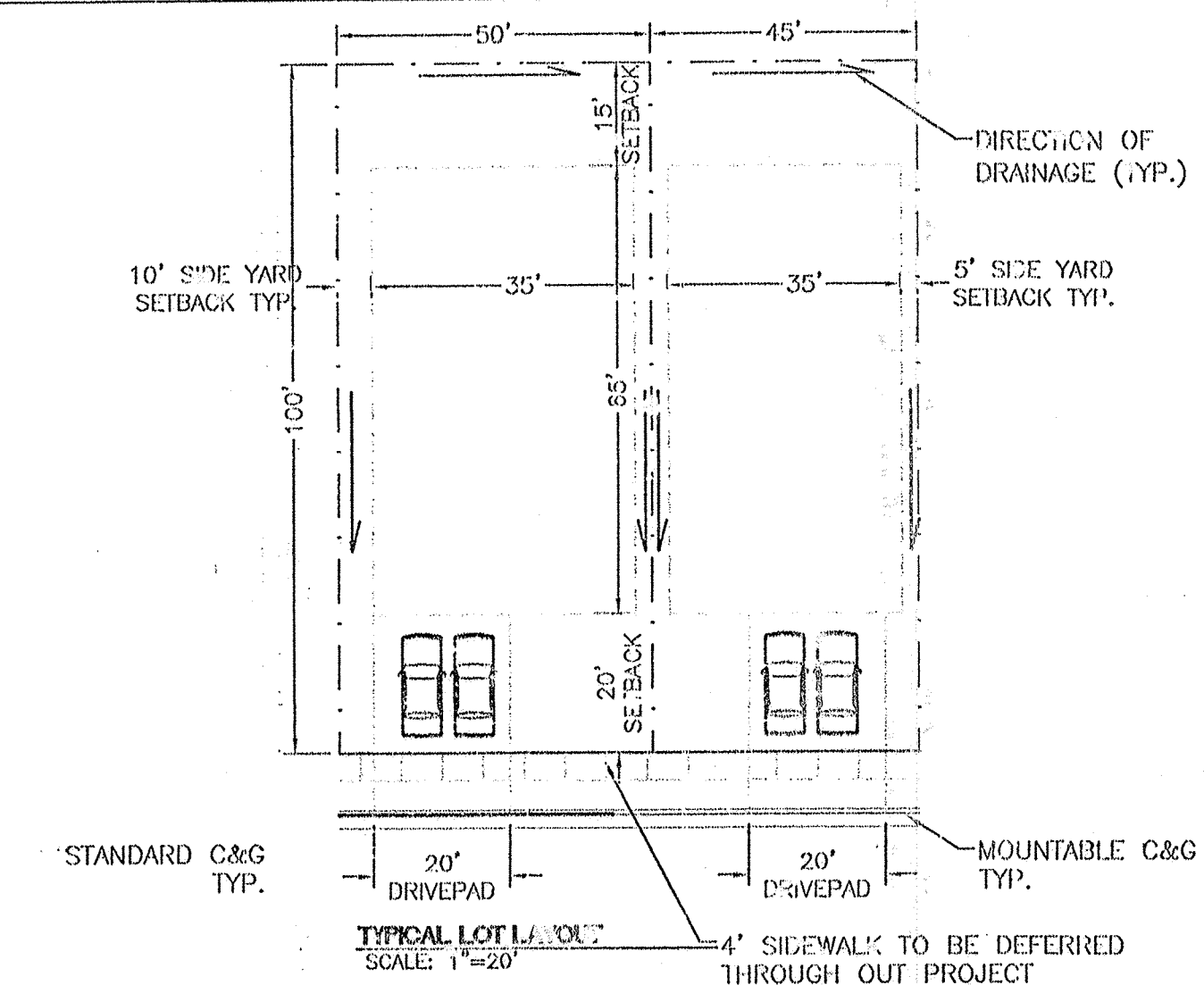
DATE SUBMITTED: 2/17/2004

BY: Ron Wright (259-5635)



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE CERT SURVEY WORK BY OTHERS
12/29/01

DRAINAGE CERTIFICATION

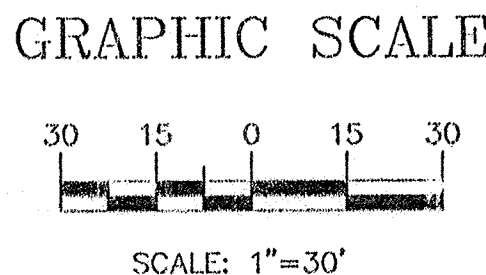
I, RONALD R. BOHANNAN, NMFS 7858, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-06-2002. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NMFS 11993, OF THE FIRM PRECISION SURVEYS.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/16/04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF FINANCIAL GUARANTEES.

NOTE: EXCEPTIONS HERE: NO EXCEPTIONS TAKEN

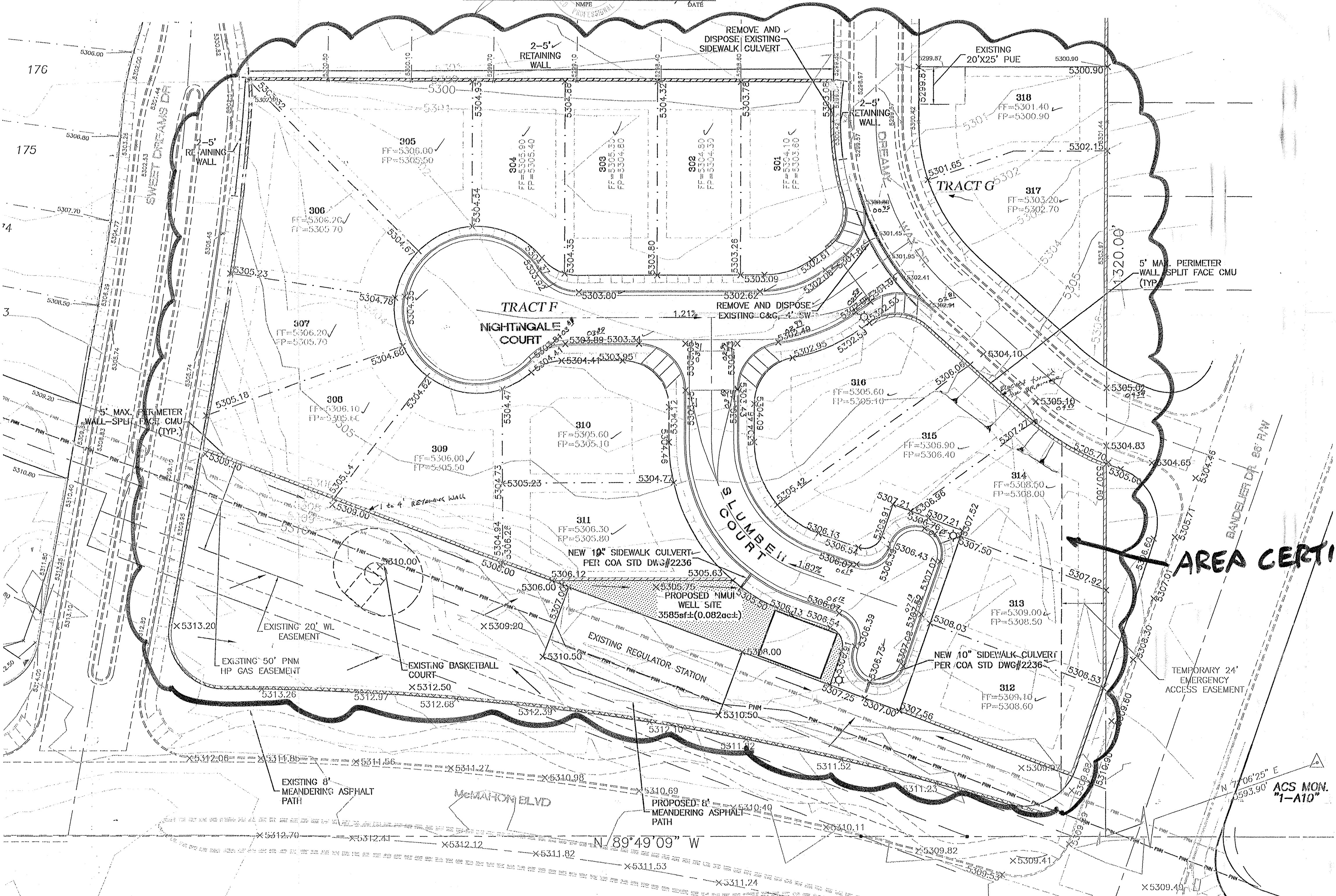
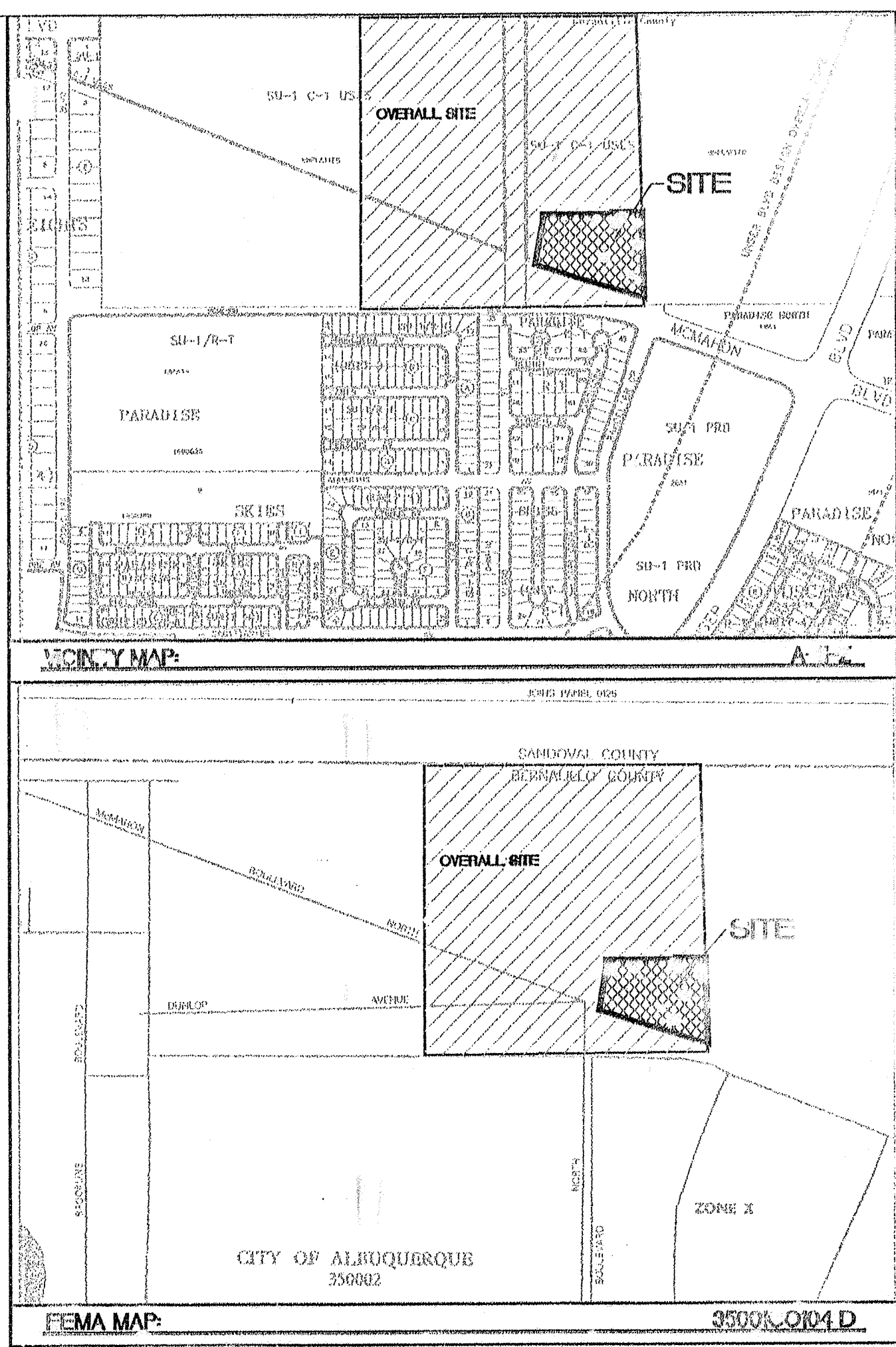
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

2/16/04 DATE



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- GENERAL NOTES:**
1. WALLS:
A 5' SCREEN WALL WILL BE PROVIDED AROUND THE SUBDIVISION PERIMETER 18" MAXIMUM RETAINANCE BETWEEN GRADES
 2. CURBS AND GUTTERS:
MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
 3. BUILDING HEIGHT: STRUCTURE SHALL NOT EXCEED 28 FEET IN HEIGHT.
 4. ALL OF THE STREETS ARE PUBLIC
 5. ACS MONUMENT "1-A10": X=1,499,179.513, Y=1,534,743.230, ELEV.=5418.02 G=0.99966758, DELTA=-00°16'22", CENTRAL ZONE (NAD 1983/NAVD 1988)
 6. ALL SPOT-ELEVATIONS SHOWN ARE FLOWLINE, UNLESS OTHERWISE NOTED.

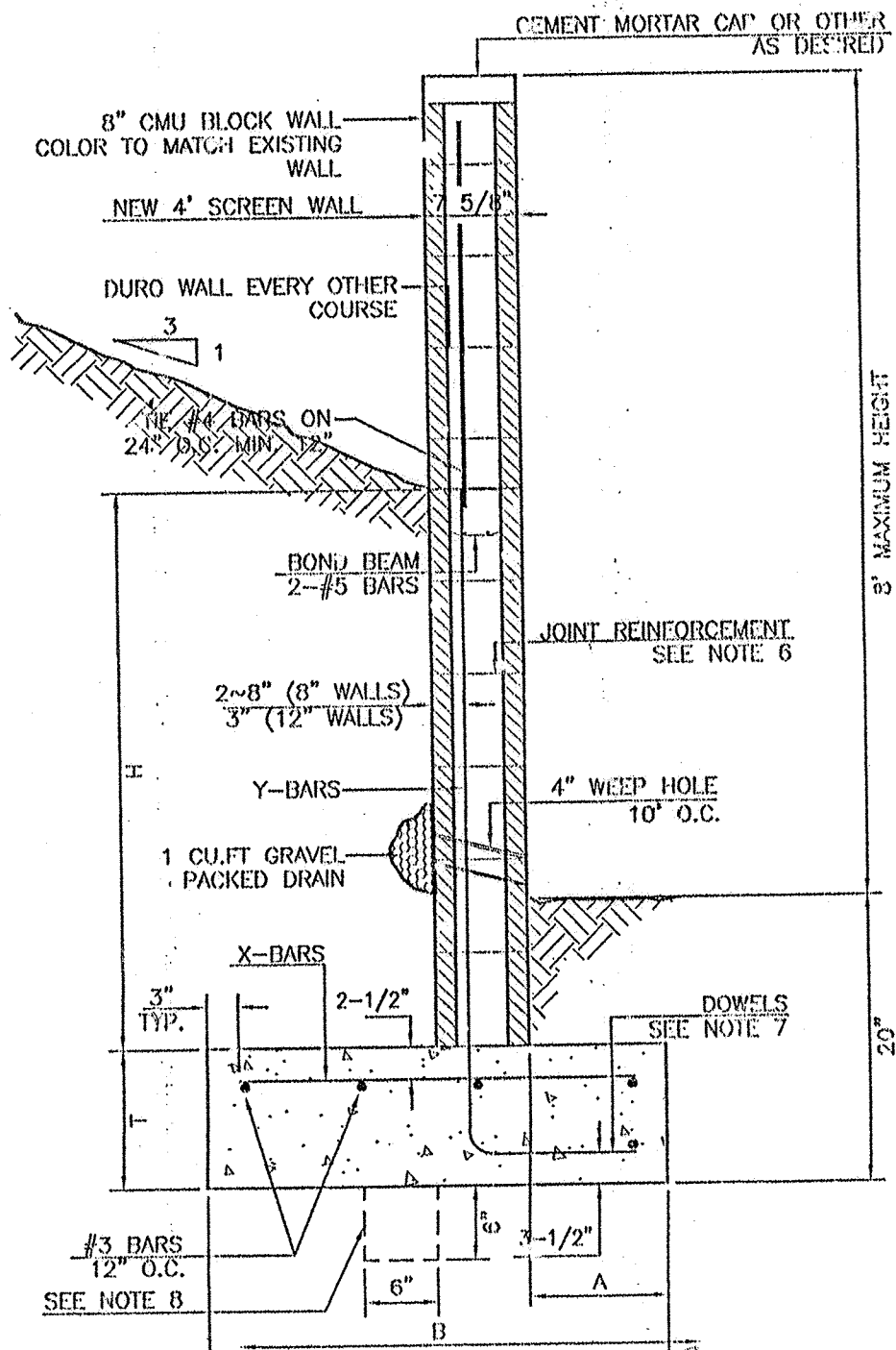
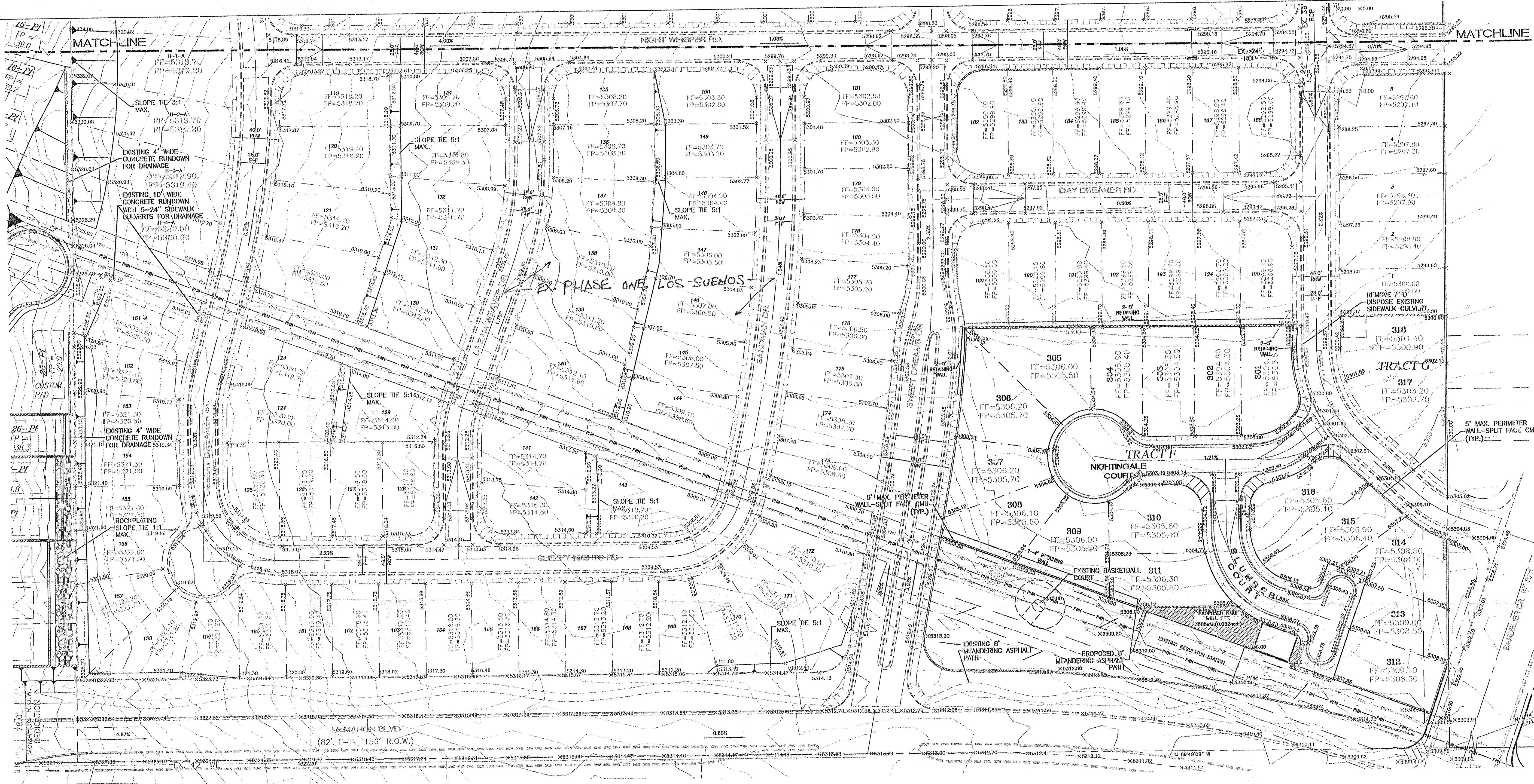


AREA CERTIFIED

LEGEND	DESCRIPTION
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	SETBACK LINE
	BENCH MARK
	STREET LIGHTS

ROUGH GRADING APPROVAL

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7858	LOS SUEÑOS TRACT F AND G	DRAWN BY MP
	GRADING AND DRAINAGE PLAN	DATE 08-06-2002
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 CPN 6604.83	9972TR-FG_GR.DWG
		SHEET # 4 16
		JOB # 990072



8 INCH REINFORCED CONCRETE MASONRY WALL									
H	X	A	B	T	Y-BARS	X-BARS			
ft.-in.	ft.-in.	in.	ft.-in.	in.					
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.			
2'-8"	1'-9"	8"	2'-9"	9"	#3 @32" O.C.	#3 @27" O.C.			
3'-4"	2'-5"	8"	3'-4"	9"	#3 @32" O.C.	#3 @27" O.C.			
4'-0"	3'-1"	10"	3'-9"	9"	#4 @32" O.C.	#3 @27" O.C.			
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.			
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.			
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.			

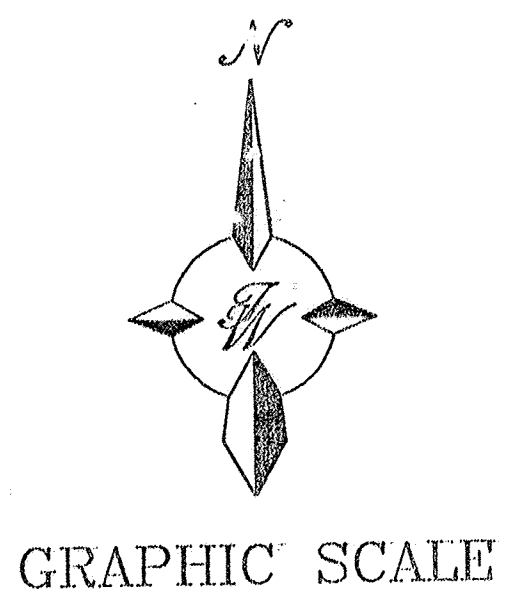
12 INCH REINFORCED CONCRETE MASONRY WALL									
H	X	A	B	T	Y-BARS	X-BARS			
ft.-in.	ft.-in.	in.	ft.-in.	in.					
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.			
6'-0"	5'-4"	15"	4'-2"	12"	#4 @16" O.C.	#4 @30" O.C.			
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.			
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @25" O.C.			
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.			
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.			

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE 2.2%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DWR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORERS, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 10'.
 - #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" HEIGHT.
 - X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT.
 - #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4".
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

- GENERAL NOTES:**
- ALL SPOT ELEVATIONS ARE FLOWLINE.
 - 18" MAX. RETAINAGE ON ALL PERIMETER WALLS.

- LEGEND**
- EXISTING CURB & GUTTER
 - FUTURE CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - PROPOSED LOT LINE
 - BUILDING SETBACK
 - PROPOSED MOUNTABLE CURB AND GUTTER
 - PROPOSED STANDARD CURB AND GUTTER
 - RETAINING WALL
 - PERIMETER WALL

NOTE: FOR REFERENCE ONLY
REFER TO SHEET 4 & 16



	LOS SUEÑOS		DRAWN BY MP
	GRADING AND DRAINAGE		DATE 07-06-2002
	PLAN SHEET "B"		000502-8972_GROWING
			SHEET # 3 16
RONALD R. BOHANNAN P.E. #7868		JOB # 990072	

DRB# 1000187

PROJ. # 6604.83
Los Sueños Subdiv Unit 3 Tract F