



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 22, 2004

James Hughes, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: Parkhill Subdivision Unit 1, SIA/Financial Guarantee Release
Engineer's Stamp dated 2-25-02 (A11/D6)
Certification dated 2-19-04

Dear Mr. Hughes,

Based upon the information provided in your submittal received 2-20-04, the above referenced certification is approved for release of SIA and Financial Guarantee.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Marilyn Maldonado, COA# (681881)
file



I, James D Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, hereby certify that the private portion of this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 2/25/2002 (Except as noted below). The record information edited onto the original design document has been obtained by Tim Aldrich, NMPS 7719, of the firm Aldrich Land Surveying. I further certify that I have personally visited the project site on 2/7/2003, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Release of Financial Guaranty.

Exceptions:

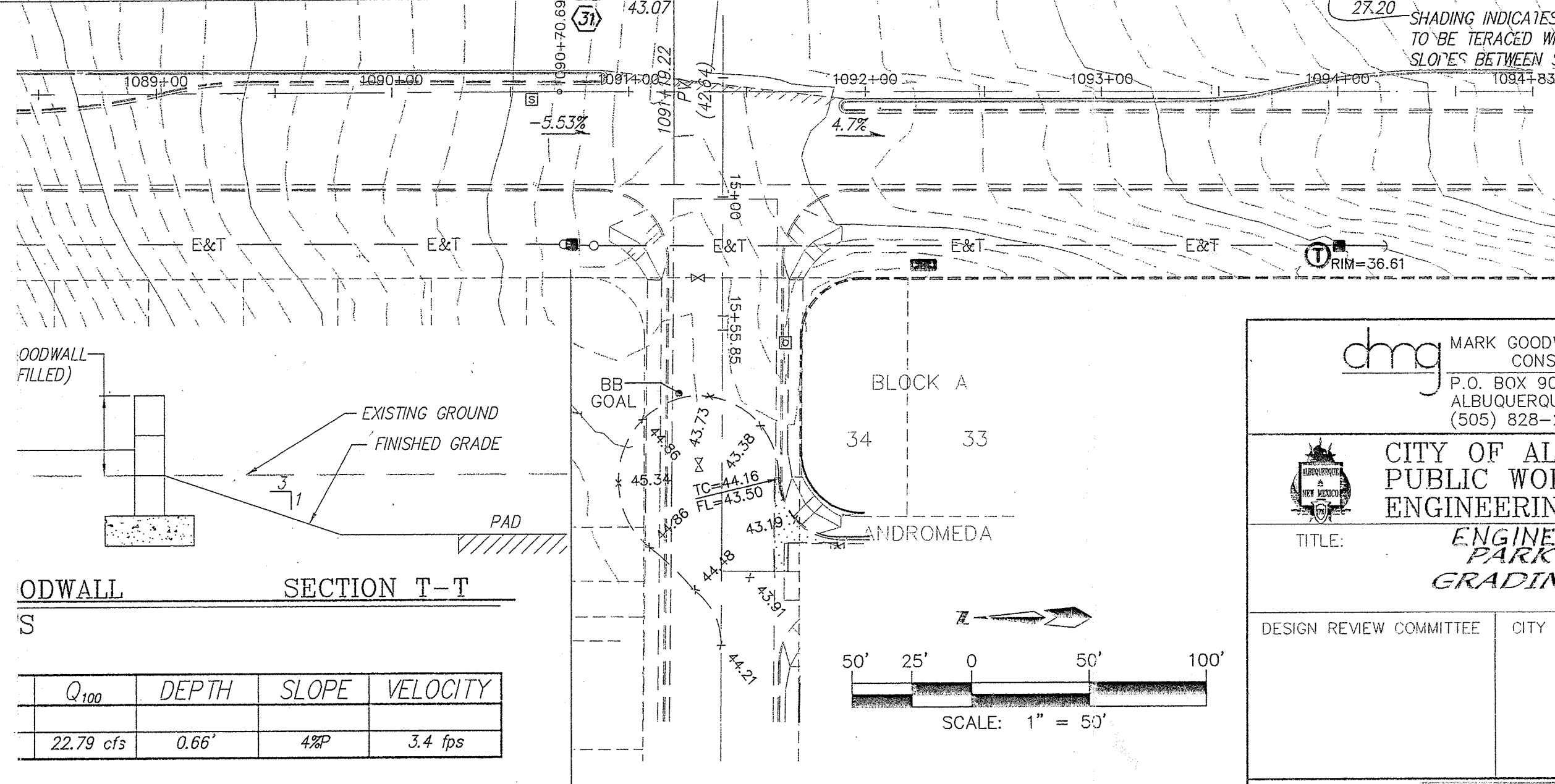
The following significant deviations from the approved plan were noted during inspection:

1. The side yard swales were supposed to be separated by a 6" high dirt berm that is missing on most lots. So the drainage goes into a common swale on the low side of the lot line. It does not cause a problem now, but there is no private drainage easement for this "Common" and/or "Cross Lot" drainage.
2. About half of the lots had completed houses on them and houses were under construction on the other half. All retaining walls and perimeter fence was complete.
3. The floodwall on the west boundary is not part of this certification. The city building department is responsible for permitting and inspection. Silt fence prevented drainage from entering the Park North Sub street and may inadvertently divert drainage to McMahon Boulevard.
4. The grade at the rear of Lot 8, block 8 and Lot 16, block 3 is more than 18" lower than planned.
5. As-built rear property corner elevations on Lots 5-14, Block 1 are lower than planned, by as much as 1.4' but the grades have obviously been raised and will have no problem draining to the street. Similarly the asphalt northeast rear elevation of lot 16 blk 4 is 1.7 foot low, but is being raised by builder with the construction of a block garden wall to retain 1.5' on the Unit 2 side.
6. The pond at Milky Way has been filled in and replaced by the Black Arroyo Boulevard Master Storm Sewer (City Project # 6777.81). The pond is not needed.
7. Retaining wall was added to replace the slope on the rear of lots 16, 17, & 18 Block 1.

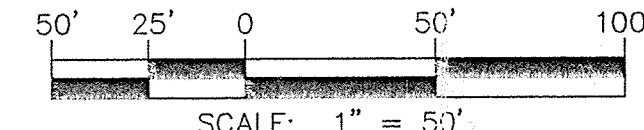
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document should obtain independent verification of its accuracy before using it for any other purpose.

James D Hughes
James D. Hughes NMPE 11674

Date 2-19-04



Q ₁₀₀	DEPTH	SLOPE	VELOCITY
22.79 cfs	0.66'	4.8%	3.4 fps



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
ENGINEER'S CERTIFICATION
PARK HILL SUBDIVISION UNIT 1
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 681381 ZONE MAP NO. A-11 SHEET 1 OF 2

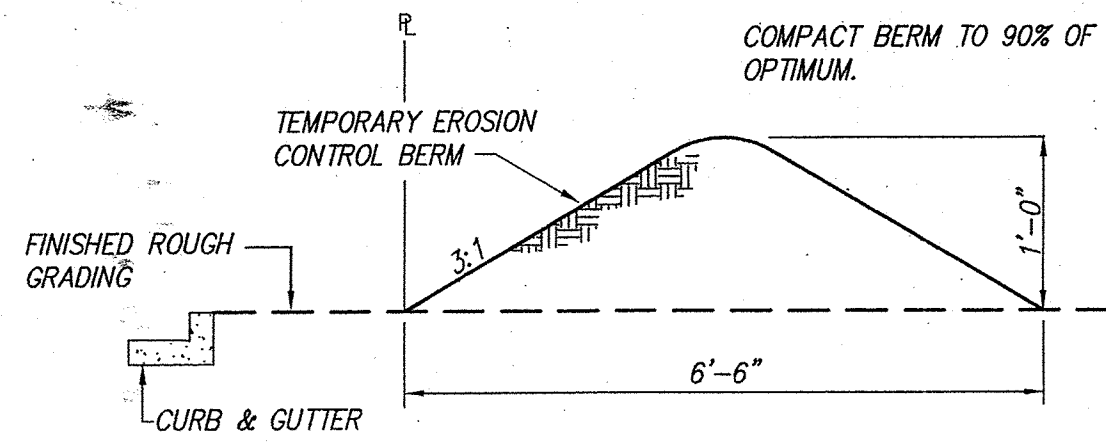
HYDROLOGY SECTION

A-11 D6

CONTRACTOR	DATE	INSPECTOR'S	DATE	FIELD	DATE	VERIFICATION	DATE	CORRECTION	DATE

STATION	DATE	NO.	BY	REVISIONS

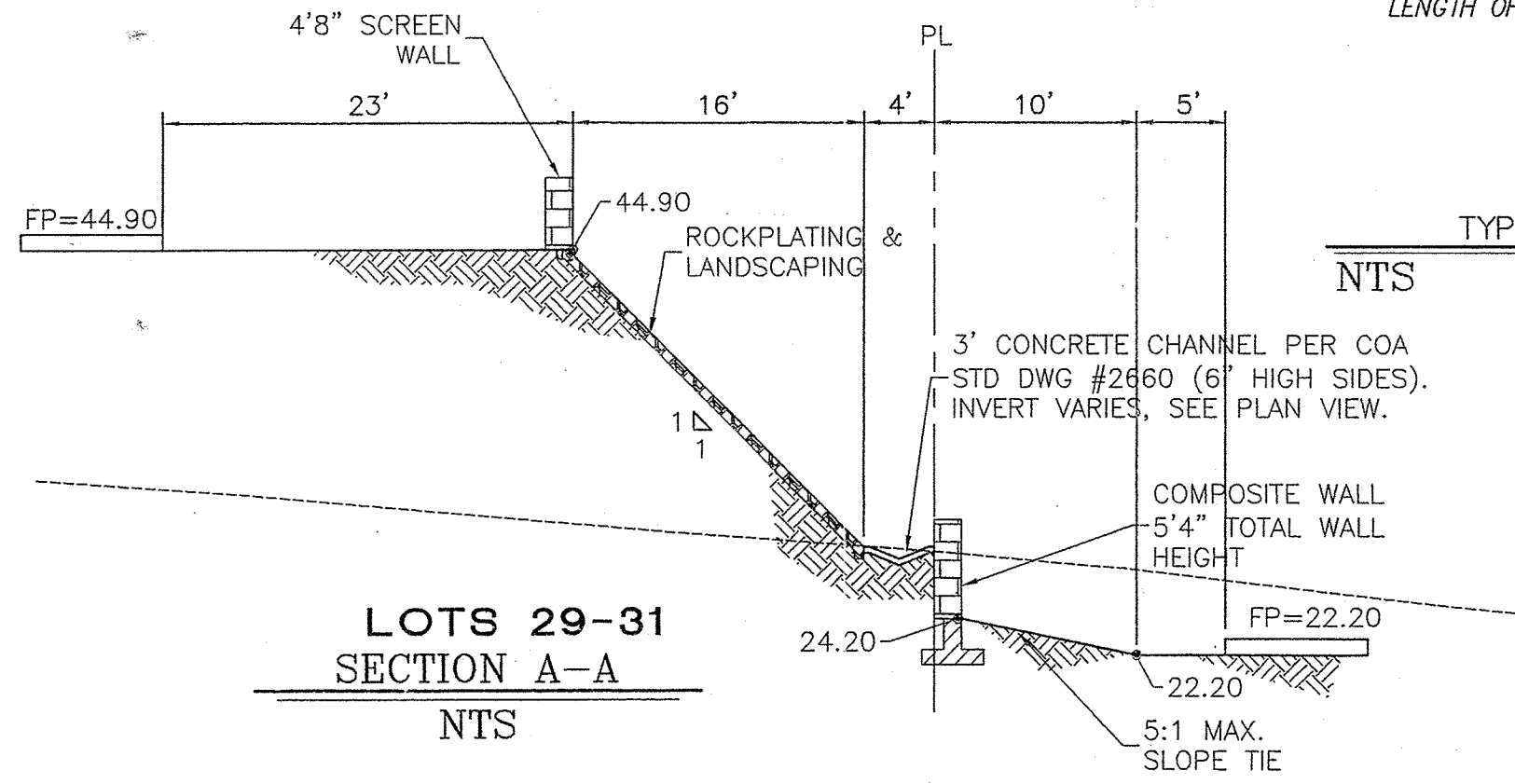
REMARKS	DATE	BY



EROSION CONTROL BERM DETAIL

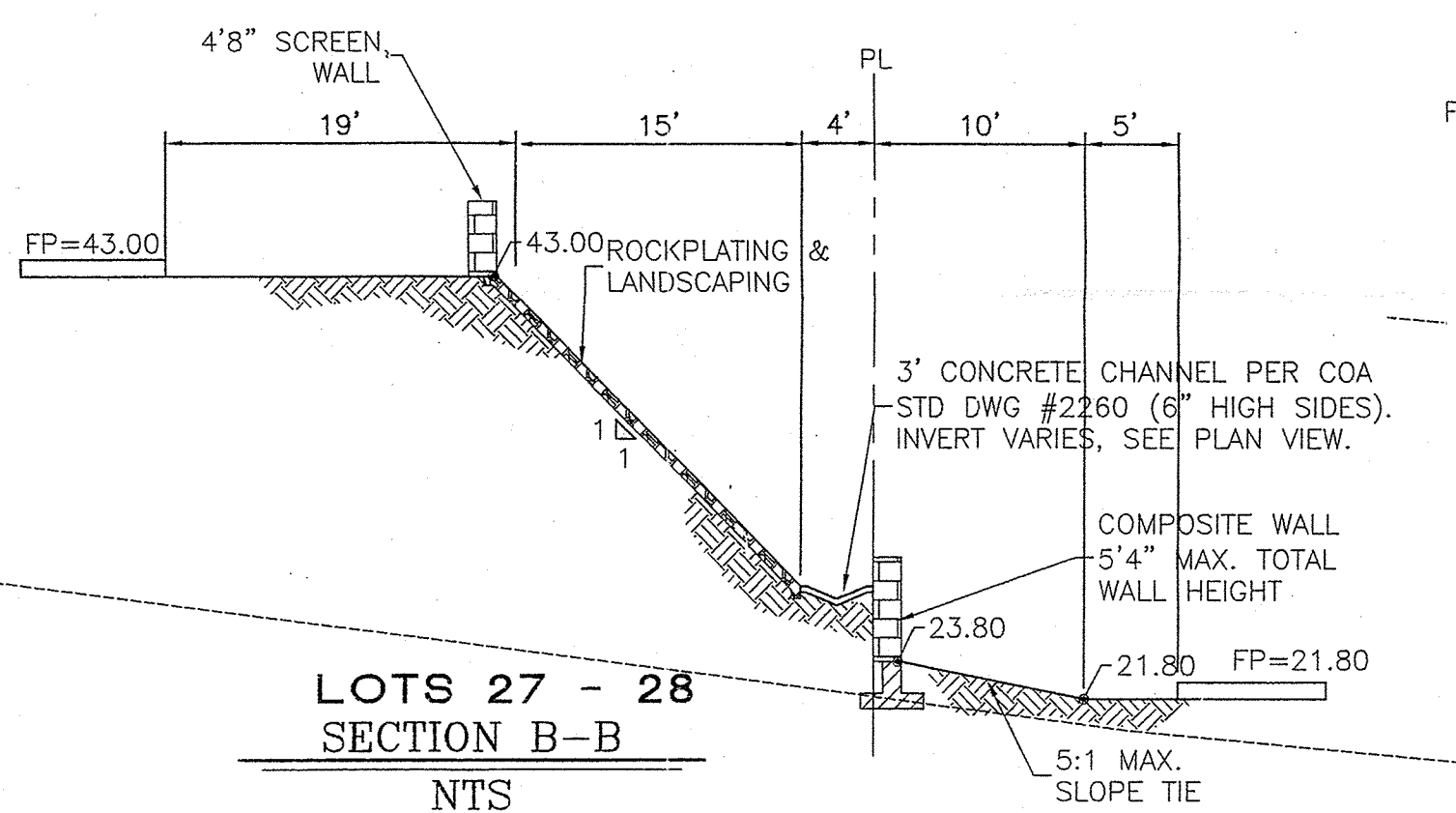
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



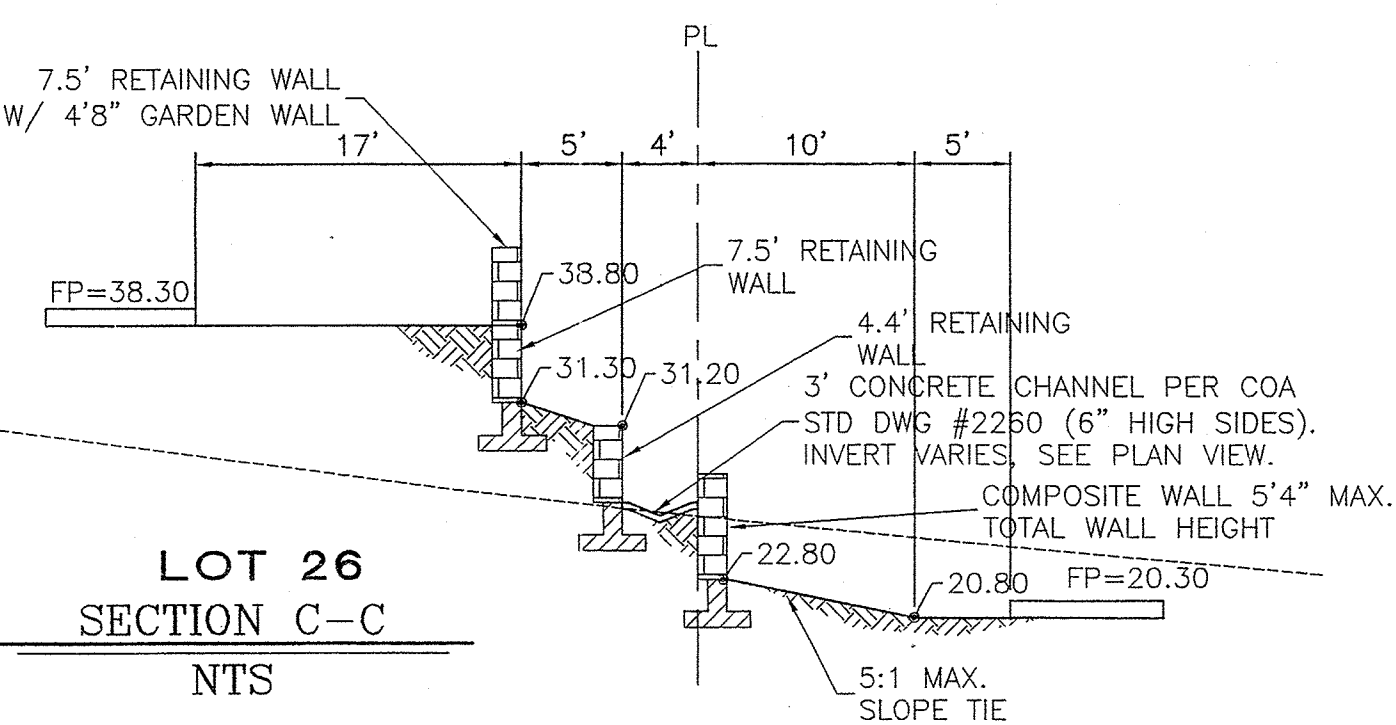
LOTS 29-31
SECTION A-A

NTS



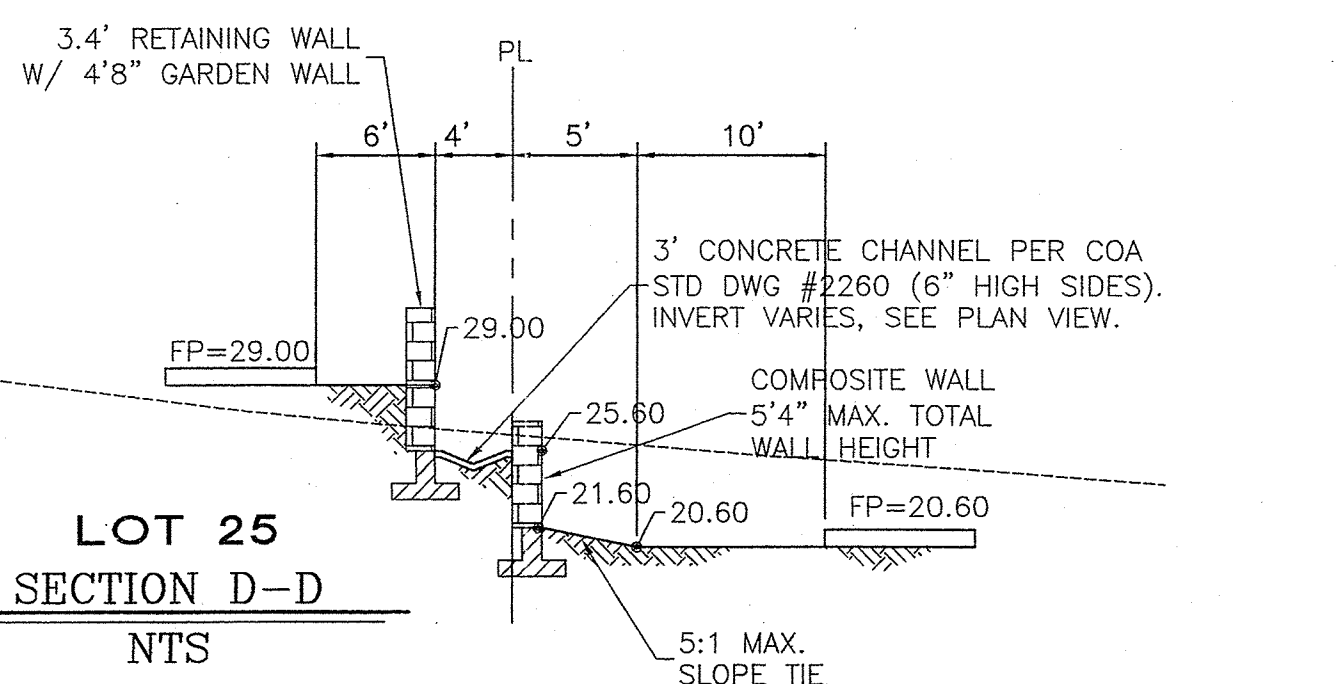
LOTS 27-28
SECTION B-B

NTS



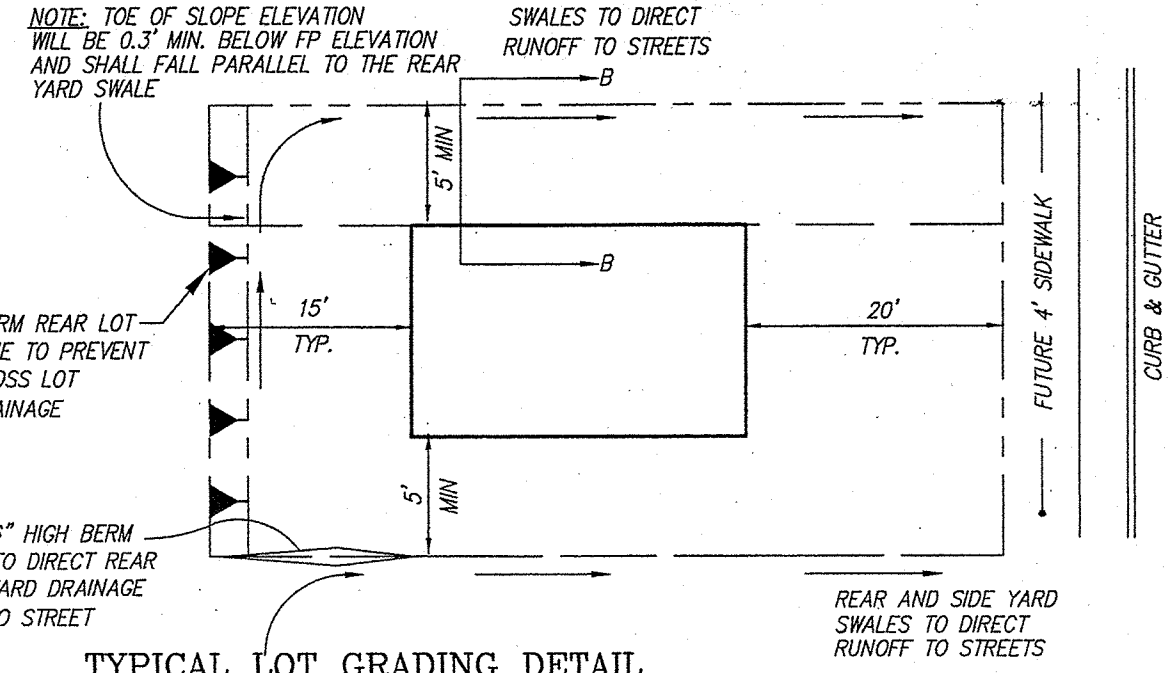
LOT 26
SECTION C-C

NTS



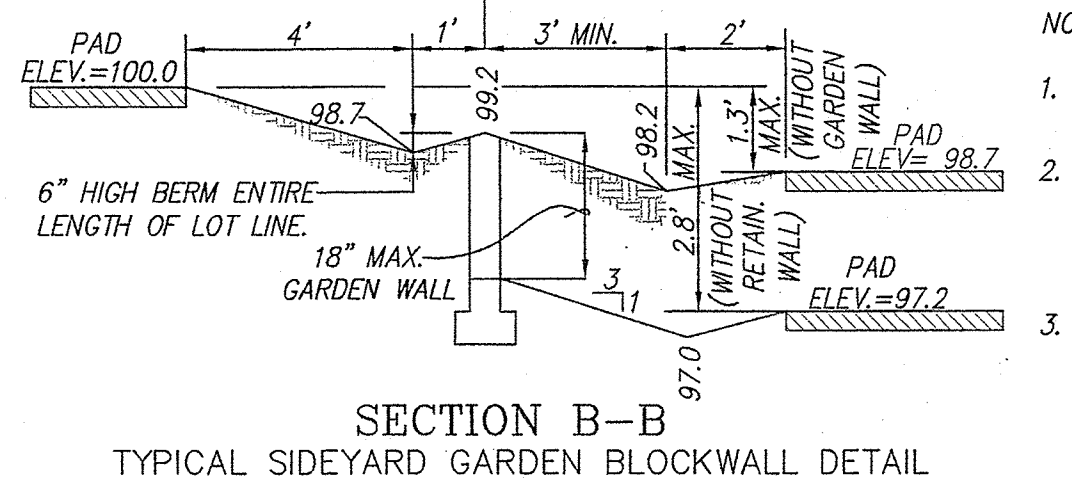
LOT 25
SECTION D-D

NTS



TYPICAL LOT GRADING DETAIL

NTS



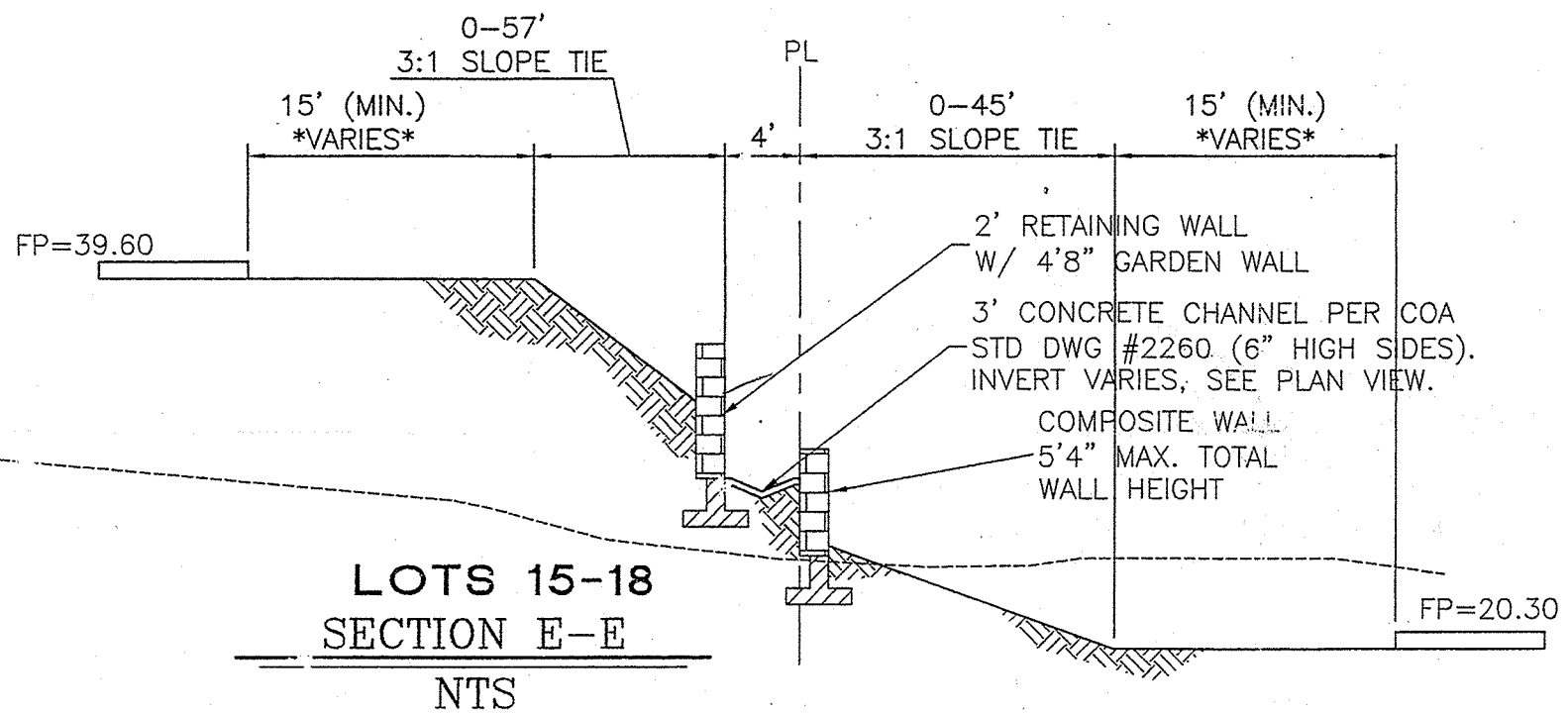
TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL

NTS

ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.8' WILL REQUIRE RETAINING WALLS

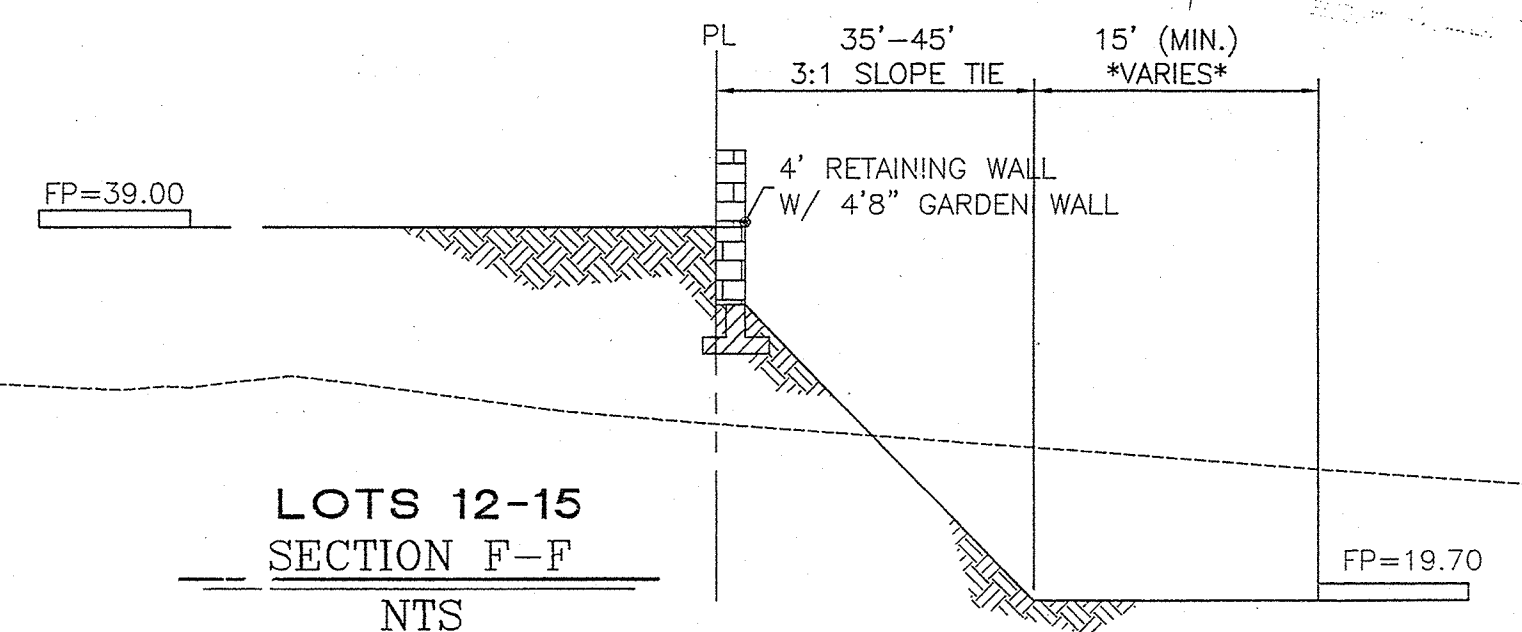
NOTES:

1. A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY. (PART BY DEVELOPER, PART BY BUILDER.)
2. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.7' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
3. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.7' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.



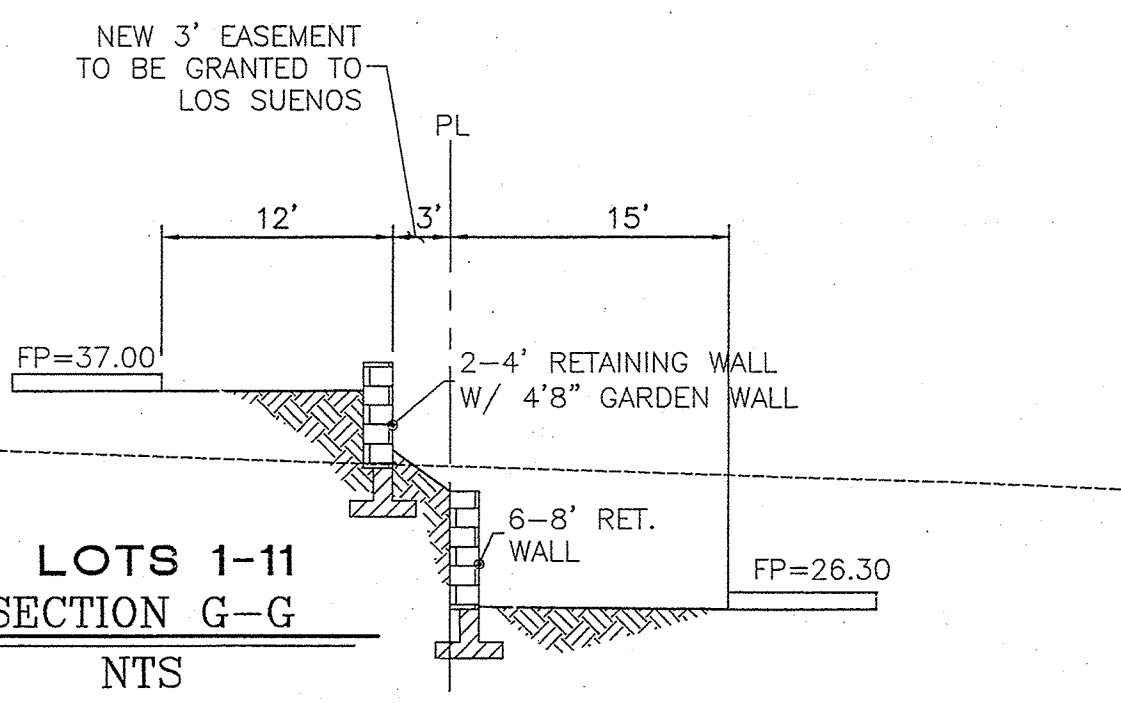
LOTS 15-18
SECTION E-E

NTS



LOTS 12-15
SECTION F-F

NTS



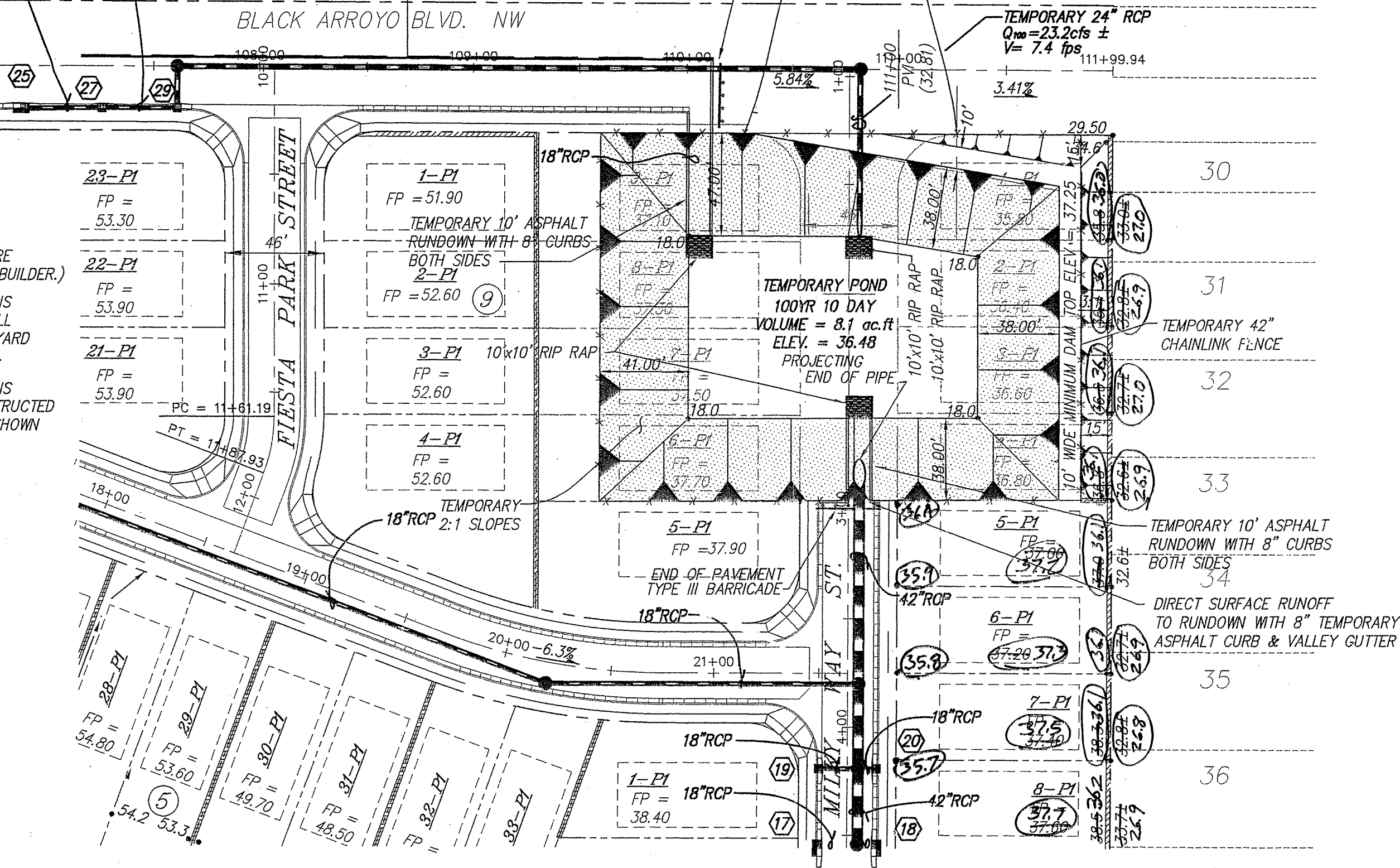
LOTS 1-11
SECTION G-G

NTS

RIO RANCHO ESTATES
CITY OF RIO RANCHO

18" RCP
Q=9.0cfs
V=5.1fps

18" RCP
Q=16.8cfs
V=9.5fps



TEMPORARY POND
SCALE: 1" = 50'

DRAINAGE CERTIFICATION

I, James D Hughes, NMPE 11674, of the firm Mark Goodwin & Associates, hereby certify that the private portion of this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 2/25/2002 (Except as noted below). The record information edited onto the original design document has been obtained by Tim Aldrich, NMPS 7719, of the firm Aldrich Land Surveying. I further certify that I have personally visited the project site on 2/7/2003 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Release of Financial Guaranty.

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James D. Hughes NMPE 11674 (SEAL)
Date 2-19-04

DRAINAGE INLETS

ID #	INLET TYPE	100 YR FLOW INTERCEPTED
1	A	8.0 cfs
2	A	8.0 cfs
3	A	7.2 cfs
4	A	7.2 cfs
5	A	5.2 cfs
6	A	5.2 cfs
7	A	7.3 cfs
8	A	5.7 cfs
9	A	5.7 cfs
10	A	5.7 cfs
11	A	5.7 cfs
12	A	5.7 cfs
13	A	7.1 cfs
14	A	7.1 cfs
15	A	5.5 cfs
16	A	5.5 cfs
17	A	7.3 cfs
18	A	7.3 cfs
19	A	5.8 cfs
20	A	5.8 cfs
21	A	7.8 cfs
22	A	7.8 cfs
23	A	6.2 cfs
24	A	6.2 cfs
25	A	7.1 cfs
26	A	5.4 cfs

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TITLE: **ENGINEER'S CERTIFICATION
PARK HILL SUBDIVISION UNIT 1
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **681881** ZONE MAP NO. **A-11** SHEET **2** OF **2**

FEB 20 2004
HYDROLOGY SECTION

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS		DESIGNED BY		DRAWN BY		CHECKED BY		DATE		DATE		DATE	
CONTRACTOR	WORK ORDER NO.	INSPECTOR'S NAME	DATE	NO.	BY	DATE	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	DATE	DATE	DATE	DATE

2052-2
James D. Hughes
NMPE 11674
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO

DESIGNED BY **JDH** DATE **05/01**
DRAWN BY **NHAW** DATE **05/01**
CHECKED BY **DHAW** DATE **05/01**

REVISIONS
NO. DATE BY
1 05/01 JDH
2 05/01 NHAW
3 05/01 DHAW

A-11/D6