

# CITY OF ALBUQUERQUE



February 9, 2011

Genevieve L. Donart, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Ridgeview Village Park Grading and Drainage Plan  
Engineer's Stamp dated 2-2-11 (A-11/D007C)**

Dear Mrs. Donart,

Based upon the information provided in your submittal received 2-3-11, the above referenced plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO-19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Martin Pacheco, 235-8016, to schedule an inspection.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing  $\frac{3}{4}$  of an acre or more.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Antoinette Baldonado, Excavation and Barricading  
Martin Pacheco, Street/Storm Drain Maintenance  
Kathy Verhage, DMD

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
**(Rev. 12/05)**

PROJECT TITLE: Ridgeview Village Park ZONE MAP/DRG.FILE# A-11/D007C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: 783708

LEGAL DESCRIPTION: A portion of Tract A, Ridgeview Village, Unit 1  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Genny Donart  
ADDRESS: 128 MONROE N.E. PHONE: 268-8828  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: City Parks & Recreation CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Katie Paquette  
ADDRESS: \_\_\_\_\_ PHONE: 761-9700  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT
- ENGINEER/ARCHITECT CERT (TCL)
- ENGINEER/ARCHITECT CERT (DRB S.P.)
- ENGINEER/ARCHITECT CERT (AA)
- OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- RELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- UNDAATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CRTIFICATE OF OCCUPANCY (PERM)
- CRTIFICATE OF OCCUPANCY (TEMP)
- GADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

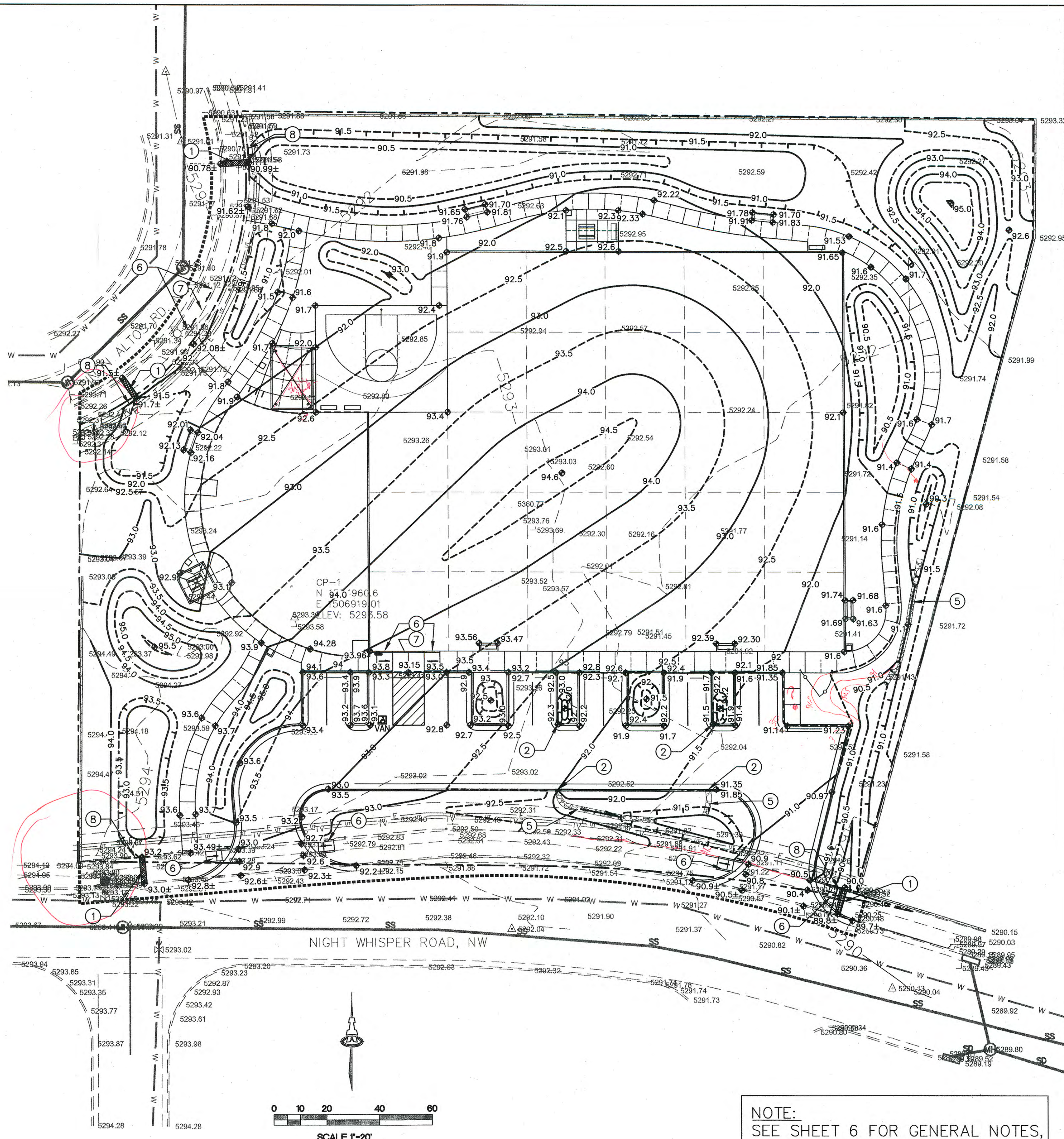
FEB 0 3 2011

SUBMITTED BY: Genny Donart DATE: 02/02/2011  
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





### VICINITY MAP

1"=750'±  
A-11-Z

### KEYED NOTES

- 1' WIDE SIDEWALK CULVERT PER COA STD DWG #2236. REMOVE & REPLACE CURB & GUTTER AND SIDEWALK AS NEEDED.
- 2' CURB CUT PER DETAIL A ON SHEET 6 TO ALLOW FLOWS TO ENTER WATER HARVESTING AREA.
- NOT USED
- NOT USED
- 2' WIDE FRACTURED FACE ROCK SWALE PER DETAIL B ON SHEET 6.
- WHEELCHAIR RAMP. 12:1 MAX SLOPE.
- WHEELCHAIR LANDING PAD. 50:1 MAX SLOPE.
- SIDEWALK WITH TURN-DOWN EDGE PER DETAIL C ON SHEET 6.

### LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED 1' CONTOUR
- PROPOSED 0.5' CONTOUR

**RECEIVED**

FEB 03 2011

HYDROLOGY SECTION

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1770 CG-101.dwg Feb 01,2011

**Dekker/Perich/Sabatini**  
architecture • interiors • landscape • planning • engineering  
7801 Jefferson NE, Suite 100  
Albuquerque, NM 87109 505 761-6700 fax 761-4222

CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

TITLE: **RIDGEVIEW VILLAGE PARK  
GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo. / Day / Yr.	Mo. / Day / Yr.
City Project No. <b>783708</b>	Zone Map No. <b>A-11-Z</b>	Sheet <b>4</b> of <b>14</b>	

NOTE:  
SEE SHEET 6 FOR GENERAL NOTES,  
PROJECT DATA, AND DETAILS.

RECORD DRAWINGS PROJECT #783708 February 7, 2011 RIDGEVIEW VILLAGE PARK FINAL FOR CONSTRUCTION X

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**SITE CONDITIONS**

**EXISTING CONDITIONS:**

THIS SITE IS A 2.1 ACRE PARCEL OF UNDEVELOPED LAND. IT IS BOUNDED ON THE EAST & WEST BY SINGLE FAMILY SUBDIVISIONS, TO THE NORTHWEST BY PINON ALTOS RD AND TO THE SOUTH BY NIGHT WHISPER RD. IT IS COVERED WITH NATIVE GRASSES AND BUSHES. THE PROPERTY IS RELATIVELY FLAT, WITH LOW POINTS AT THE NORTHWEST AND SOUTHEAST CORNERS.

IN THE UNDEVELOPED CONDITION, THIS SITE GENERATES 6.1 CFS IN A 100-YEAR, 6-HOUR STORM.

**DEVELOPED CONDITIONS:**

THIS SITE IS PROPOSED TO BE A CITY PARK WITH A SMALL PARKING LOT, GRASS FIELD, PLAYGROUND, SIDEWALKS, BENCHES, AND COVERED PICNIC TABLES.

THE PARK IS DIVIDED INTO 6 BASINS PER THE BASIN MAP ON THIS SHEET. BASINS A, B, & C DISCHARGE TO 2 SIDEWALK CULVERTS IN PINON ALTOS RD AND BASINS D & F DISCHARGE TO 2 SIDEWALK CULVERTS IN NIGHT WHISPER RD. BASIN E DISCHARGES TO NIGHT WHISPER RD THROUGH THE EASTERN PARKING LOT ENTRANCE.

THE TOTAL SITE GENERATES 6.5 CFS, WHICH IS ONLY 0.4 CFS HIGHER THAN HISTORIC.

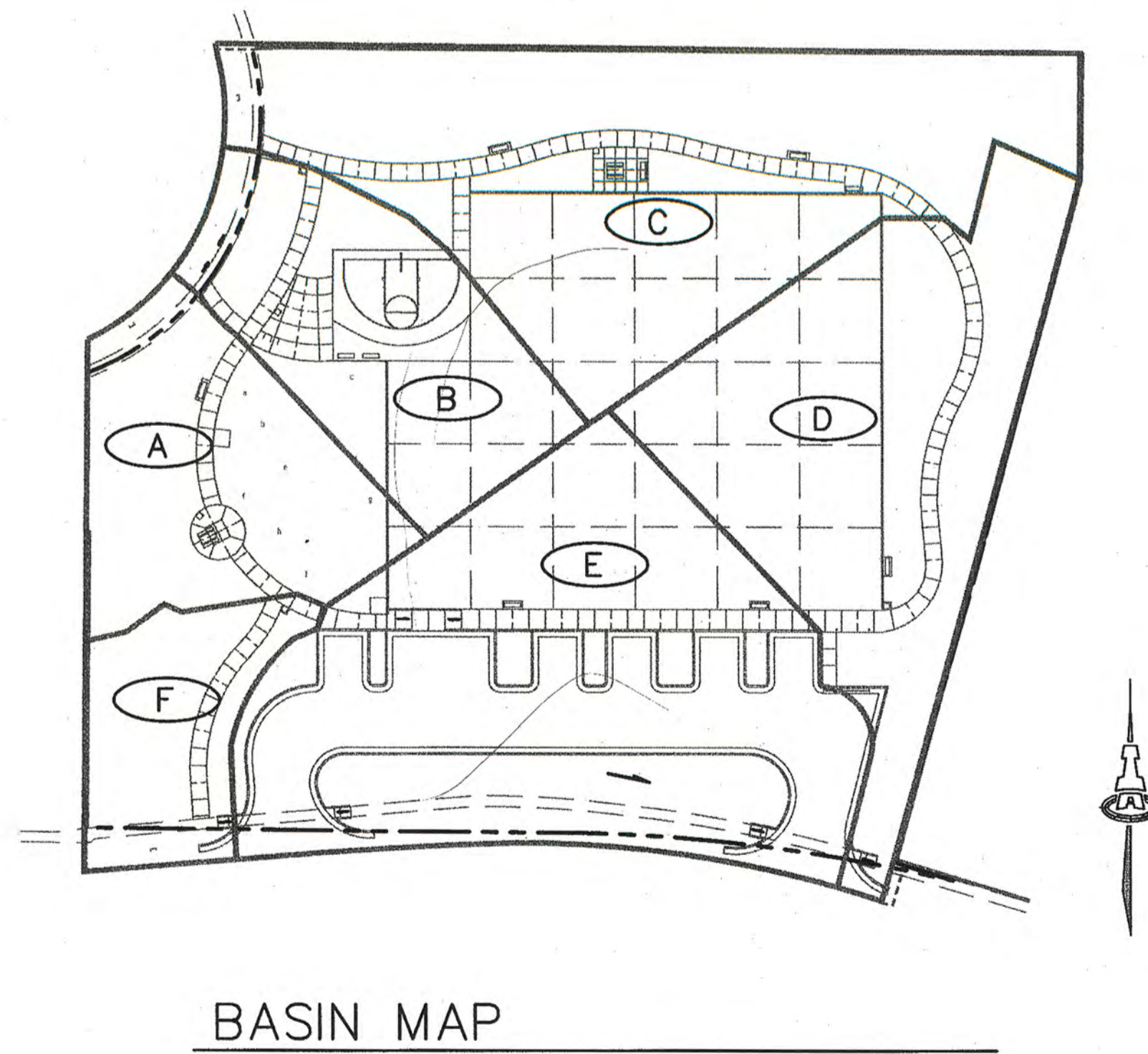
ONE OF THE DESIRED COMPONENTS OF THE PARK WAS TO INCORPORATE WATER HARVESTING, SO THERE ARE PONDS IN EACH BASIN. SOME OF THESE PONDS RETAIN SMALL AMOUNTS OF WATER (0.8 FT DEEP MAX.), BUT ALL WILL INFILTRATE INTO THE GROUND IN LESS THAN 24 HOURS. PER THE USGS SOILS MAP, MADUREZ LOAMY FINE SAND (MaB) TRANSMITS WATER AT 0.6 TO 2.0 IN/HR. ASSUMING THE MORE CONSERVATIVE RATE OF 0.6 IN/HR, A 0.8 FT DEEP POND WILL DRAIN WITHIN 16 HOURS.

$$\frac{0.8 \text{ ft}}{(0.6 \text{ in/hr} / 12 \text{ in/ft})} = 16 \text{ hr}$$

EACH POND HAS AN OVERFLOW THAT LEADS TO ONE OF THE DISCHARGE POINTS.

AFTER PONDING, THE TOTAL FLOWS DISCHARGED FROM THE SITE ARE 3.4 CFS.

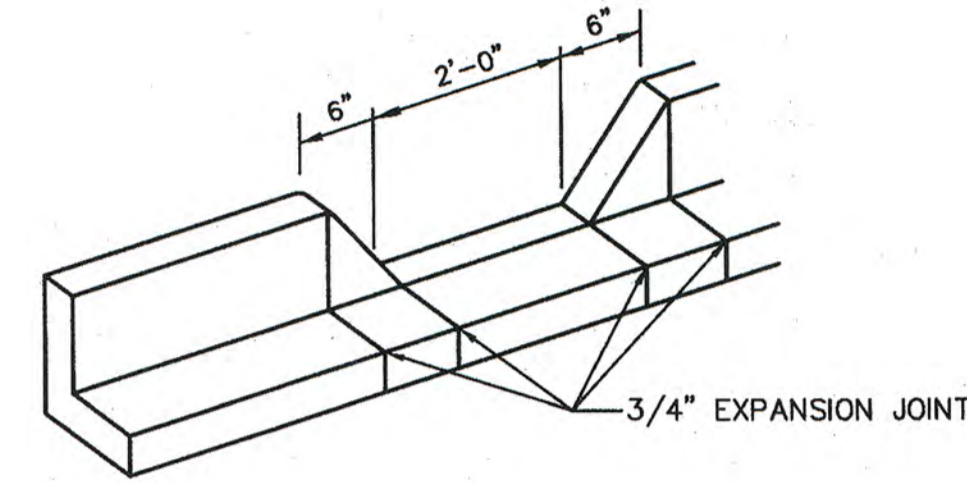
SEE SUPPLEMENTAL INFORMATION PACKET FOR CALCULATIONS.



**BASIN MAP**

SCALE: 1"=50'

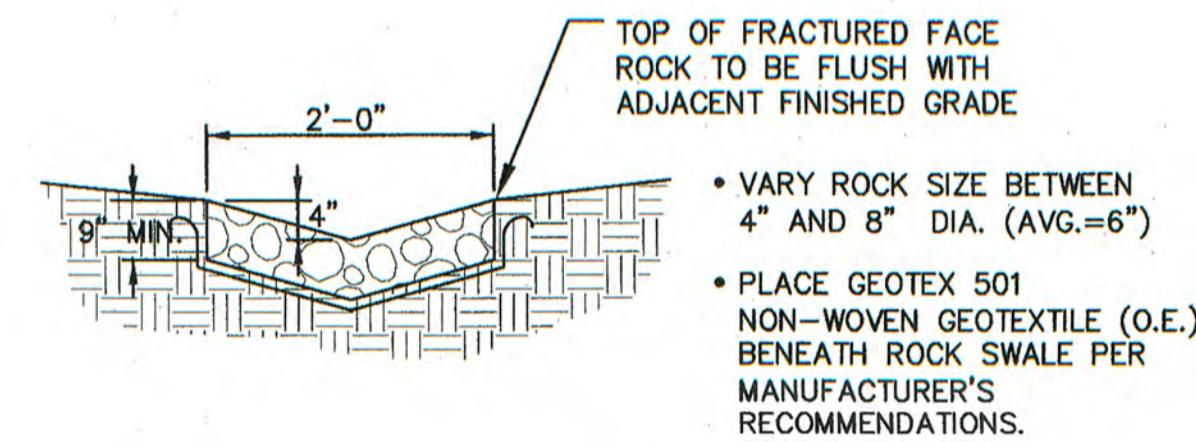
**DETAILS**



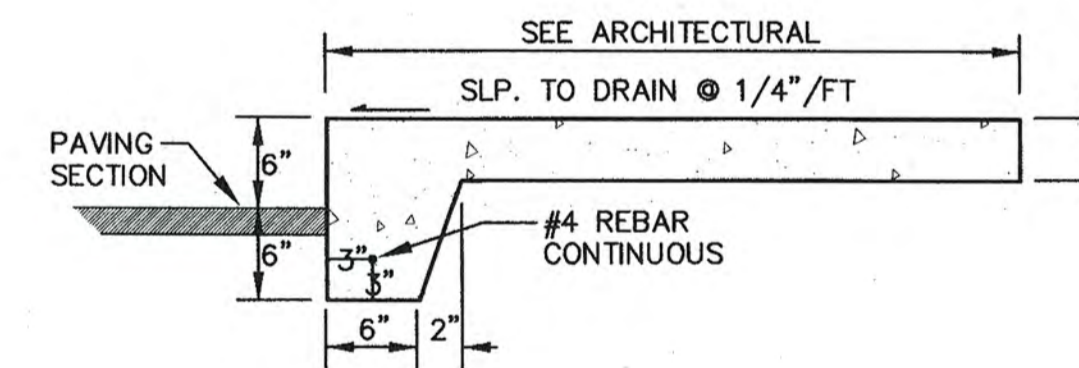
**GENERAL NOTES**

- EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

**A CURB OPENING**  
DRNG-CURB-CONC-OPEN.dwg N.T.S.



**B ANGULAR ROCK SWALE**  
DRNG-CHNL-ROCK-2F.TW.dwg N.T.S.



**C TURNED DOWN WALK**  
PVMT-SDWK-TRDN-1SDC.dwg N.T.S.

**GENERAL NOTES**

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE EXCAVATION AND NON-STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

**PROJECT DATA**

**LEGAL DESCRIPTION:** PORTION OF TRACT A, RIDGEVIEW VILLAGE, UNIT 1  
**SITE AREA:** 2.1 AC.  
**FLOOD ZONE:** NO PORTION OF THIS SITE LIES WITHIN A FLOODPLAIN PER FEMA FIRM MAP #35001C0104G DATED 09/28/08.  
**ENGINEER:** ISAACSON & ARFMAN, P.A.  
 ATTN: GENEVIEVE DONART  
 128 MONROE ST NE, ABO, NM 87108  
 PHONE: (505) 268-8828

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 Fax. 505-268-2632  
 1770 CG-501.dwg Nov 23, 2010

FEB 03 2011  
 HYDROLOGY SECTION

CITY OF ALBUQUERQUE  
 STRATEGIC PLANNING AND DESIGN  
 PARKS AND RECREATION DEPARTMENT

TITLE: RIDGEVIEW VILLAGE PARK  
 GRADING & DRAINAGE DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.

City Project No. 783708 Zone Map No. A-11-Z Sheet 5 of 14

CONTRACTOR	AS BUILT INFORMATION		BENCH MARKS	SURVEY INFORMATION	ENGINEERS SEAL	REVISIONS	REMARKS
	DATE	DATE					
INSPECTOR'S	DATE	DATE	DATE	DATE	DATE	DATE	DATE
FIELD LANCE BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE
VERIFICATION BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE
CONCRETE BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE
MICRO-FILM INFORMATION	DATE	DATE	DATE	DATE	DATE	DATE	DATE
RECORDED BY	NO.	NO.	NO.	NO.	NO.	NO.	NO.

RECORD DRAWINGS PROJECT #783708 February 7, 2011 RIDGEVIEW VILLAGE PARK FINAL FOR CONSTRUCTION X