

# CITY OF ALBUQUERQUE



April 1, 2011

Ronald Ray Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park PL NE  
Albuquerque, NM 87109

**Re: Valero Corner Store, Unser and McMahon  
Grading and Drainage Plan and Report  
Engineer's Stamp dated 3-21-11 (A11/D007D)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 3-21-11, the above referenced plan is conditionally approved for Grading Permit and Building Permit based on the following comment. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

- The Type "E" MH located at the North East corner should be built with the Work Order for Calle Perro Road.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit, since it is disturbing  $\frac{3}{4}$  of an acre or more.

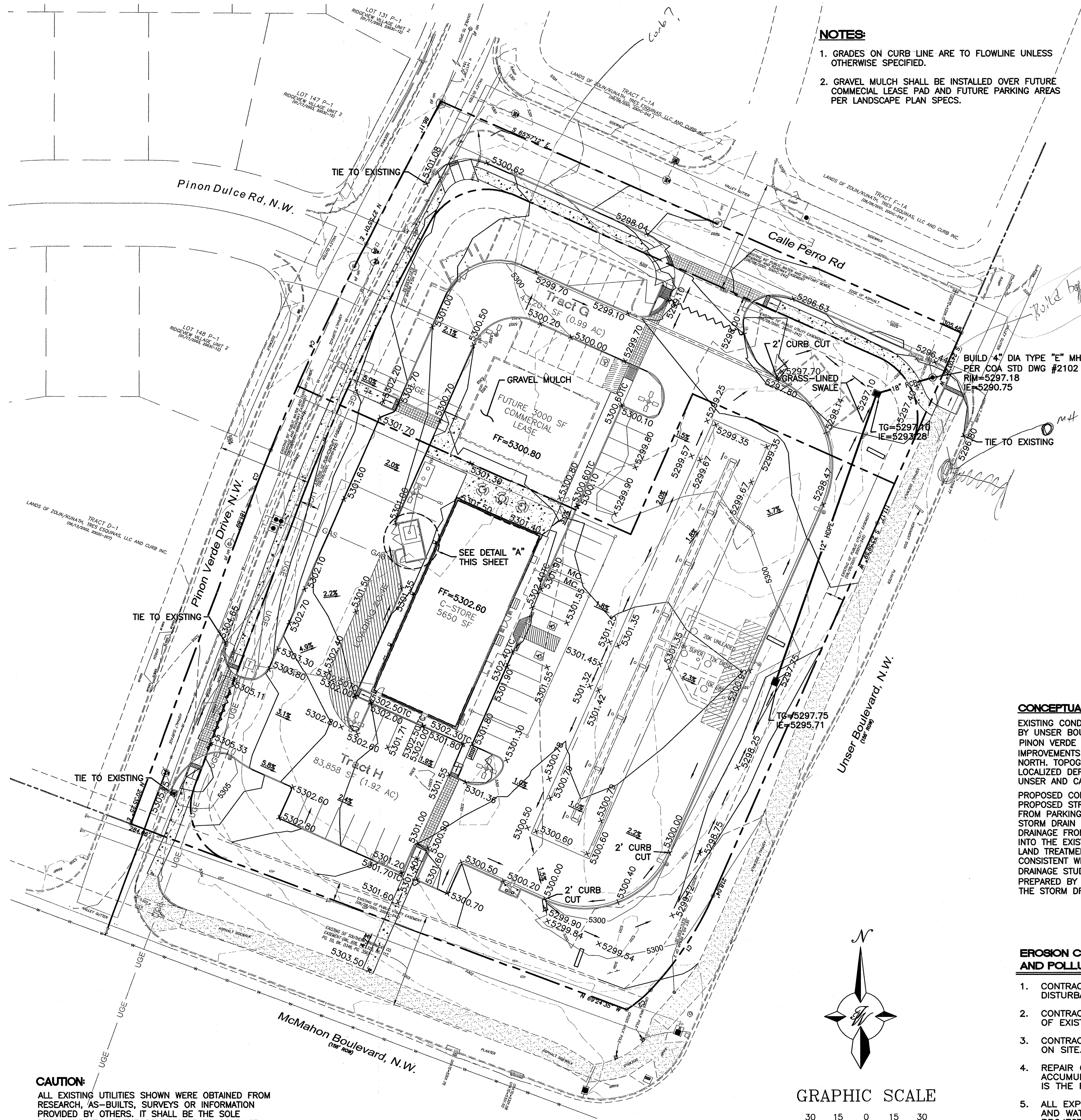
Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3421 or Rudy Rael at 924-3977.

Sincerely,

Paul Olson, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: Kathy Verhage, DMD  
File  
RER/PLO

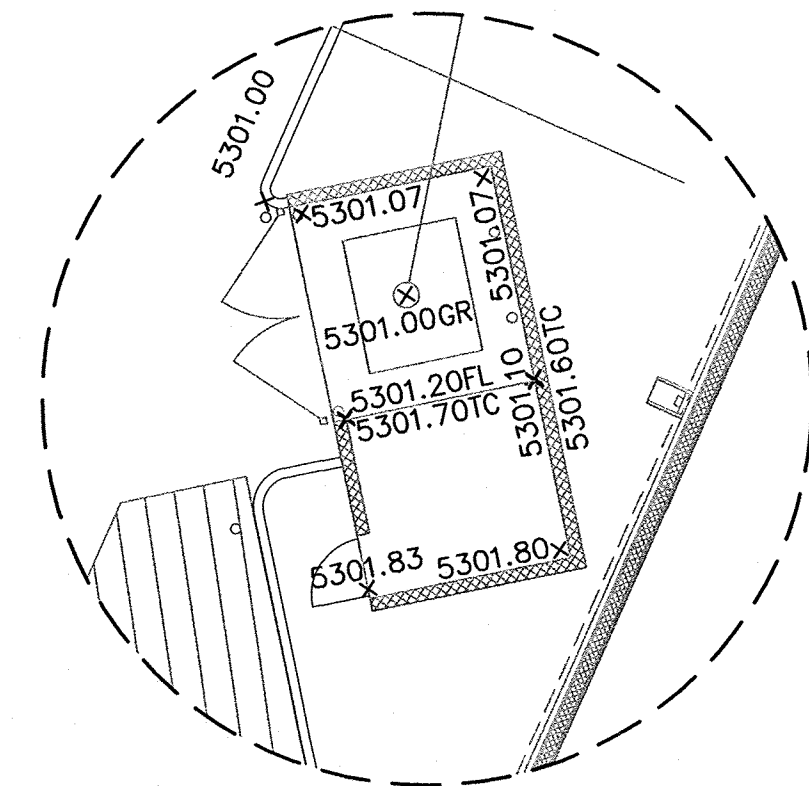


**NOTES:**

1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
2. GRAVEL MULCH SHALL BE INSTALLED OVER FUTURE COMMERCIAL LEASE PAD AND FUTURE PARKING AREAS PER LANDSCAPE PLAN SPECS.

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- - - EXISTING SPOT ELEVATION
- PROPOSED INLET



**DETAIL 'A'**  
**DUMPSTER DETAIL**  
SC: 1"=10'

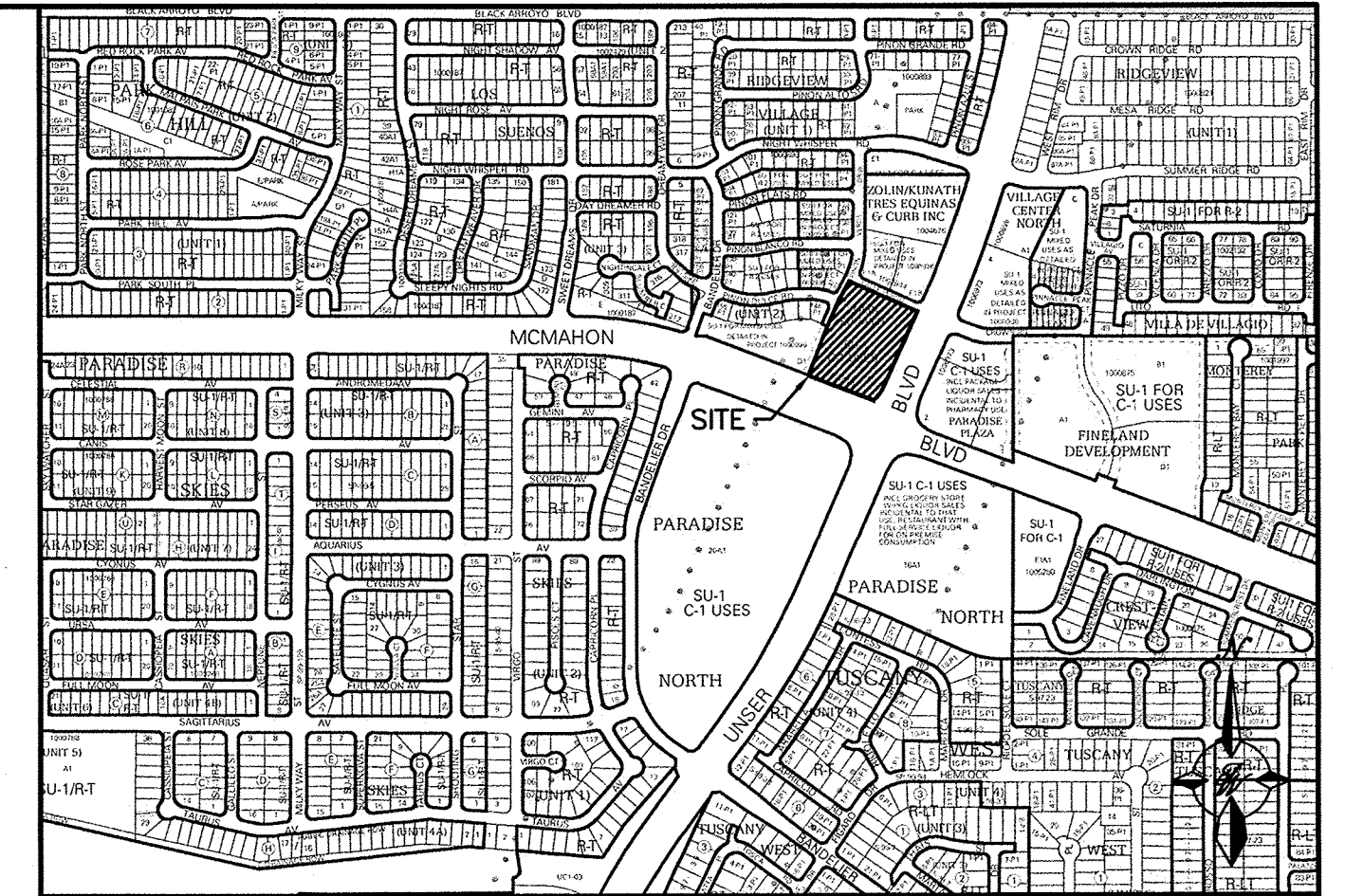
**CONCEPTUAL DRAINAGE CONFIGURATION**

EXISTING CONDITION: THE PROJECT PROPERTY IS UNDEVELOPED AND BOUND BY UNSER BOULEVARD TO THE EAST, MCMAHON BOULEVARD TO THE SOUTH, PINON VERDE TO THE WEST, AND CALLE PERRO (HALF-WIDTH) IMPROVEMENTS UNDER CONSTRUCTION BY PROJECT # 1002944) TO THE NORTH. TOPOGRAPHY IS GENTLY SLOPING FROM WEST TO EAST WITH SOME LOCALIZED DEPRESSIONS ULTIMATELY CONVEYING DRAINAGE RUNOFF TO UNSER AND CALLE PERRO.

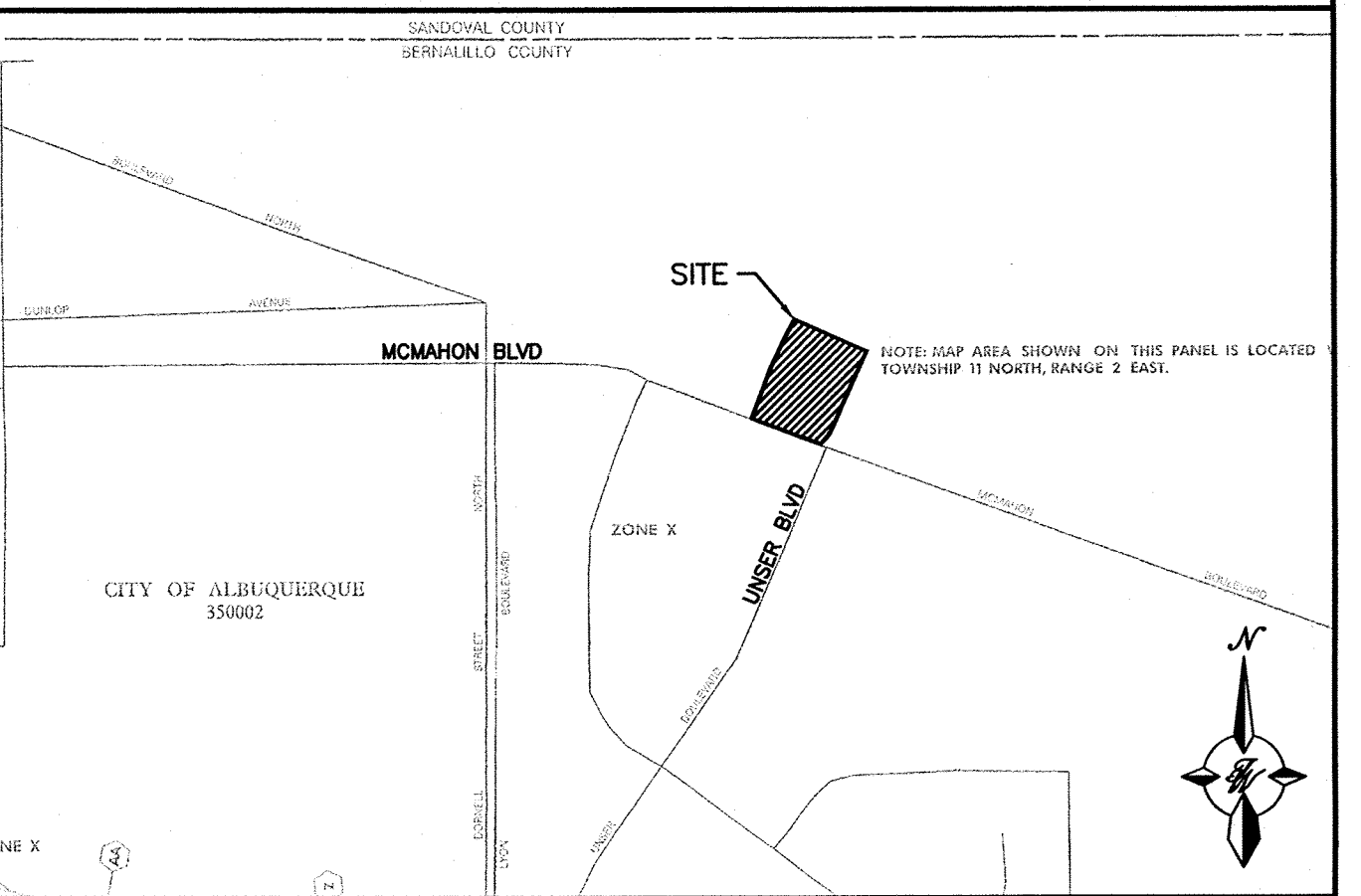
PROPOSED CONDITION: THE SITE WILL BE GRADED TO ACCOMMODATE THE PROPOSED STRUCTURES AND ASSOCIATED PARKING FACILITIES WITH FLOWS FROM PARKING AREAS BEING CONVEYED TO LANDSCAPE AREAS. A PRIVATE STORM DRAIN INLET WITHIN THE LANDSCAPE AREA IS PROPOSED TO ACCEPT DRAINAGE FROM THE NORTHEAST CORNER OF THE SITE TO CONVEY FLOWS INTO THE EXISTING STORM DRAIN SYSTEM WITHIN CALLE PERRO. DEVELOPED LAND TREATMENT, DISCHARGE RATE, AND FLOW PATTERNS WILL BE CONSISTENT WITH DRAINAGE AREA DB5A AS DEFINED IN THE MASTER DRAINAGE STUDY FOR THE UNSER/MCMAHON AREA (FILE A-11/D005A, PREPARED BY BHI 7/17/2001) WHICH ALLOWS FOR FREE DISCHARGE INTO THE STORM DRAIN SYSTEM.

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.



**VICINITY MAP:**



**FIRM MAP:**

35001C0104D

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**ROUGH GRADING APPROVAL**

DATE

	<b>VALERO,</b> UNSER BLVD & MCMAHON BLVD		DRAWN BY DY
	<b>GRADING AND DRAINAGE PLAN</b>		DATE 03-21-11
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 tiewestllc.com		201051-GRB
			SHEET # <b>C3</b> JOB # 2010051

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.