

CITY OF ALBUQUERQUE



September 09, 2011

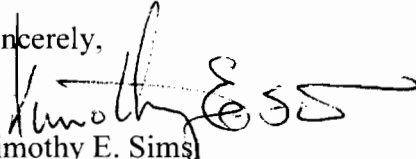
Yolanda Padilla Moyer, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**Re: CVS Pharmacy @ Unser & McMahon, 10700 Unser Blvd NW,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 05-07-10 (C-09/D001B)
Certification dated: 09-08-11**

Dear Mrs. Moyer,

Based upon the information provided in the Certification received 09-09-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: CVS Pharmacy @ Unser and McM ZONE MAP/DRG. FILE # A-11 *11*
DRB#: 1005280 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 3 of McMahon Marketplace

CITY ADDRESS: 10700 Unser Blvd (SEC Unser Blvd & McMahon Boulevard)

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson St. Courtyard 1
CITY, STATE: Albuquerque, NM

CONTACT: Yolanda Padilla Moyer, P.E.
PHONE: 505-823-1000
ZIP CODE: 87109

OWNER: Armstrong Development
ADDRESS: 1500 N. PRIEST DRIVE, STE. 150E
CITY, STATE: Tempe, AZ

CONTACT: Chris Czyz
PHONE: 602-385-4100
ZIP CODE: 85281

ARCHITECT: Jacobs Engineering
ADDRESS: 101 North 1st Avenue, Suite 3100
CITY, STATE: Phoenix, AZ

CONTACT: Cory Newkirk
PHONE: 602-650-4917
ZIP CODE: 85003

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SO-19) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Yolanda Padilla Moyer, P.E. DATE: September 8, 2011

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000

facsimile: 505.798.7988

toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Tim Sims
Hydrology
Plaza del Sol
2nd Floor

Requested by: Yolanda Padilla Moyer

Date: 9-9-11

Time Due: ☒ This A.M.
☐ This P.M.
☐ Rush
☐ By Tomorrow

Phone: 924-3982

Job No.: 090090 005 CDPABQ

Job Name: CVS Unser and McMahon

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage CO package

COMMENTS / INSTRUCTIONS

SEP 12 11

REC'D BY: _____ DATE: _____ TIME: _____

September 8, 2011

Mr. Tim Sims
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Grading and Drainage Certification, CVS Pharmacy, 10700 Unser Blvd NE
SEC Unser and McMahon, (A-11)

Dear Tim:

Enclosed for your review is the approved grading and drainage plan dated 5/7/10 and 7/5/11, with as-built elevations certified 8-25-11. Also included on this grading plan is the additional survey asbuilts you requested in your letter granting Temporary Certificate of Occupancy on August 25, 2011.

After reviewing these additional as-built elevations and visiting the site on September 8, 2011, it is my belief that the site has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for permanent Certificate of Occupancy for the project. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Project Manager
Community Development and Planning Group

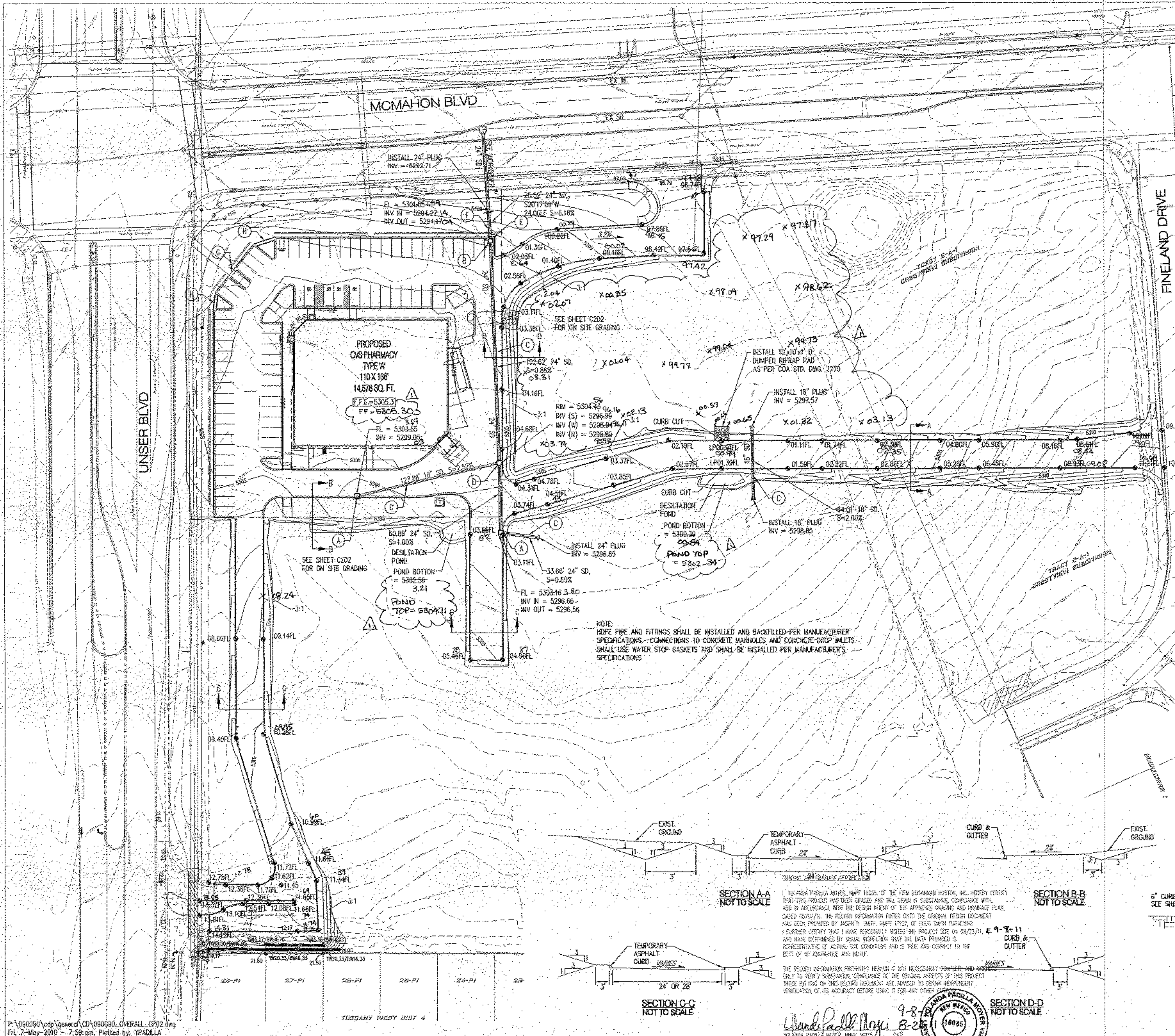
YPM
Enclosure

cc: Chris Czyz, Armstrong Properties

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



CIVIL
ENGINEER

Bohannon & Huston
ENGINEERING & SURVEYING
BOHANNON HUSTON, INC.
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
TEL: (505) 823-1000
FAX: (505) 798-7988

CONSULTANT:
CIVIL ENGINEER
JULIA S. BOHANNON
JULIA S. BOHANNON
JULIA S. BOHANNON

SEAL:
JULIA S. BOHANNON
JULIA S. BOHANNON
JULIA S. BOHANNON

CVS/
pharmacy

STOCK #75803
SOUTHEAST CORNER OF MCMAHON BLVD AND UNSER BLVD, ALBUQUERQUE, NM

DEVELOPER:
ARMSTRONG DEVELOPMENT PROPERTIES, INC.
1500 N. PRIEST DR., SUITE 150E
TEMPE, AZ 85281
OFFICE: 602.383.4100
FAX: 602.385.4101

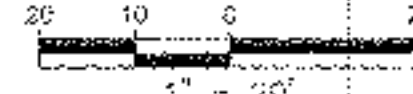
REVISIONS:
ADDITIONAL MANHOLE ELEVATIONS ADDED

DRAWING BY: AR
DATE: FEBRUARY, 2010
JOB NUMBER: 090090
TITLE: OVERALL GRADING PLAN
SHEET NUMBER: C201
COMMENTS:

MCMAHON BLVD

UNSER BLVD

PROPOSED CVS
PHARMACY
14,576 SQ. FT



LEGEND

- 5360 — PROPERTY LINE
- 5360.15 — EXISTING CONTOUR
- 5360.15 — EXISTING GRADING SPOT ELEVATION
- A602.10 — EXISTING ELECTRICAL POLE
- 5360.15 — PROPOSED SPOT ELEVATION
- 5360.15 — PROPOSED 10-FOOT C&G, 11-FOOT C&G, EXCEEDING 10-FOOT OF GRADE
- 5360.15 — PROPOSED SECTION OF FLOW
- 5360.15 — WATER BLOCK
- 5360.15 — PROPOSED RETAINING WALL
- 5360.15 — PROPOSED ROCK CONCRETE
- 5360.15 — PROPOSED WATER CONTOUR
- 5360.15 — PROPOSED LAND & GUTTER
- 5360.15 — EASEMENT
- 5360.15 — EXISTING TREE
- 5360.15 — PROPOSED STORM DRAIN LINE
- 5360.15 — PROPOSED STORM DRAIN MANHOLE
- 5360.15 — PROPOSED STORM DRAIN INLET
- 5360.15 — EXISTING STORM DRAIN MANHOLE

FOR OFFSITE PRIVATE GRADING IMPROVEMENTS
SEE OVERALL GRADING PLAN SHEET C201

GRADING AND EROSION PREVENTION

1. TO MEET THESE NOTES, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITY LINES, CABLES AND APPURTENANCES EXPOSED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE CORRELATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR RELOCATIONS CAUSED BY UTILITY COMPANY WORK. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY WORKS TO BE COMPLETED PRIOR TO THEIR SCHEDULED WORK.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES, CABLES AND APPURTENANCES THAT ARE NOT TO BE RELOCATED. ANY DAMAGE TO EXISTING UTILITY LINES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

3. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

4. EXISTING PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT TRAFFIC OR BE LOCATED IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

5. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., EROSION CONTROL, TOPSOIL, INSURANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).

6. ALL PROPERTY OWNERS DESIGNED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY OWNERS MUST BE PAID BY A REGISTERED LAND SURVEYOR.

7. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND TRAFFIC PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK FOR OR ADJACENT TO EXISTING STREETS.

8. ALL EROSION CONTROL AND CONSTRUCTION STAGING SHALL CONFORM TO APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

9. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND STAGING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.

10. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH SPDES PHASE 2 REQUIREMENTS.

THE REQUIRED INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND PRESENTED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THE REQUIRED INFORMATION IS NOT A GUARANTEE OF THE DATA PRESENTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DATA PRESENTED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF.

Yolanda Padilla Moya, 8-24-2019
Yolanda Padilla Moya, 8-24-2019
Yolanda Padilla Moya, 8-24-2019

BENCHMARK

ALBUQUERQUE CONTROL STATION BENCHMARK "9-A11"
NEW MEXICO STATE PLANE COORDINATES
EASTING = 1,533,208.142
NORTHING = 1,533,208.142
ELEVATION = 5,301.647 (NAVD 83)
SEA PA ALPHA = -0.015 (30.20")
GROUND TO CGO FACTOR = 0.999970827

GRADING DETAIL
SCALE: 1"=10'

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE POST FOR REQUIRED CONSTRUCTION POST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COSTS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN MANUAL FOR HIGHWAYS", AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (SPRINT) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (C&G) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (LATEST EDITION).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THE PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY EROSION OR SILT FENCE AT THE PROPERTY LINES AND RETAINING THE SOIL TO PROTECT IT FROM SOIL EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSTABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND MAINTENANCE OF SUCH SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND MINOR GRADING SHALL BE 1/4" 0.1" FROM PLAN ELEVATIONS. PAVEMENT GRADING SHALL BE 1/4" 0.05" FROM GRADING PLAN ELEVATIONS.
- ALL PROPOSED CONDUITS (PREFLECT) TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEASURES AND SLOPES.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION FROM TO BEGINNING CONSTRUCTION.

GENERAL NOTES

- ALL WORK DETAILLED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT DESIGN MANUAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER MANAGEMENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITY LINES, CABLES AND APPURTENANCES EXPOSED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE CORRELATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR RELOCATIONS CAUSED BY UTILITY COMPANY WORK. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY WORKS TO BE COMPLETED PRIOR TO THEIR SCHEDULED WORK.
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- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH SPDES PHASE 2 REQUIREMENTS.

CIVIL
ENGINEER

Bohannon & Huston
Civil Engineers
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
TEL: (505) 623-1000
FAX: (505) 748-7988

CONSULTANT:

SEAL:



CVS/
pharmacy

STORE #75003
SOUTHEAST CORNER OF MCMAHON BLVD
AND UNSER BLVD
ALBUQUERQUE, NM

DEVELOPER:

ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1500 N. PRIEST DR., SUITE
1500
TEMPE, AZ 85281
OFFICE: 602.385.4100
FAX: 602.385.4101

REVISIONS:

DRAWING BY: AR

DATE: FEBRUARY, 2019

JOB NUMBER: 090090

TITLE:

GRADING PLAN

SHEET NUMBER:

C202

COMMENTS:

