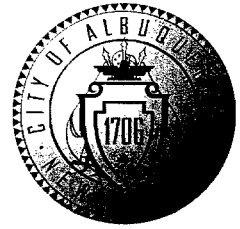


CITY OF ALBUQUERQUE



August 25, 2011

Yolanda Padilla Moyer, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**Re: CVS Pharmacy @ Unser & McMahon, 10700 Unser Blvd. NE,
Request for 90-Day Temporary C.O.—Approved
Engineer's Stamp dated: 05/07/10 & 7-5-11, (A-11/D011)
Certification dated: 08-24-11**

Dear Mrs. Moyer,

Based upon the information provided in your submittal received 08-24-11, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

Prior to Permanent Certificate of Occupancy the following items will need to be addressed:

1. After a recent site visit, there is a large spoil pile on the south west side of the site that will need to be removed. This was not identified on the Certification.
2. Please provide the building's finished floor elevation. Please provide bottom of pond elevations and top of pond elevations.
3. All inlets will need to be cleaned from debris.
4. The rip-rap pad will need to be completed.
5. It appears there was some grading activity taking place on east of the building; please include some elevations for the work being done directly to the east of this building.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology,
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

August 24, 2011

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Nilo Salgado-Fernandez, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification, CVS Pharmacy,
10700 Unser Blvd NE, SEC Unser and McMahon, (A-11)

Dear Nilo:

Enclosed for your review is the approved Site Plan Administrative Amendment dated 11/03/2009. I visited the site on 8/23/11 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan with the following exception:

Your review and approval is requested for permanent Certificate of Occupancy for the project. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

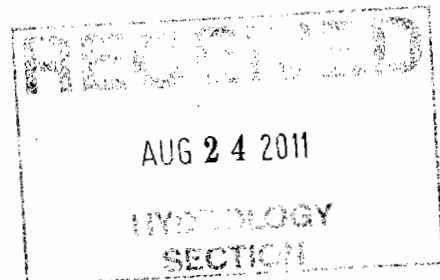
Sincerely,



Yolanda Padilla Moyer, P.E.
Project Manager
Community Development and Planning Group

YPM
Enclosure

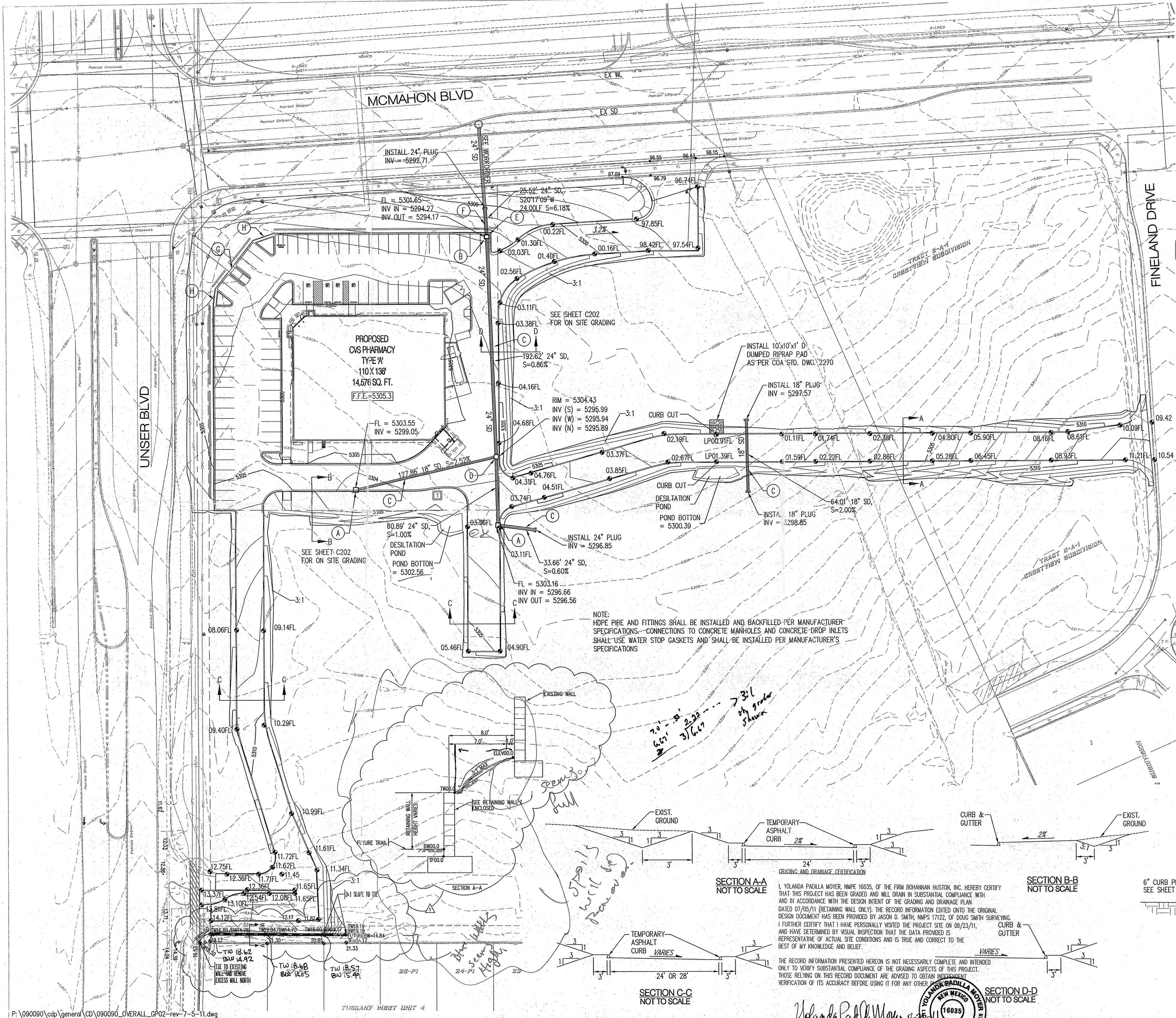
cc: Chris Czyz, Armstrong Properties



Engineering ▲

Spatial Data ▲

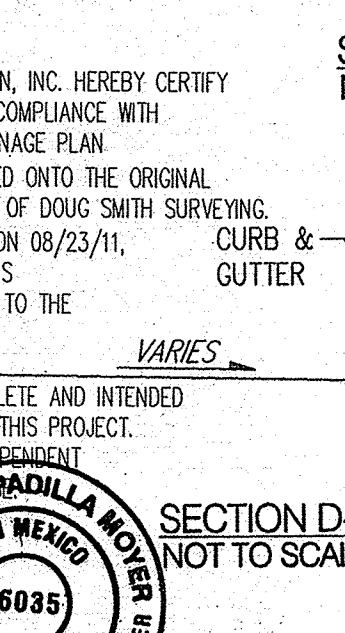
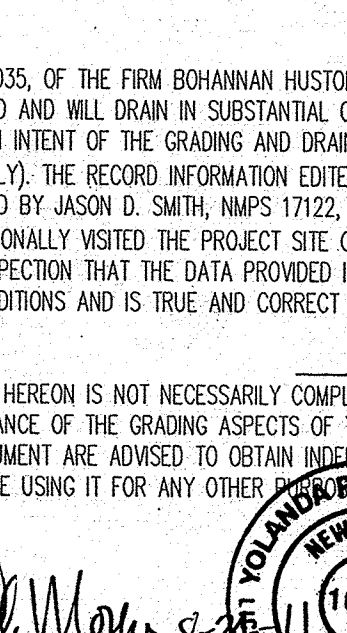
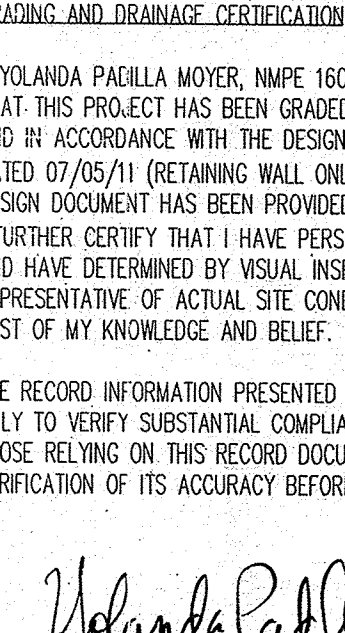
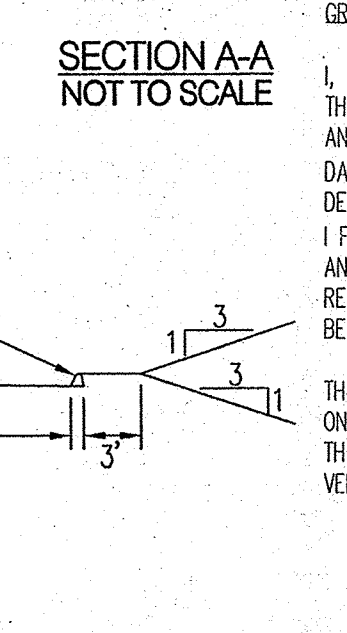
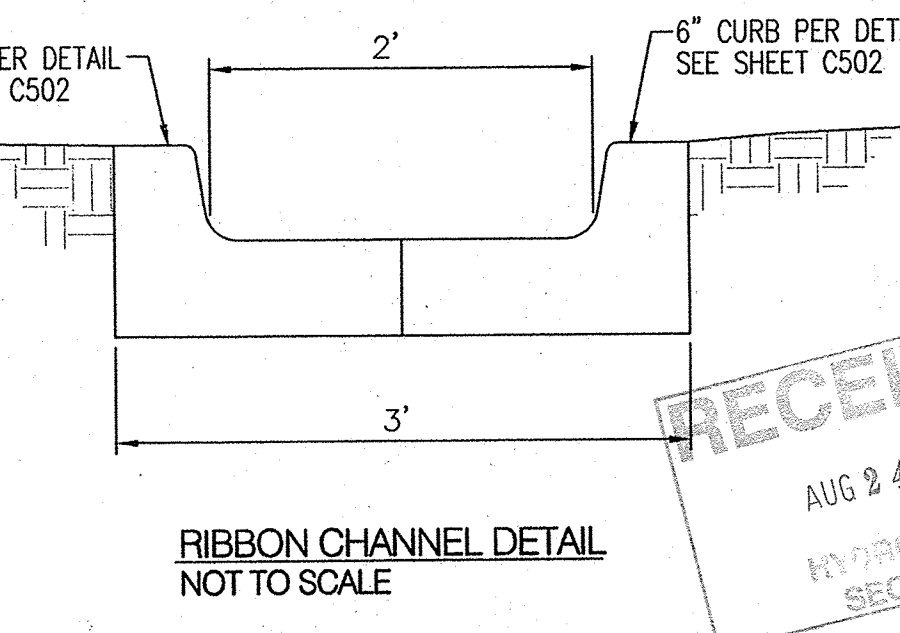
Advanced Technologies ▲



- KEYED NOTES**
- (A) INSTALL STORM DRAIN INLET TYPE 'A' PER C.O.A. STD. DWG. 2201 OR NYLOPLAST ROAD & HIGHWAY DRAINAGE INLET STRUCTURE WITH 2'x2' STEEL BAR GRATE (551.25 SQ. IN. APPROX. DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL)
 - (B) INSTALL STORM DRAIN INLET TYPE 'D' PER C.O.A. STD. DWG. 2206 OR NYLOPLAST ROAD & HIGHWAY DRAINAGE INLET STRUCTURE WITH 2'x2' STEEL BAR GRATE (551.25 SQ. IN. APPROX. DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL)
 - (C) INSTALL HDPE (N-12WT OR APPROVED EQUAL) STORM DRAIN. SIZE PER PLANS
 - (D) INSTALL 4' DIAMETER TYPE 'E' MANHOLE PER C.O.A. STD. DWG. 2102
 - (E) INSTALL STORM DRAIN INLET TYPE 'D' PER C.O.A. STD. DWG. 2206
 - (F) 24" RCP CLASS III
 - (G) 24" SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236
 - (H) PCC RIBBON CHANNEL PER DETAIL THIS SHEET

- LEGEND**
- PROPERTY LINE
 - 5860- EXISTING CONTOURS
 - X 5860.15 EXISTING GROUND SPOT ELEVATION
 - EXISTING ELECTRICAL POLE
 - A462.10 PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
EX=EXISTING, TO=TOP OF GRADE
 - PROPOSED DIRECTION OF FLOW
 - ===== WATER BLOCK
 - ===== PROPOSED RETAINING WALL
 - 5305- PROPOSED INDEX CONTOURS
 - ===== PROPOSED INTER CONTOURS
 - ===== PROPOSED CURB & GUTTER
 - EASEMENT
 - ☼ EXISTING TREE
 - SD PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - ⊙ EXISTING STORM DRAIN MANHOLE

BENCHMARK
ALBUQUERQUE CONTROL STATION MONUMENT "9-A11"
NEW MEXICO STATE PLANE COORDINATES
CENTRAL ZONE (NAD 83)
NORTH = 1,533,206.142
EAST = 1,506,571.019
ELEVATION = 5,301.647 (NAVD 1988)
DELTA ALPHA = -00°15'30.20"
GROUND TO GRID FACTOR = 0.999670857



CIVIL ENGINEER

Bohannon & Huston
Civil/Arch 7500 Jefferson St. NE Albuquerque, NM 87109-4330
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

BOHANNON HUSTON, INC.
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
TEL: (505) 823-1000
FAX: (505) 798-7988

CONSULTANT:

SEAL:

CVS/
pharmacy

STORE #75803
SOUTHEAST CORNER OF MCMAHON BLVD
AND UNSER BLVD
ALBUQUERQUE, NM

DEVELOPER:
ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1500 N. PRIEST DR., SUITE
150E
TEMPE, AZ 85281
OFFICE: 602.385.4100
FAX: 602.385.4101

REVISIONS:

REVISION	DATE	BY	APP
1	7-5-11	YPM	

DRAWING BY: AR
DATE: FEBRUARY, 2010
JOB NUMBER: 090090
TITLE: OVERALL GRADING PLAN

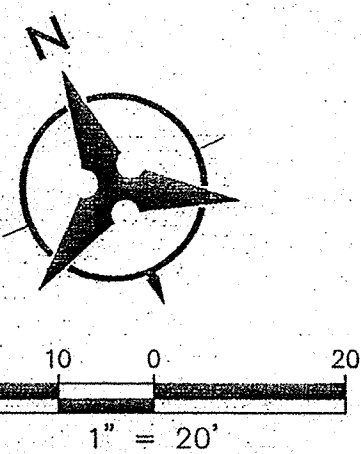
SHEET NUMBER: C201

COMMENTS:

MCMAHON BLVD

UNSER BLVD

PROPOSED CVS
PHARMACY
14,576 SQ. FT



LEGEND

- PROPERTY LINE
- 5860 --- EXISTING CONTOURS
- X 5860.15 --- EXISTING GROUND SPOT ELEVATION
- --- EXISTING ELECTRICAL POLE
- AA62.10 --- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL=FLOW LINE
- EX=EXISTING, TO=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED STORM DRAIN LINE
- --- PROPOSED STORM DRAIN MANHOLE
- --- PROPOSED STORM DRAIN INLET
- ⊙ --- EXISTING STORM DRAIN MANHOLE

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

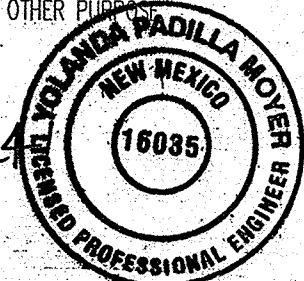
GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 05/07/11. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY JASON D. SMITH, NMPS 17122, OF DOUG SMITH SURVEYING.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 08/23/11, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer 8-23-11
YOLANDA PADILLA MOYER, NMPE 16035 DATE



BENCHMARK

ALBUQUERQUE CONTROL STATION MONUMENT "9-A11"
NEW MEXICO STATE PLANE COORDINATES
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DELTA ALPHA = -001°30'20"
GROUND TO GRID FACTOR = 0.999670857

GRADING DETAIL
SCALE: 1"=10'

FOR OFFSITE PRIVATE GRADING IMPROVEMENTS
SEE OVERALL GRADING PLAN SHEET C201

FOR OFFSITE PRIVATE GRADING IMPROVEMENTS
SEE OVERALL GRADING PLAN SHEET C201

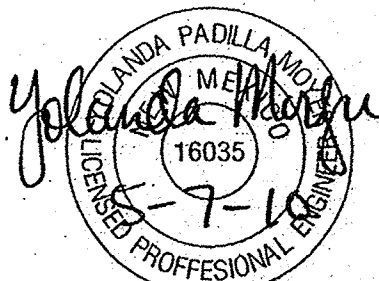
CIVIL
ENGINEER

Bohannon & Huston
Consulting 7500 Jefferson St. NE Albuquerque, NM 87109-0335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

BOHANNAN HUSTON, INC
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ALBUQUERQUE, NM 87109
TEL: (505) 823-1000
FAX: (505) 798-7988

CONSULTANT:

SEAL:



CVS/
pharmacy

STORE #75803
SOUTHEAST CORNER OF MCMAHON BLVD
AND UNSER BLVD
ALBUQUERQUE, NM

DEVELOPER:

ARMSTRONG DEVELOPMENT
PROPERTIES, INC.
1500 N. PRIEST DR., SUITE
150E
TEMPE, AZ 85281
OFFICE: 602.385.4100
FAX: 602.385.4101

REVISIONS:

DRAWING BY: AR

DATE: FEBRUARY, 2010

JOB NUMBER: 090090

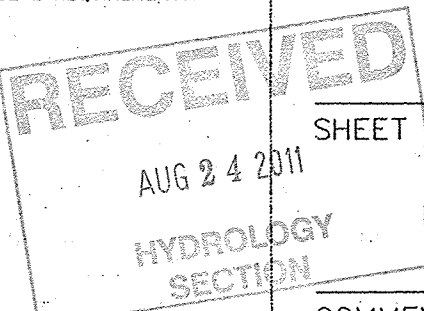
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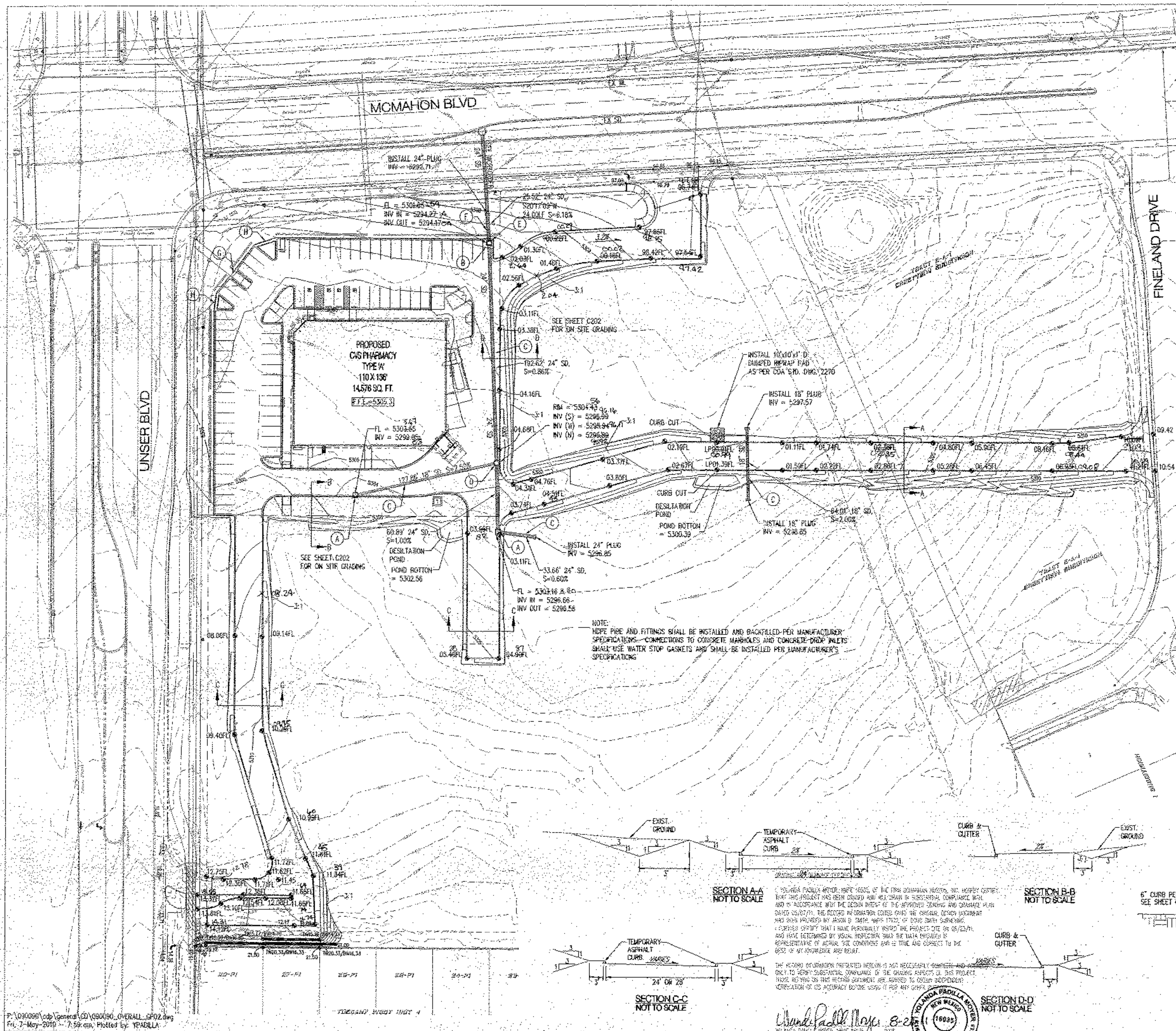
GRADING PLAN

SHEET NUMBER:

C202

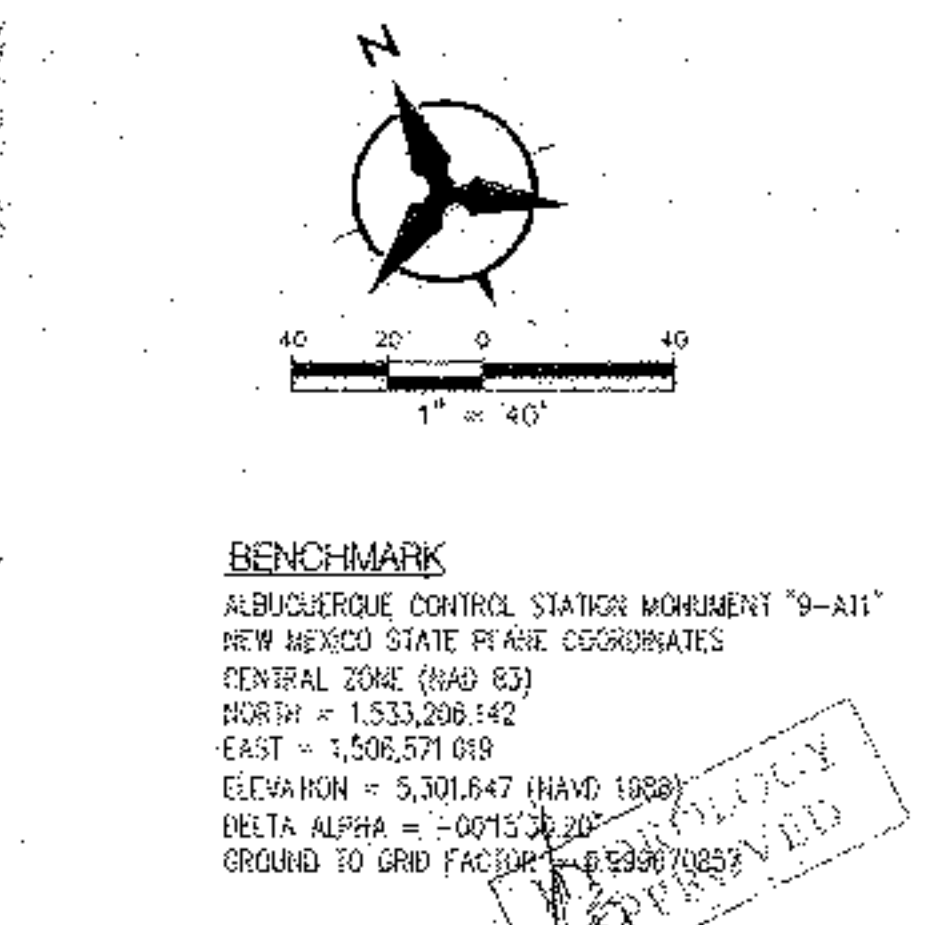
COMMENTS:





- KEYED NOTES**
- (A) INSTALL STORM DRAIN INLET TYPE 'A' PER C.O.A. STD. DWS. 2201 OR NYLOPLAST ROAD & HIGHWAY DRAINAGE INLET STRUCTURE WITH 2'x2' STEEL BAR GRATE (50x25 SQ IN. APPROX. DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL)
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 - (D) INSTALL 4" DIAMETER TYPE 'C' MANHOLE PER C.O.A. STD. DWS. 2102
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 - (F) 24" RCP CLASS III
 - (G) 24" SWEDESK GULVERT PER C.O.A. STD. DWS. 2236
 - (H) POS. BODIUM CHANNEL PER DETAIL THIS SHEET

- LEGEND**
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 - EXISTING ELECTRICAL POLE
 - A462.10 PROPOSED SPOT ELEVATION TO TOP OF CURB, TO FLOW LINE EX-EXISTING TO TOP OF GRADE
 - PROPOSED DIRECTION OF FLOW
 - WATER BLOCK
 - PROPOSED RETAINING WALL
 - 5860 --- PROPOSED INDEX CONTOURS
 - PROPOSED INTER-CONTOURS
 - PROPOSED CURB & GUTTER
 - EASEMENT
 - FISHING HOLE
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - EXISTING STORM DRAIN MANHOLE



CIVIL ENGINEER

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Consulting Engineers & Architects
7500 JEFFERSON ST. NE
ALBUQUERQUE, NM 87109
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FAX: (505) 798-7988

CONSULTANT:

City of Albuquerque
Public Works Department
1000 1st St. NE
Albuquerque, NM 87102

SEAL:

Yolanda Padilla
Professional Engineer
No. 16095
State of New Mexico

CVS/ pharmacy

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REVISIONS:

NO.	DESCRIPTION	DATE

DRAWING BY: AF

DATE: FEBRUARY, 2010

JOB NUMBER: 090090

TITLE:

OVERALL GRADING PLAN

SHEET NUMBER:

C201

COMMENTS: