

CITY OF ALBUQUERQUE



November 13, 2020

Martin Grummer, RA
Martin Grummer Architect
311 Wellesley Pl. NE
Albuquerque, NM 87106

**Re: McMahon Market Place, Building 9A
5750 McMahon Marketplace NE,
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 10-25-19 (A11D011I)
Certification dated 11-5-20**

Dear Mr. Grummer,

Based upon the information provided in your submittal received 11-5-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please add No Parking to ADA access aisle. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and epgomez@cabq.gov for release of Final CO.

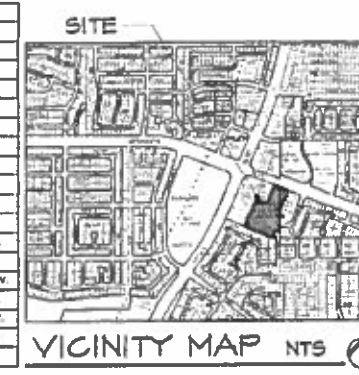
If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

LEGAL DESCRIPTION	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6a	LOT 7a	LOT 8	LOT 9a	LOT 9b	LOT 9c	LOT 9d	TOTAL
TRACT NUMBER	1	2	3	4	5	6a	7a	8	9a	9b	9c	9d	
TOTAL ACRES	AREA = 1.14 AC	AREA = 1.11 AC	AREA = 1.60 AC	AREA = 0.32 AC	AREA = 0.88 AC	AREA = 0.33 AC	AREA = 1.22 AC	AREA = 0.73 AC	AREA = 0.71 AC	AREA = 0.23 AC	AREA = 0.81 AC	AREA = 1.55 AC	
EXISTING ZONING													
PROPOSED ZONING													
BLDG. SIZE / FLD. DINING SEATS	3,000 SF / 100 SEATS	11,544 SF / NA	16,031 SF / NA	2,123 SF / 12 SEATS	6,547 SF / 81 SEATS & 1/200	4,100 SF / NA	4,715 SF / 120 SEATS	6,300 SF / 106 DL (#1/3)	4,355 SF / NA	6,056 SF / NA	4,898 SF / NA	7,376 SF / NA	
FAR	0.2197	0.2197	0.2720	0.1913	0.1110	0.1913	0.0879	0.1017	0.1156	0.0774	0.1296	0.1896	
PROPOSED # OF STRUCTURES	1	1	1	1	1	1	1	1	1	1	1	1	
PROPOSED USE	RESTAURANT W/ DRIVE THRU	SHOP/RETAIL/CAFE/DRIVE THRU	DRUG STORE	RESTAURANT W/ DRIVE THRU	SHOP/RETAIL/FOOD OFFICE	SHOP/RETAIL/FOOD OFFICE	RESTAURANT W/ DRIVE THRU	FITNESS CENTER W/ 1/2 HART	SHOP/RETAIL/FOOD OFFICE	SHOP/RETAIL/FOOD OFFICE	SHOP/RETAIL/FOOD OFFICE	SHOP/RETAIL/FOOD OFFICE	
TOTAL PARKING PROVIDED	37 SPACES	57 SPACES	70 SPACES	20 SPACES	19 SPACES	27 SPACES	33 SPACES	27 SPACES	42 SPACES	60 SPACES	43 SPACES	68 SPACES	487 SPACES PROV.
TOTAL PARKING REQ. (INC. TRIPLE)	30 SPACES (1 PER 4 SEATS)	58 SPACES	70 SPACES	11 SPACES (1 PER 4 SEATS)	22 SPACES	27 SPACES	30 SPACES (1 PER 4 SEATS)	26 SPACES	43 SPACES	60 SPACES	43 SPACES	68 SPACES	487 SPACES REQ.
DIFFERENCE (+/-)	+7 SPACES	-1 SPACES	-5 SPACES	+7 SPACES	-3 SPACES	+4 SPACES	+3 SPACES	+1 SPACES	-1 SPACES	-1 SPACES	-1 SPACES	-1 SPACES	
HC PROVIDED	7 HC (INC. 3 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 3 VAN ACCESSIBLE)	1 HC (INC. VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 3 VAN ACCESSIBLE)	2 HC (INC. 3 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	38 HC SPACES PROV.
HC REQUIRED	7 HC SPACES	4 HC SPACES	4 HC SPACES	1 HC SPACES	4 HC SPACES	2 HC SPACES	2 HC SPACES	2 HC SPACES	4 HC SPACES	4 HC SPACES	4 HC SPACES	4 HC SPACES	38 HC SPACES REQ.
BKE SPACES PROVIDED	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	42 BKE SPACES PROV.
BKE SPACES REQUIRED	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	5 BKE SPACES	42 BKE SPACES REQ.
MOTORCYCLE SPACES PROVIDED	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	24 MOTORCYCLE SPACES PROV.
MOTORCYCLE SPACES REQUIRED	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	24 MOTORCYCLE SPACES REQ.
MAX. BUILDING HEIGHT	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	26' TO TOP OF PARAPET	

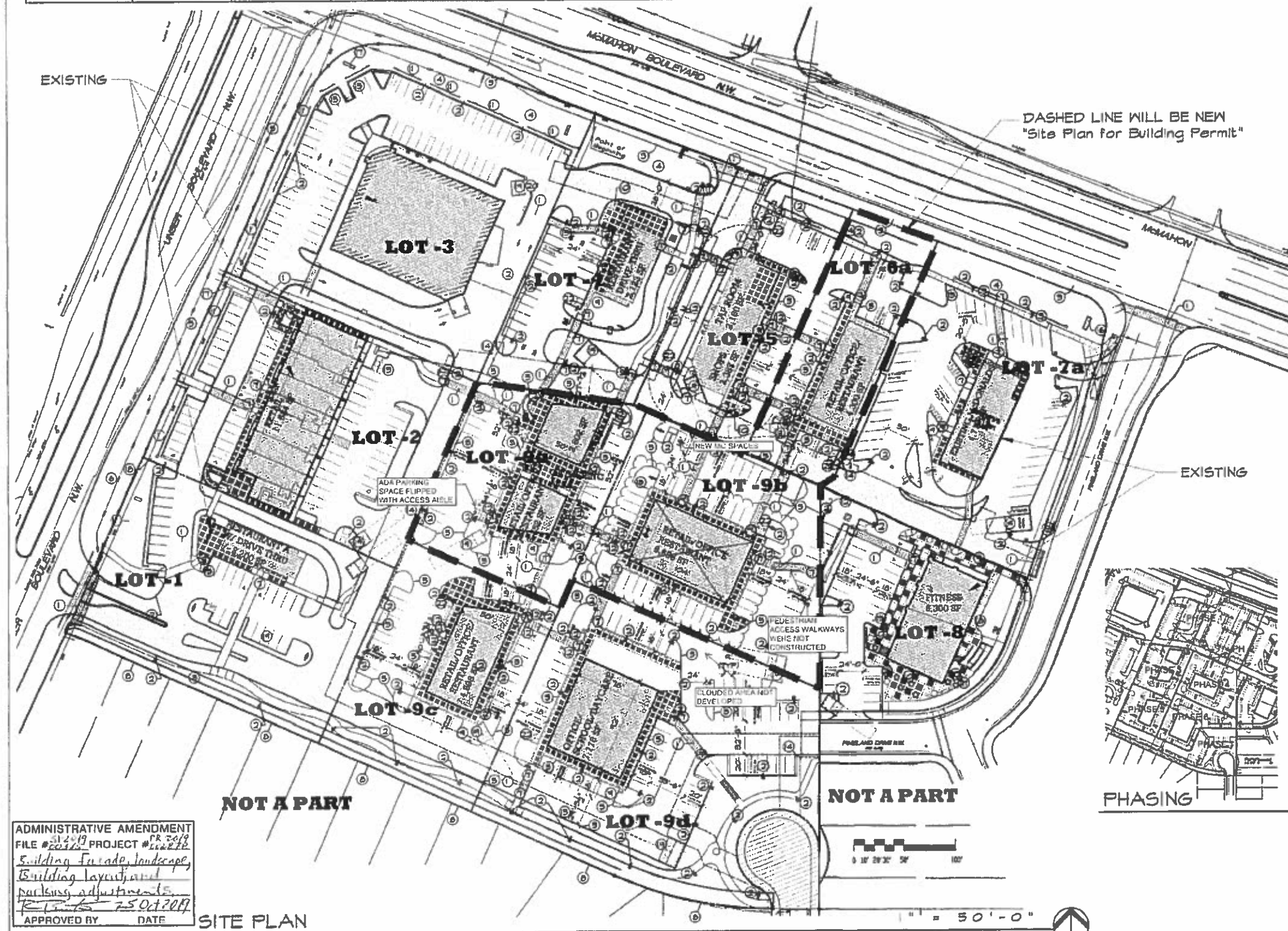


McMAHON MARKET PLACE
NEW SHELL BUILDING
5710 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN FOR BUILDING PERMIT
SITE PLAN

DATE: 21 SEP 2014
DRAWN BY: MFMS
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
A1.1
1 OF 10



PROJECT NUMBER:
Application Number:
Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

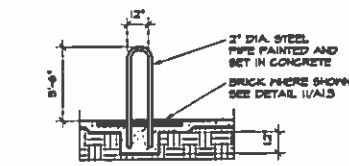
FOR SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
AS/CV/VA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

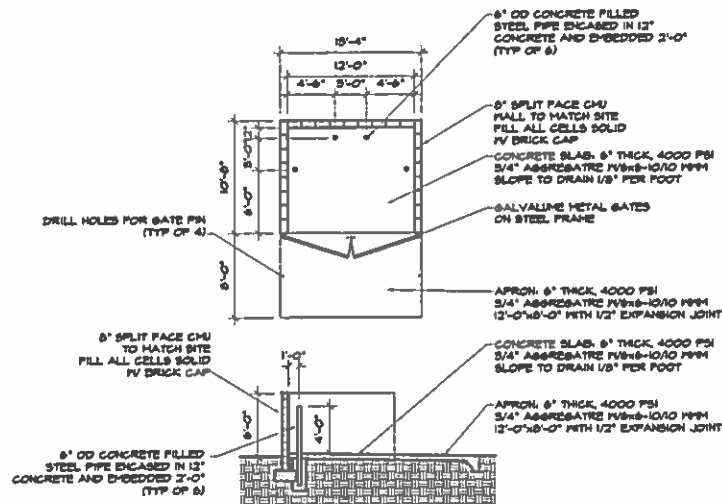
- KEYED NOTES**
1. 6" INTERNALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
 2. PROPOSED LIGHT POLE LOCATION RE. 3/A1.3 FOR POLE DETAIL
 3. EXISTING 6" SIDEWALK
 4. PROPOSED PONDING AREA (RE. CONCEPTUAL GRADING PLAN)
 5. CONCRETE CURB
 6. CONCRETE SIDEWALK, MAX. 2% CROSS SLOPE
 7. HANDICAP RAMP PER COA DMS 8244
 8. INDICATES EXISTING 6" HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R. ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR.
 9. INDICATES BIKE RACK LOCATION (4 BIKE CAPACITY)
 10. OUTDOOR DINING/SEATING AREA (RE. LOCATION FOR SIZE) 14' 6" LONG X 5' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
 11. PROPOSED 3'-0" HIGH 6" INTERNALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE. 14/A3.0 FOR DETAIL
 12. INDICATES ADA PARKING SPACE W/SIGNAGE, SEE A1.5
 13. PROPOSED 50' LANDSCAPE BUFFER 14' 6" PEDESTRIAN PATHWAY
 14. INDICATES PROPOSED FIRE HYDRANT LOCATION RE. UTILITY PLAN FOR INFO
 15. INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE. SITE PLAN FOR LOCATIONS
 16. NOT IN USE
 17. INDICATES SIGN TYPE B.
 18. HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED W/ SUPPLEMENTAL WATER HARVESTING SYSTEM
 19. INDICATES DUMPSTER LOCATION RE. DETAIL 2/A1.3 - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
NOTE: ENCLOSURE SHALL HATCH ADJACENT BUILDING COLOR
 20. INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
 21. INDICATES 18" HIGH BENCH LOCATION
 22. INDICATES MOTORCYCLE SPACE W/SIGNAGE - SEE SHEET A1.5

ADMINISTRATIVE AMENDMENT
FILE # 2014-0019 PROJECT # 14-0019
Building for landscape, landscape layout, parking adjustments
25 OCT 2014
APPROVED BY: DATE

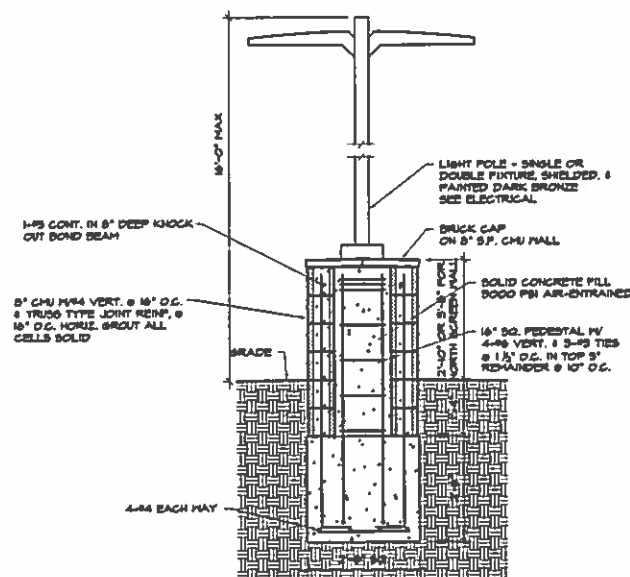
SITE PLAN



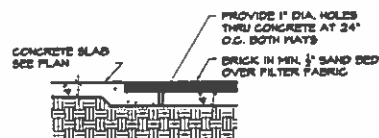
1 BICYCLE RACK
N.T.S. (TYP OF 2)



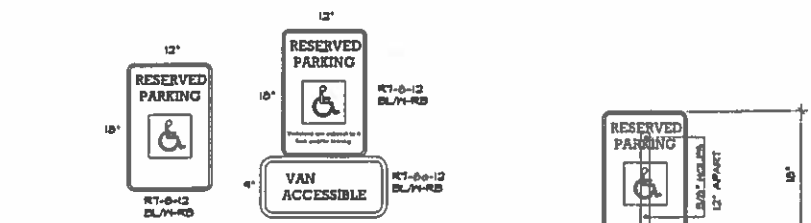
2 REFUSE ENCLOSURE
N.T.S.



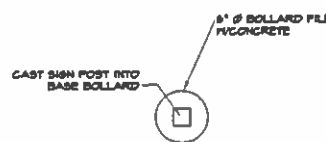
3 LIGHT POLE BASE
1/2" = 1'-0"



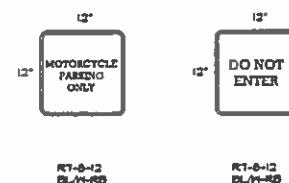
4 SIDEWALK BRICK DETAIL
1/2" = 1'-0"



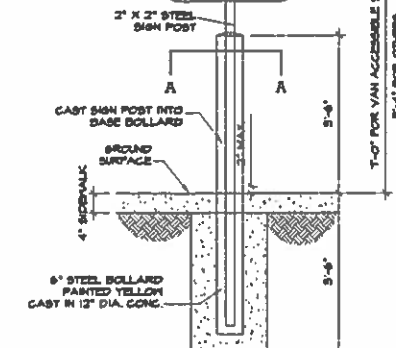
5 HANDICAP PARKING SIGNS
N.T.S.



6 SECTION A-A
N.T.S.



7 SIGN MOUNTING DETAIL
N.T.S.



8 SIGN MOUNTING DETAIL
N.T.S.

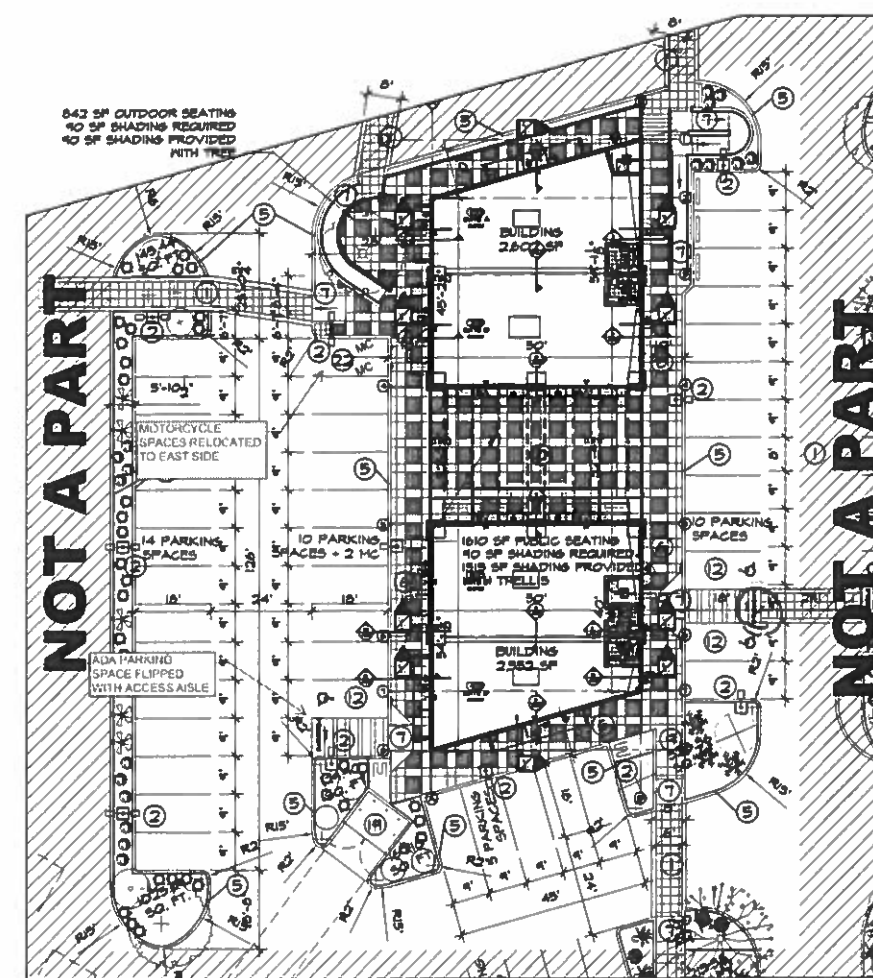


9 BUS ROUTE PLAN
N.T.S.

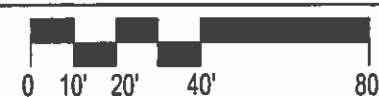
KEYED NOTES

- 1 6" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 5/A13 FOR POLE DETAIL
- 3 EXISTING 6" SIDEWALK
- 4 PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
- 5 6" CONCRETE CURB
- 6 CONCRETE SIDEWALK MAX 2% CROSS SLOPE
- 7 HANDICAP RAMP PER COA DWS 83441
- 8 INDICATES EXISTING 6" HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
- 9 INDICATES BIKE RACK LOCATION (4 BIKE CAPACITY)
- 10 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) 14' 6" LONG X 8' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
- 11 PROPOSED 5'-0" HIGH 6" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A3.0 FOR DETAIL

- 12 INDICATES ADJ. PK. SPACE, SEE A13
- 13 PROPOSED 5' 6" PEDESTRIAN PATHWAY
- 14 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR (UPD) 10/20/2019
- 15 INDICATES 2' 6" X 2' 6" BIKE CYCLE PARKING STALL LOCATION. SEE SITE PLAN FOR LOCATIONS
- 16 20' WATER UTILITY TRENCH
- 17 INDICATES SIGN TYPE B
- 18 HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED BY SUPPLEMENTAL WATER HARVESTING SYSTEM
- 19 INDICATES DUMPSTER LOCATION RE: DETAIL 2/A13 - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- 20 INDICATES DUMPSTER LOCATION RE: DETAIL 2/A13 - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- 21 INDICATES 18" HIGH BENCH LOCATION
- 22 INDICATES MOTORCYCLE SPACE IN SIGNAGE SEE A13



SITE PLAN



McMAHON MARKET PLACE
NEW SHELL BUILDING
5750 McMAHON BLVD NW
ALBUQUERQUE, NM 87114

SITE PLAN FOR BUILDING PERMIT

LOT
9a

DATE: 1 AUG 2019
DRAWN BY: MFMS
CHECKED BY:
VERIFIED BY:

REVISIONS
5 OCT 2019

SHEET NO:
A1.2

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



MARTIN M. GRUMMER
ARCHITECT
1310 KELLEY PLACE NE
ALBUQUERQUE, NM 87106-5705
(505) 262-2527

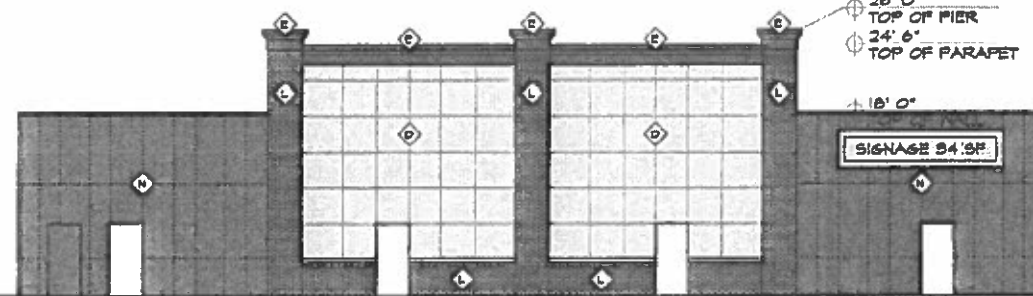




NORTH ELEVATION

SIGNAGE: 43 SF OF 774 SF FACADE = 5.56%

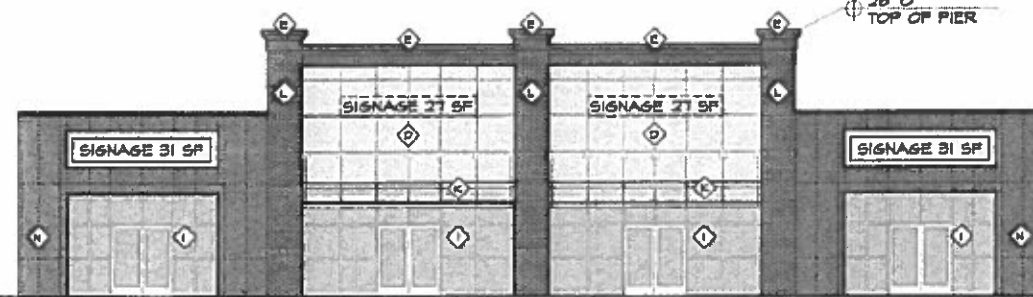
1/8" = 1' - 0"



EAST ELEVATION

SIGNAGE: 34 SF OF 2127 SF FACADE = 1.59%

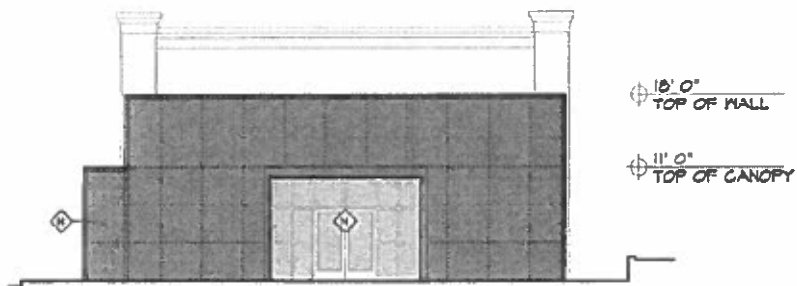
1/8" = 1' - 0"



WEST ELEVATION

SIGNAGE: 116 SF OF 2127 SF FACADE = 5.45%

1/8" = 1' - 0"



SOUTH ELEVATION

1/8" = 1' - 0"



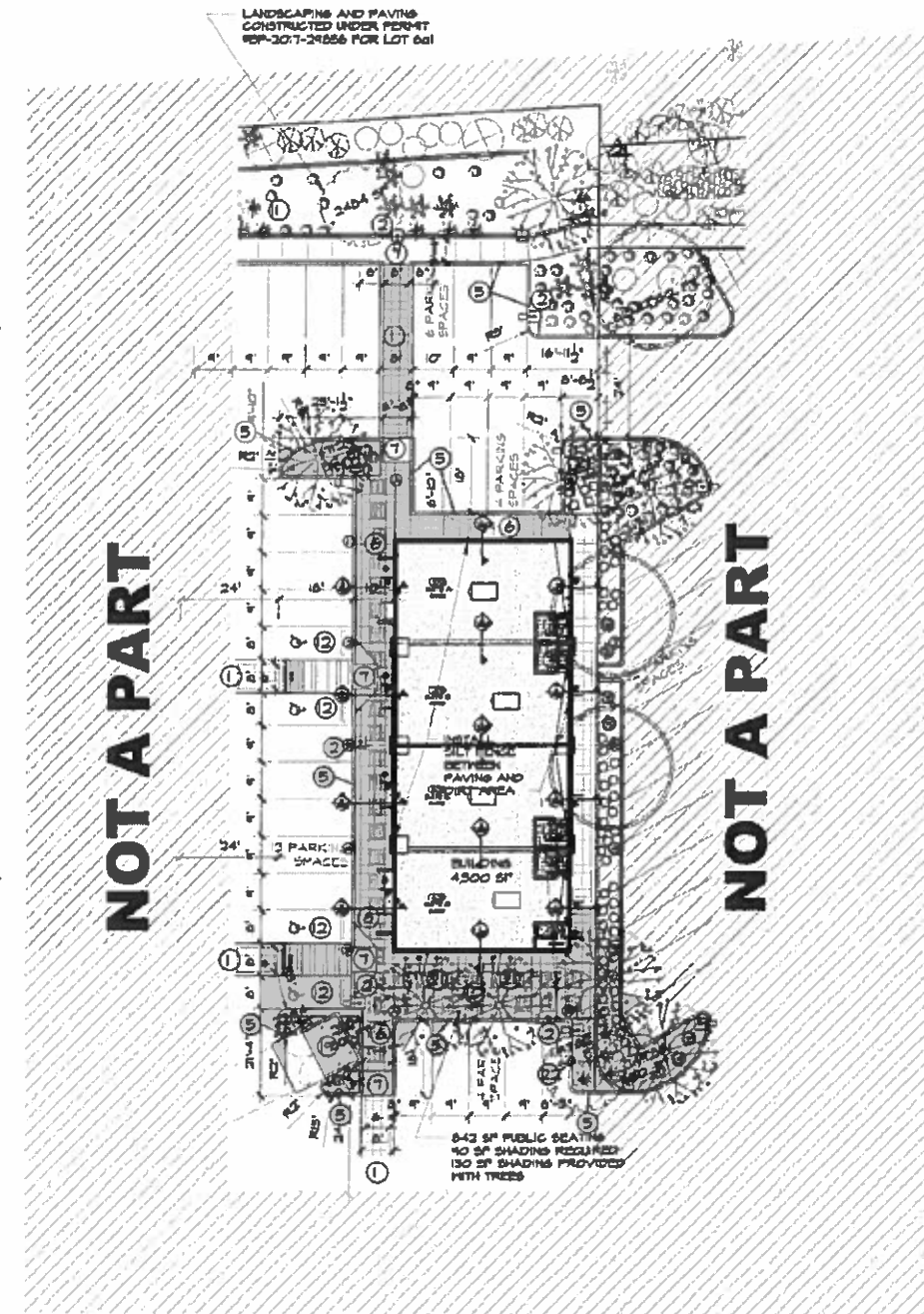
KEYED NOTES

- ① 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- ② PROPOSED LIGHT POLE LOCATION RE: S/A/S FOR POLE DETAIL
- ③ EXISTING 6' SIDEWALK
- ④ PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
- ⑤ 6" CONCRETE CURB
- ⑥ CONCRETE SIDEWALK, MAX. 2% CROSS SLOPE
- ⑦ HANDICAP RAMP PER COA DMS #2441
- ⑧ INDICATES EXISTING 6' HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA. COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
- ⑨ INDICATES BIKE RACK LOCATION (1 BIKE CAPACITY)
- ⑩ OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) 14' 8" LONG X 5' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
- ⑪ PROPOSED 5'-0" HIGH 8" INTEGRALLY COLORED SPILT-FACED CMU BLOCK SCREEN WALL (TAN/TRED COLOR) RE: 14/15.0 FOR DETAIL
- ⑫ INDICATES ADA PARKING SPACE (V/SIGNAGE, SEE A15)
- ⑬ PROPOSED 30' LANDSCAPE BUFFER 14' 8" PEDESTRIAN PATHWAY
- ⑭ INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- ⑮ INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- ⑯ 20' WATER UTILITY EASEMENT
- ⑰ INDICATES SIGN TYPE B.
- ⑱ HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED 14' SUPPLEMENTAL WATER HARVESTING SYSTEM
- ⑲ INDICATES DUMPSTER LOCATION RE: DETAIL 2/A15 - INCLUDING SANITARY DRAIN FOR FOOD SERVICES. NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑳ INDICATES DUMPSTER LOCATION 14' RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- ㉑ INDICATES 18" HIGH BENCH LOCATION
- ㉒ INDICATES MOTORCYCLE SPACE (V/SIGNAGE - SEE A15)
- 24' 6" TOP OF PARAPET
- 18' 0" TOP OF WALL
- 10' 0" TOP OF STOREFRONT

KEYED COLOR / MATERIAL SCHEDULE
(FROM DESIGN STANDARDS)

▲ MALL FINISH COLOR	BENJAMIN MOORE #052 (DARK TAN)	NOT USED	▲ SIGNAGE	MATCH STUCCO COLOR D. PROVIDE PLYWOOD BACKING FOR SIGN
● MALL FINISH COLOR	BENJAMIN MOORE #451 (LIGHT TAN)	NOT USED	▲ STOREFRONT	CLEAR ANODIZED ALUMINUM (SILVER COLOR)
◊ MALL FINISH COLOR	SHERWIN WILLIAMS BASKET WEAVE SW 6143 (TAN COLOR)	NOT USED	▲ ROOF FINISH MATERIAL	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
◊ MALL FINISH COLOR	SHERWIN WILLIAMS POOL SKIN SW 6143 (LIGHT TAN COLOR)	STUCCO	▲ AWNING & FRAMING	SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL - SILVER GALVALUME OVER AWNING FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT
◊ MALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SW 6541 (TERRA-COTTA RED)	STUCCO	▲ BRICK	RED BRICK. FACE BLOCK COLOR BY OWNER
◊ MALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SW 7016 (GREY COLOR)	NOT USED	▲ AWNING FABRIC	SUNBELLA HEM-LOCK TREED #4603 AWNING FABRIC (DARK GREEN) NOT USED
◊ MALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SW 6446 (BLUE COLOR)	NOT USED	▲ CORTEN STEEL	CORTEN RUSTED STEEL

LANDSCAPING AND PAVING CONSTRUCTED UNDER PERMIT 10P-2017-24256 FOR LOT 6a1



SITE PLAN

1" = 20' - 0"



MARTIN PM GRUMMER
ARCHITECT
1300 KENNEDY PLACE NW
ALBUQUERQUE, NM 87114
(505) 263-1307



AA

McMAHON MARKET PLACE
NEW SHELL BUILDING
5710 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN & ELEVATION
SITE PLAN FOR BUILDING PERMIT

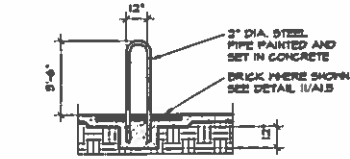
LOT 6a1

DATE	12 SEP 2019
DRAWN BY	MFMS
CHECKED BY	
VERIFIED BY	

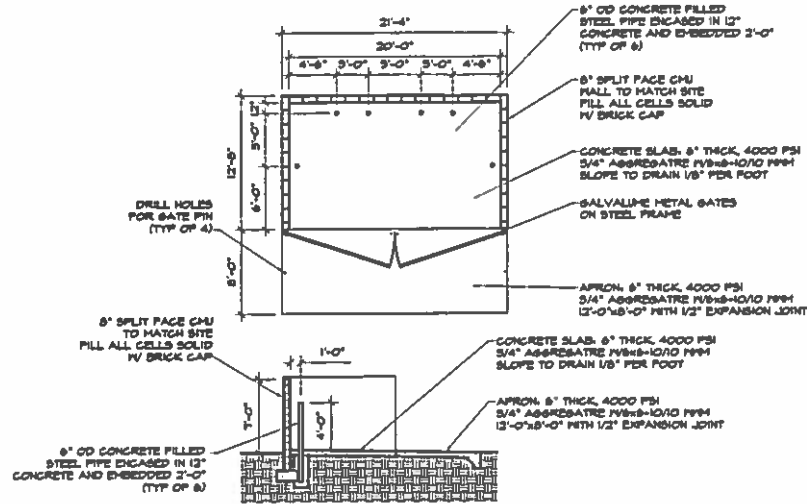
REVISIONS

SHEET NO:
A2.1
4 OF 10

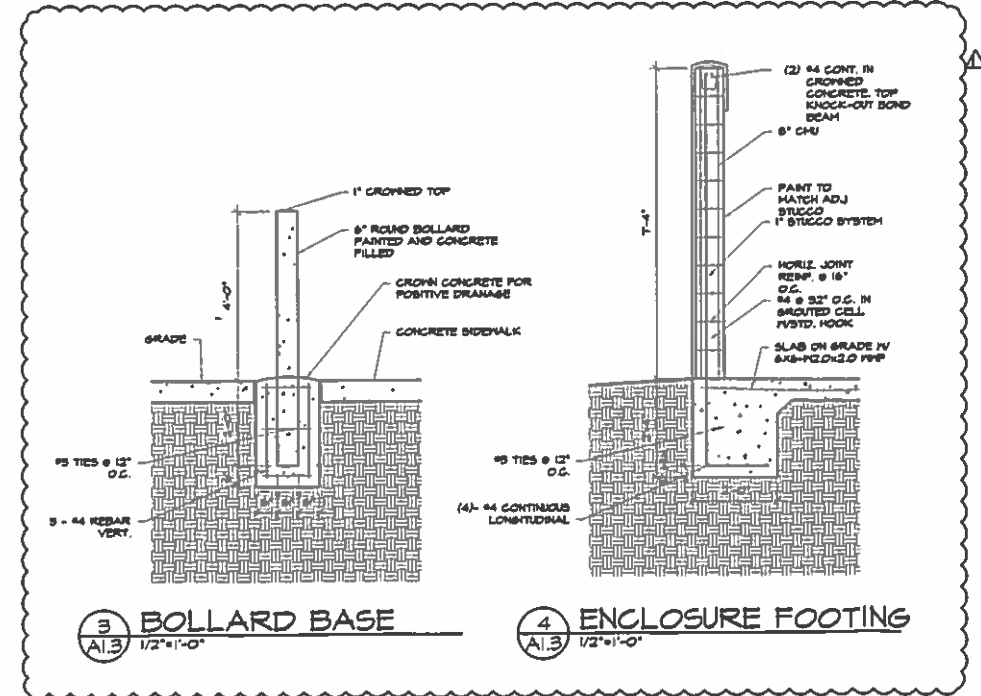
ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



1 BICYCLE RACK
A1.3 N.T.S. (TYP OF 2)

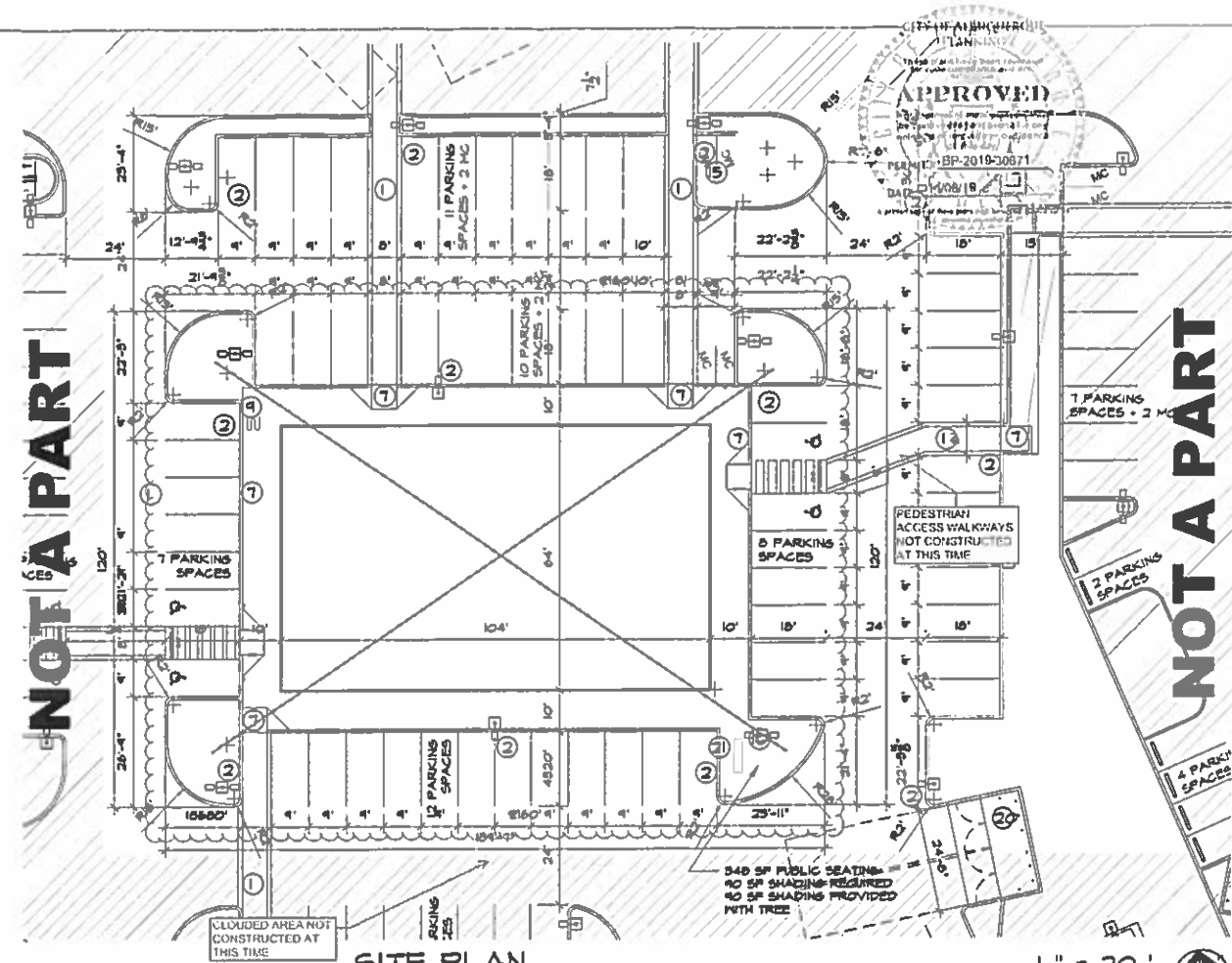


2 REFUSE ENCLOSURE
A1.3 N.T.S.



3 BOLLARD BASE
A1.3 1/2" = 1'-0"

4 ENCLOSURE FOOTING
A1.3 1/2" = 1'-0"



SITE PLAN

KEYED NOTES

- 1 INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 5/A/5 FOR POLE DETAIL
- 3 EXISTING 6" SIDEWALK
- 4 PROPOSED PONDING AREA (RE: CONCEPTUAL GRADING PLAN)
- 5 NOT USED
- 6 NOT USED
- 7 HANDICAP RAMP PER COA DMS 2441
- 8 INDICATES EXISTING 6" HIGH CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT GRADE OF R ZONE AREA COLOR OF WALL FACING COMMERCIAL DEVELOPMENT SHALL BE TAN IN COLOR
- 9 INDICATES BIKE RACK LOCATION (4 BIKE CAPACITY)
- 10 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE) 1/4" 8' LONG X 5' WIDE BENCH SHADED BY TRELLIS AND LANDSCAPING
- 11 PROPOSED 5'-0" HIGH 6" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 14/A/5.0 FOR DETAIL

- 12 INDICATES SMALL CAR PARKING SPACE (4' X 15'-6" TYP)
- 13 PROPOSED 50' LANDSCAPE BUFFER 1/4" 8' PEDESTRIAN PATHWAY
- 14 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 15 INDICATES PROPOSED 5' X 10' MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS
- 16 20' WATER UTILITY EASEMENT
- 17 INDICATES SIGN TYPE B.
- 18 HATCHED AREA INDICATES PROPOSED LANDSCAPE AREA TO BE WATERED 1/4" SUPPLEMENTAL WATER HARVESTING SYSTEM
- 19 INDICATES DUMPSTER LOCATION RE: DETAIL 2/A/5 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- 20 INDICATES DUMPSTER LOCATION 1/4" RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
- 21 INDICATES 18" HIGH BENCH LOCATION

KEYED COLOR / MATERIAL SCHEDULE

FROM DESIGN STANDARDS			
MALL FINISH COLOR	BENJAMIN MOORE #1092 (DARK TAN)	NOT USED	SIGNAGE MATCH STUCCO COLOR D PROVIDE PLYWOOD BACKING FOR SIGN
MALL FINISH COLOR	BENJAMIN MOORE #451 (LIGHT TAN)	NOT USED	STOREFRONT CLEAR ANODIZED ALUMINUM (SILVER COLOR)
MALL FINISH COLOR	SHERWIN WILLIAMS BASKET WEIS SM 6145 (TAN COLOR)	NOT USED	ROOF FINISH MATERIAL SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL
MALL FINISH COLOR	SHERWIN WILLIAMS MOOL SKIN SM 6146 (LIGHT TAN COLOR)	STUCCO	ANNING & FRAMING SILVER ARCHITECTURAL STANDING SEAM METAL ROOF MATERIAL - SILVER GALVALUME OVER ANNING FRAME (SEE STRUCT.) FRAME TO BE COLOR E - RED CENT
MALL FINISH COLOR	SHERWIN WILLIAMS RED CENT SM 6341 (TERRA-COTTA RED)	STUCCO	BRICK RED BRICK FACE BLOCK COLOR BY OWNER
MALL FINISH COLOR	SHERWIN WILLIAMS DOVETAIL SM 1018 (GREY COLOR)	NOT USED	ANNING FABRIC SUNBRELLA HEMLOCK THEED #4605 ANNING FABRIC (DARK GREEN) NOT USED
MALL FINISH COLOR	SHERWIN WILLIAMS OCEANSIDE SM 6446 (BLUE COLOR)	NOT USED	CORTEN STEEL CORTEN RUSTED STEEL



MARTIN F.M. GRUMMER
ARCHITECT
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(505) 262-1207



PETERSON
PROPERTIES

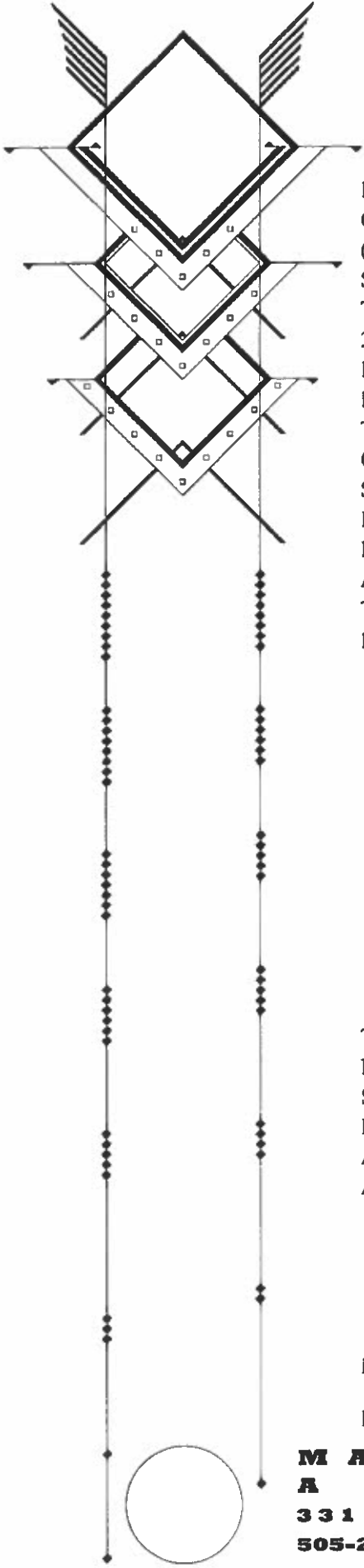
McMAHON MARKET PLACE
NEW SHELL BUILDING
5750 McMAHON BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN
SITE PLAN FOR BUILDING PERMIT

LOT
9b

DATE: AUG 2019
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS	
1	5 OCT 2019

SHEET NO:
A1.3



TRAFFIC CERTIFICATION

I, MARTIN GRUMMER, NMRA 2044, OF THE FIRM MARTIN GRUMMER - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT (McMAHON MARKETPLACE, LOT 9A AND PART OF LOT 9B) IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED AA PLAN DATED 27 SEP 2019 AND PERMIT DRAWINGS DATED 1 AUG 2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN GRUMMER OF THE FIRM MARTIN GRUMMER - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4 NOV 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

- THE MOTOR CYCLE PARKING STALLS HAVE BEEN RELOCATED TO THE EAST SIDE OF THE BUILDING
- THE BUILDING AND ADJACENT PARKING ON LOT 9B WAS NOT CONSTRUCTED AND WILL BE DONE ALONG WITH THE CONSTRUCTION OF BUILDING 9B IN THE FUTURE
- THE ADA PARKING SPACE ON THE SOUTH WEST CORNER OF BUILDING 9A HAS BEEN FLIPPED WITH THE ACCESS AISLE SO RAMP IS MORE ACCESSABLE TO BUILDING
- THE PEDESTRIAN ACCESS WALKWAYS TO BUILDING 9B HAVE NOT BEEN CONSTRUCTED AND WILL BE DONE ALONG WITH THE CONSTRUCTION OF BUILDING 9B IN THE FUTURE

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Martin FM Grummer

Date: 5 November 2020

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