

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 2, 2021

Fred Arfman, P.E.
Isaacson & Arfman, Inc.
128 Monroe St. NE
Albuquerque, NM 87108

**RE: McMahon Marketplace
5750 McMahon Blvd.
Permanent C.O. - Approved
Engineer's Certification Date: 1/5/21
Engineer's Stamp Date: 8/16/19
Hydrology File: A11D011I**

Dear Mr. Arfman:

PO Box 1293

Based on the revised certification received 1/7/21 and a site visit on 1/21/21, this certification is approved for Permanent Certificate of Occupancy.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

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Fred Arfman, P.E.
Isaacson & Arfman, Inc.
128 Monroe St. NE
Albuquerque, NM 87108

**RE: McMahon Marketplace
201 Unser Blvd. NW
Permanent C.O. - Approved
Engineer's Certification Date: 1/5/21
Engineer's Stamp Date: 8/16/19
Hydrology File: A11D011I**

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: McMahon Marketplace
Lot 9 Improvements Building Permit #: _____ Hydrology File #: A11D0111
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lots 9-A, 9-B, & Portions of 9-C and 9-D, McMahon Marketplace
City Address: _____

Applicant: Isaacson & Arfman, PA Contact: Fred C. Arfman or
Bryan J. Bobrick
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** freda@iacivil.com
bryanb@iacivil.com
Owner: JMD-McMahon, LLC Contact: Doug Peterson
Address: 2325 San Pedro Drive NE, Suite 2-A - Albuquerque, NM 87114
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

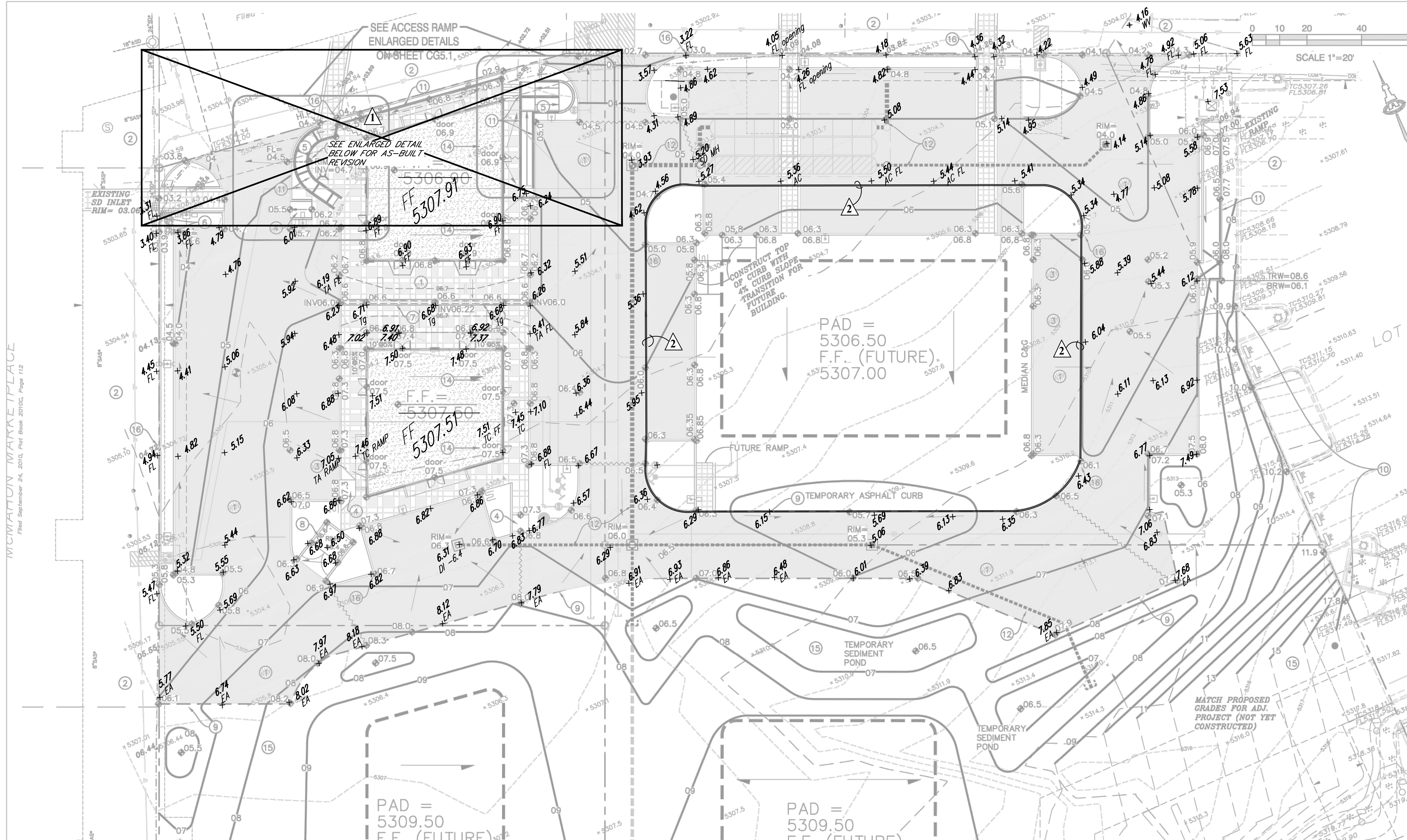
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: January 6, 2021 **By:** Fred C. Arfman

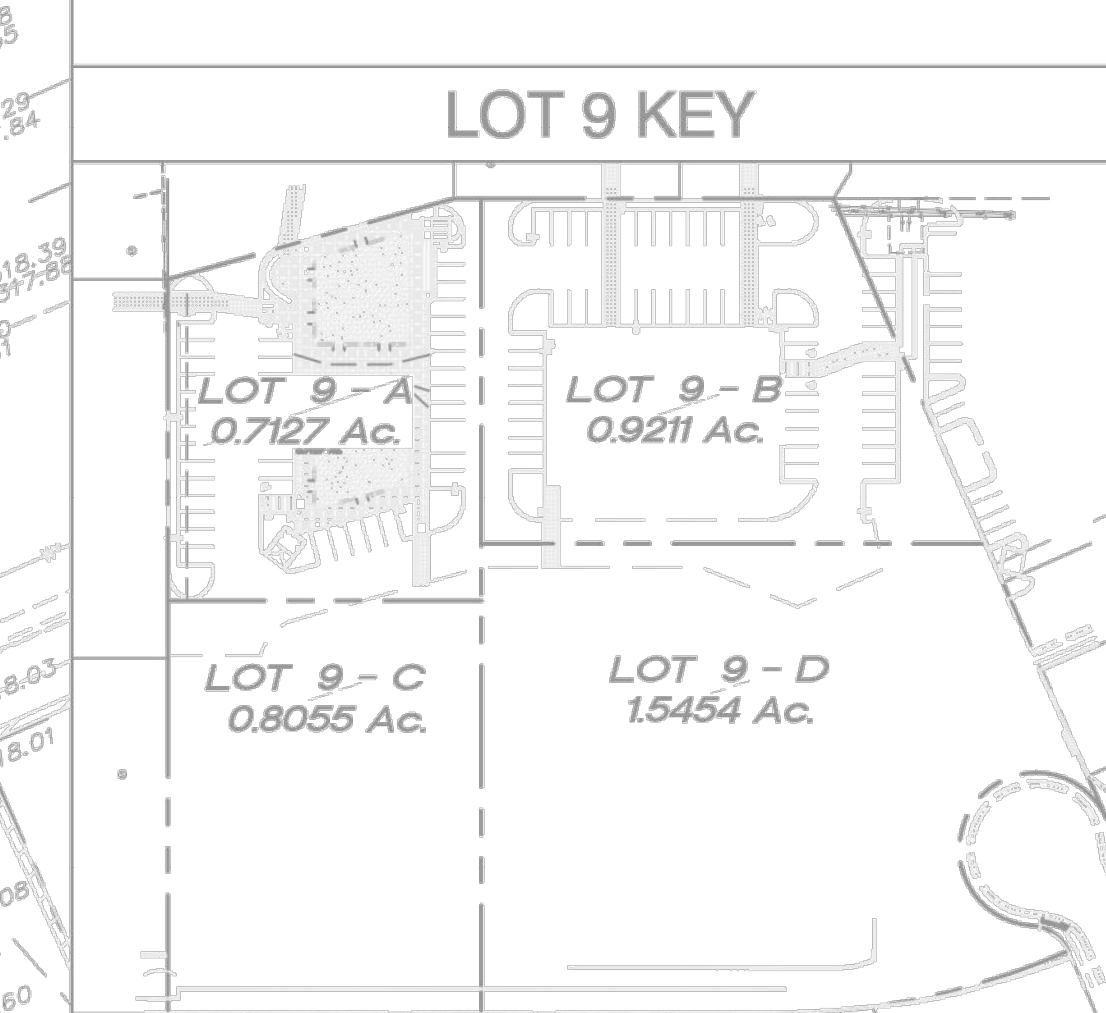
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- ### KEYED NOTES
- CONSTRUCT PAVING / WALKS / CROSSWALKS / CURB AND GUTTER TO ELEVATIONS SHOWN. SEE PAVING PLAN FOR PAVEMENT MATERIAL, EXTENTS, SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC. PROVIDE SMOOTH TRANSITION TO EXISTING.
 - EXISTING PAVING TO REMAIN. PROVIDE SMOOTH TRANSITIONS.
 - CONSTRUCT HC PARKING AREA TO ADA STANDARDS. TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - CONSTRUCT ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN. TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%). SEE ARCHITECTURAL.
 - CONSTRUCT ADA COMPLIANT RAMP WITH INTERMEDIATE LANDINGS AS SHOWN. SEE CG5.1 FOR ENLARGED DETAIL. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 - PROVIDE 2.0' WIDE CURB OPENING AT FLOWLINE ELEVATIONS SHOWN. INSTALL 1' DEEP ROCK EROSION PROTECTION TO EXTENTS SHOWN.
 - INSTALL 70 LF TRENCH DRAIN (ACO K100S WITH PEDESTRIAN RATED GRATE) WITH BUILT-IN SLOPE. TOP OF GRATE = 5306.8. INVERT HIGH POINT IN CENTER OF PATIO = 06.22. DISCHARGE TO PAVEMENT EACH SIDE. NOTE: 0.1' CONTOURS PROVIDED FOR ADDITIONAL GRADING INFORMATION.
 - CONSTRUCT NEW CONCRETE DUMPSER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL FLOOR DRAIN AT RIM ELEVATION SHOWN & EXTEND TO SANITARY SEWER GREASE TRAP (SEE UTILITY PLAN).
 - OWNER'S OPTION: CONSTRUCT TEMPORARY ASPHALT CURB AT PAVING LIMITS. SEE PAVING DETAILS.
 - CONTRACTOR TO PROTECT EXISTING RETAINING WALL CONSTRUCTED WITH LOT 8.
 - CONSTRUCT RETAINING WALLS TO ACHIEVE GRADE TRANSITIONS SHOWN. SEE ARCHITECTURAL FOR INFORMATION ON STRUCTURAL DESIGN, GUARDRAILS, ADDITIONAL WALL HEIGHT, CONSTRUCTION DETAILS, WEPPHOLES, ETC.
 - INSTALL PRIVATE STORM DRAIN SYSTEM. SEE CG5.2.
 - INSTALL 6" INLINE DRAIN WITH DOMED GRATE. EXTEND DRAINLINE BELOW RAMP TO DAYLIGHT THROUGH FACE OF CURB.
 - OWNER'S OPTION: EXTEND LOT 9A ROOF DISCHARGE PIPE EAST THROUGH FACE OF CURB -OR- PIPE DIRECTLY INTO EAST STORM DRAIN.
 - GRADE OFF-SITE AREA TEMPORARY SEDIMENT PONDS AT LOCATIONS SHOWN. OWNER'S OPTION: ROUGH GRADE LOTS 9C AND 9D, INCLUDING PADS, FOR FUTURE DEVELOPMENT. SAME OWNER.
 - TYPICAL SPOT ELEVATIONS IN PAVEMENT FLOWLINE REPRESENT FLOWLINE ELEVATION. ADD 0.5' FOR TOP OF ADJACENT CURB / WALK.



- ### LEGEND
- EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR (1' INCREMENT)
 - PROPOSED SPOT ELEVATION
 - AS-BUILT SPOTELEVATIONS
 - FLOW ARROW
 - F.F.=
 - FINISH FLOOR ELEVATION
 - PROPOSED GRADE BREAK
 - PROPOSED STORMWATER QUALITY RETENTION PONDING AREA
 - LIMITS OF EROSION CONTROL
 - PROPOSED STORM DRAIN

RAMP AND WALK SLOPE CRITERIA

- SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.
- ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaifirm.com
2311 CG.dwg Aug 28, 2019

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

MARTIN FM GRUMMER ARCHITECT
330 UNIVERSITY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

**McMAHON MARKET PLACE
LOT 9 IMPROVEMENTS
McMAHON BLVD NW
ALBUQUERQUE, NM 87114**

GRADING AND DRAINAGE PLAN 1 OF 2

FRED C. ARFMAN
NEW MEXICO
7322
08/16/19

DATE: **APRIL 2019**
DRAWN BY:
CHECKED BY:
VERIFIED BY:

REVISIONS

**SHEET NO:
CG1.1**

I, Fred C. Arfman, NMPE No. 7322 of the firm Isaacson & Arfman, Inc. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 08-16-19. The record information edited onto the original design document has been obtained by Brian Martinez, NMPS No. 18374 of the firm Cartesian Surveys. I further certify that I or a member of my firm under my direct supervision have visited the project site on 11-17-20 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent Certificate of Occupancy.

AREAS OF MODIFICATION BETWEEN APPROVED DRAINAGE GRADING PLAN AND ACTUAL AS-BUILT

- Ramp / stairs reconfigured - see insert @ bottom left
- No asphalt paved parking this area. Asphalt curb added at edge of aisle

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Fred C. Arfman
Fred C. Arfman, NMPE No. 7322
01/05/24
DATE

FRED C. ARFMAN
NEW MEXICO
7322
PROFESSIONAL ENGINEER

