

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 27, 2024

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: McMahon Market Place – Lot 9D
Grading & Drainage Plan
Engineer's Stamp Date: 09/09/2024
Hydrology File: A11D011K**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 09/10/2024, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of **\$ 8,648.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3362 or richardmartinez@cabq.gov.

Sincerely,

Richard Martinez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____

AUGUST 28, 2019

McMahon Marketplace Lot 9a and Lot 9b Drainage Study

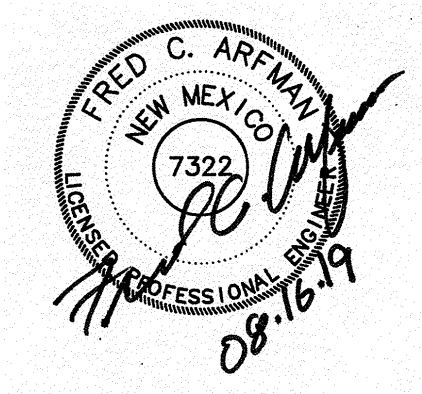
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 09/27/2024
BY: 
HydroTrans # A11D011K

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION OF ERROR OR DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

updated for
Lot 9c -
12-21-2023

supplemental
for Lot 9d -
09-09-2024



by



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

*Thomas O. Isaacson, PE(RET.) & LS(RET.)
Fred C. Arfman, PE
Åsa Nilsson-Weber, PE*

under construction

The McMahon Marketplace Drainage Management Plan (DMP) prepared by Bohannon-Huston, Inc., dated 05/07/10 limits the discharge from the entire 12.13 acre McMahon Marketplace property to 41.55 cfs. The image below shows the McMahon Marketplace DMP drainage basins B1 through B4 and the relationship between the Lot 9 limits (green) and the drainage basins.

proposed

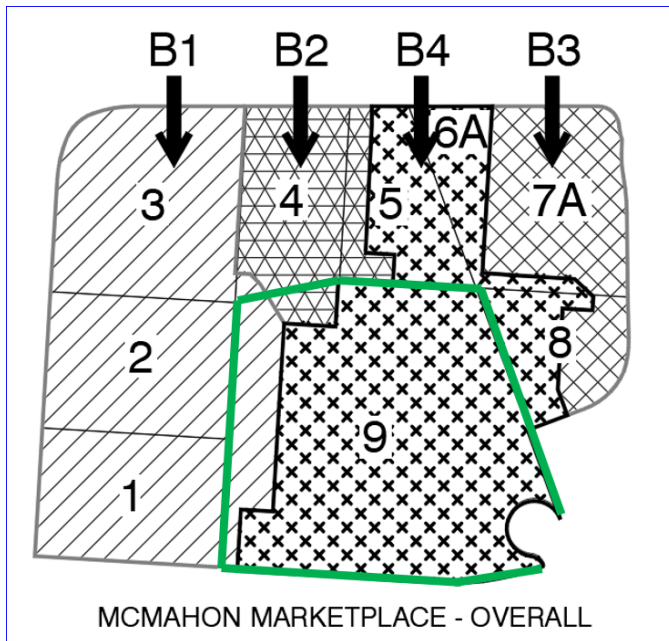
The McMahon Marketplace Lots 1 through 8 are now developed. Lot 9 (9A, 9B, 9C and 9D) will be the final acreage to be developed.

fully developed

A conceptual Grading and Drainage Plan for Lot 9 (CDG) prepared by Isaacson & Arfman, PA with stamp date 11/01/17 (COA Hydrology File A11/D011I) was approved for action by the DRB on the Site Plan for Building Permit.

This plan analyzed the fully developed discharge rates from Lots 1 through 8 and clarified the allowable discharge for the remaining Lot 9 sub-basins to limit the total discharge to the allowable rate of 41.55 cfs.

Per the CDG, Lot 9 is permitted to discharge flow as follows:



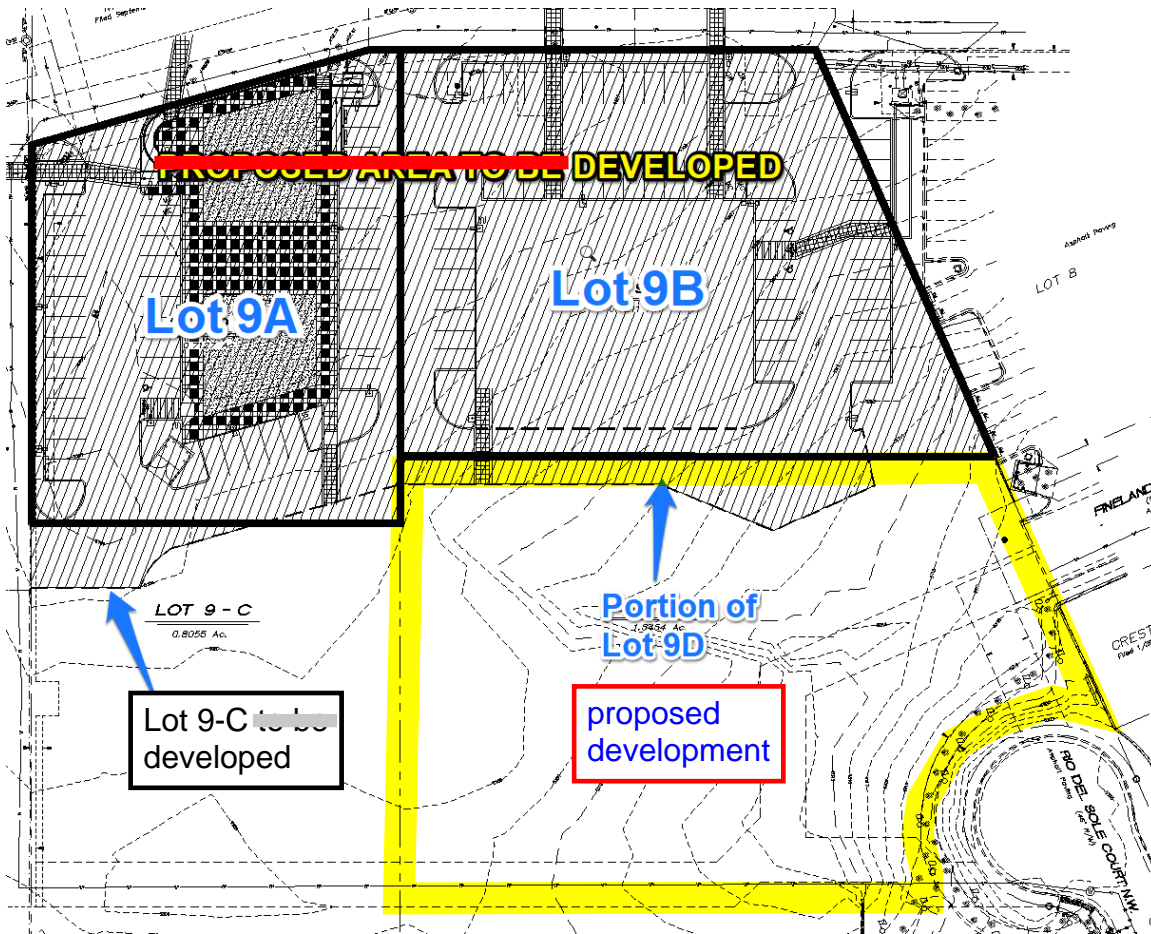
DMP B1: Free discharge to McMahon Blvd. Per the approved Lot 9 conceptual G&D plan and calculations, it was estimated that Lot 9 will discharge 2.8 cfs to DMP B1.

DMP B2: Free discharge to McMahon Blvd. Per the approved Lot 9 conceptual G&D plan and calculations, it was estimated that Lot 9 will discharge 0.1 cfs to DMP B2.

DMP B4: Detention required to limit fully developed discharge from Lot 9 to the Lot 5/6 Detention Pond to 10.9 cfs.

PROPOSED - FINAL LOT (9D) TO BE DEVELOPED

The proposed area to be developed with this project totals 1.76 acres or 44% of the total Lot D property. This includes 100% of 9A & 9B with small areas of access pavement on 9C & 9D.



Total stormwater quality retention required for the fully developed lot 9 properties (9a, 9b, 9c and 9d) = 4180 cf based on 85% total impervious area.

80%

3,935 CF

1003 cf of stormwater quality retention has been provided within the existing pond on lots 5/6a.

~~Therefore 3,177 cf will be required within lots 9a through 9d for fully developed conditions.~~

~~In the interim (proposed) condition, the partial development requires a total of 1,845 cf of stormwater quality storage. Subtracting the 1003 provided offsite, 842 cf of permanent retention volume is required.~~

1262 cf will be provided within the 24" gravel base of the stormtech chamber system. This addresses the required volume plus there will be an excess of 225 cf which will be utilized as the lot 9 properties continue to develop.

The stormwater quality volume required for the final buildout of Lot '9D' is based on the proposed land treatment 'D' of 38,170 sf. Per the approved master plan, SWQV is based on 0.34" for this property.

$$38,170 \text{ sf} \times 0.34" / 12 = 1,081 \text{ cf}$$

Due to site constraints, a Waiver for Fee-in-lieu is included with this submittal.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: _____ DATE: _____

DEVELOPMENT: _____

LOCATION: _____

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is _____ cubic feet

The provided volume is _____ cubic feet

The deficient volume is _____ cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperators existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This projects justification: _____

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ _____

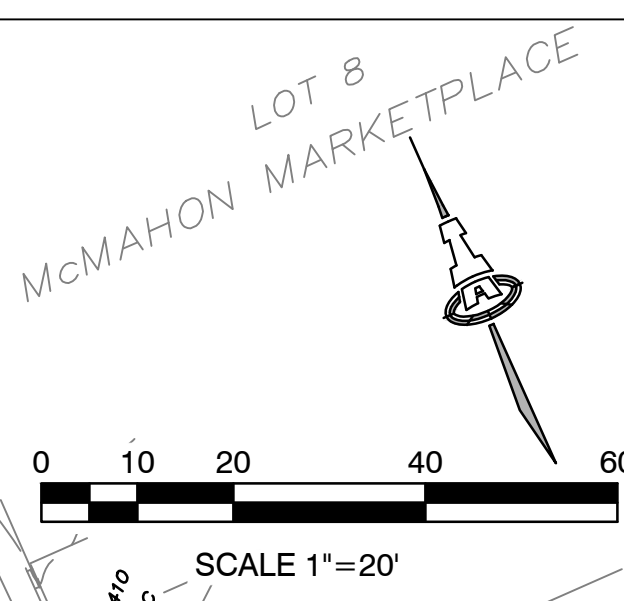
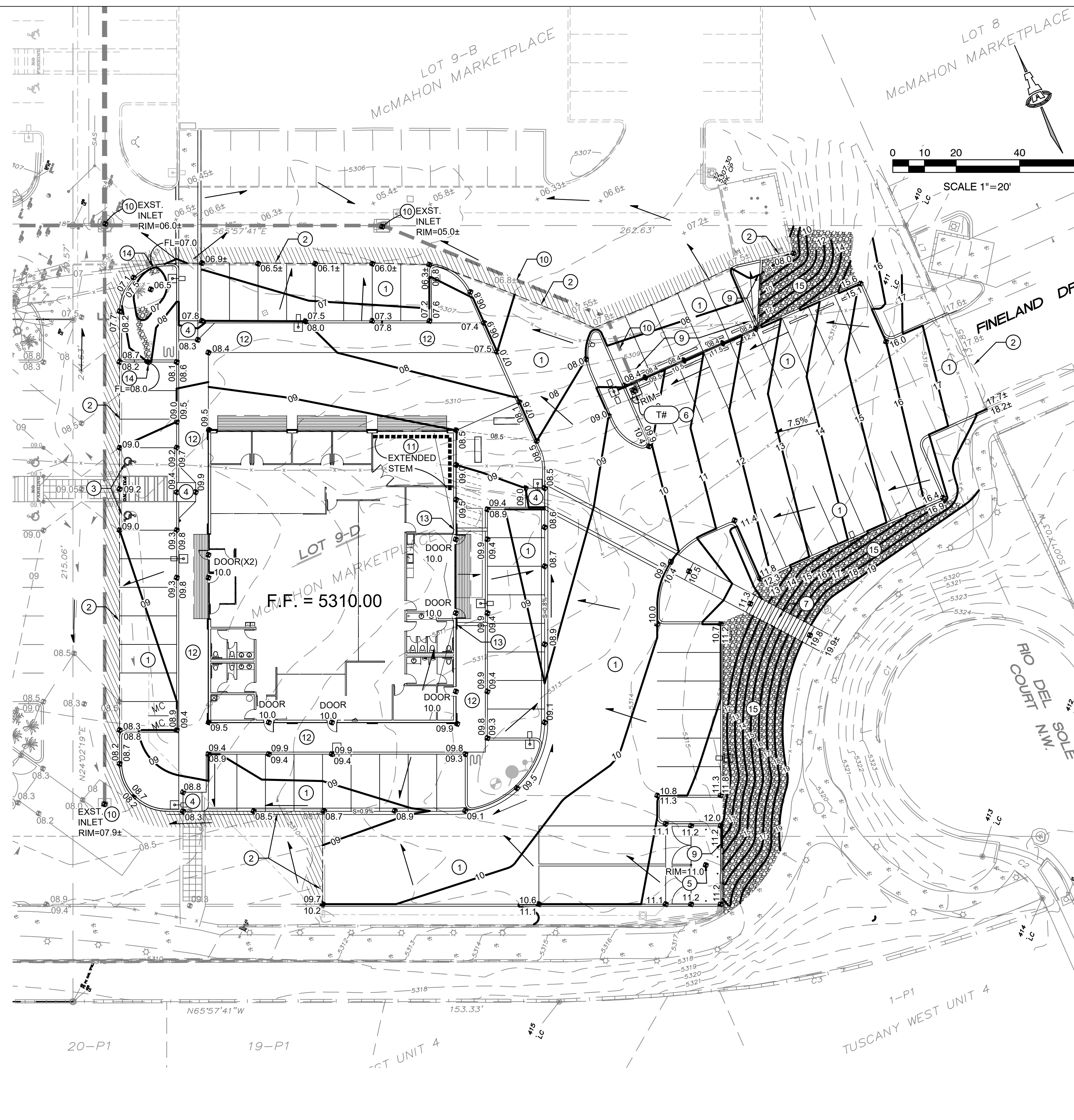
THIS SECTION IS FOR CITY USE ONLY

- Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

- Waiver is DENIED.



City of Albuquerque
Hydrology Section



KEYED NOTES

- PAVING / WALKS / CROSSWALKS / CURB AND GUTTER TO ELEVATIONS SHOWN. SEE PAVING PLAN FOR PAVEMENT MATERIAL, EXTENTS SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC. PROVIDE SMOOTH TRANSITION TO EXISTING.
- EXISTING PAVING TO REMAIN. PROVIDE SMOOTH TRANSITIONS.
- ADA COMPLIANT PARKING. SEE ADA COMPLIANCE NOTES THIS SHEET.
- ADA COMPLIANT CURB RAMP. SEE ADA COMPLIANCE NOTES THIS SHEET.
- CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL FLOOR DRAIN AT RIM ELEVATION SHOWN & EXTEND TO SANITARY SEWER GREASE TRAP (SEE UTILITY PLAN).
- NEW PRIVATE STORM DRAIN INLET. EXTEND TO EXISTING STUB PROVIDED. SEE STORM DRAIN NOTES THIS SHEET FOR ADDITIONAL INFORMATION.
- STAIRS/STEPS WITH HANDRAILS TO ACHIEVE REQUIRED GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS.
- RETAINING WALL (RETAINING 0'-4.0') TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, GUARDRAIL, REINFORCING, ETC.
- ROOF DISCHARGE TO 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT. CONSTRUCT PER C.O.A. STD. DWG. 2236.
- EXISTING STORM SEWER INFRASTRUCTURE.
- BUILDING EXTENDED STEM WALL TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL.
- ADA COMPLIANT PEDESTRIAN PATH. SEE ADA COMPLIANCE NOTES THIS SHEET.
- ROOF DISCHARGE TO 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT (MATCH GRATE ON ADJACENT BUILDINGS 9A-9C).
- 2.0' WIDE (BOTTOM WIDTH) CURB OPENING TO PASS FLOW INTO / OUT OF LANDSCAPE BASIN. PROVIDE EROSION PROTECTION TO LIMITS SHOWN.
- PROVIDE EROSION PROTECTION ON ALL SLOPES > 3:1. TYP. 4" AVG. DIA. (2'-6") AT 8" THICK OVER PERMANENT EROSION CONTROL MATERIAL. US 135 NON-WOVEN O.E.

STORM DRAIN LEGEND

- T#** 18" DIA. ADS INLINE DRAIN WITH LOCKING, 2'X2' ROAD AND HIGHWAY FRAME & GRATE (H-20 MIN.) AND 12" OUTLET. RIM=5309.1 INV (EXST)=5304.0±
- EXTEND 12"Ø ADS N-12WT STORM DRAIN MAIN (152 LF) TO EXISTING STUB PROVIDED. WATERTIGHT CONNECTION.

GENERAL NOTES

- INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.
- ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT.
- STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO ON A REGULAR BASIS AND AFTER EACH STORM EVENT.
- 0.1' AND 0.5' DESIGN CONTOURS SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
- GRADES SHOWN ARE FINAL SURFACE GRADES (TOP OF CONCRETE, TOP OF LANDSCAPE MATERIAL ETC.)

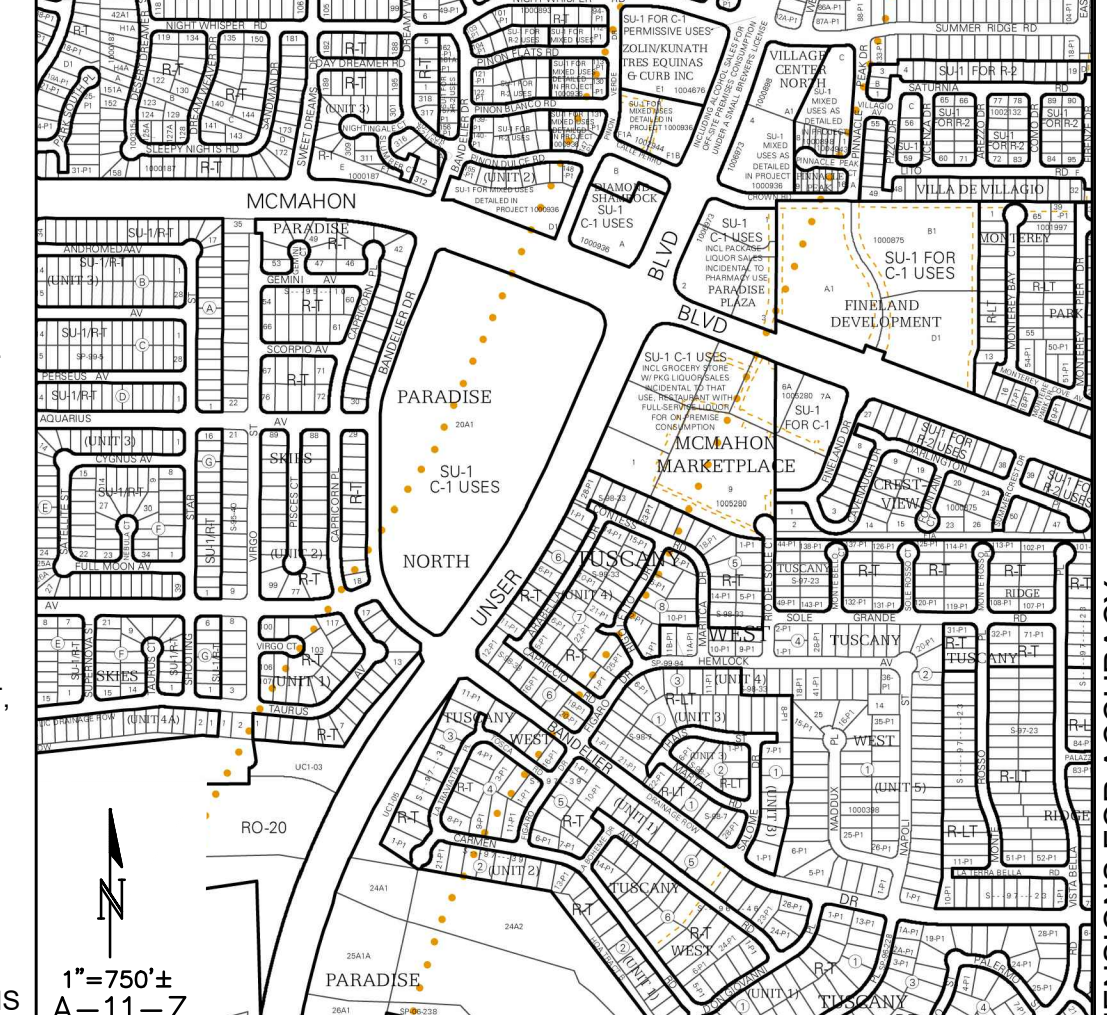
LEGEND

- +17.6± EXISTING SPOT ELEVATION
- 5309- EXISTING CONTOUR
- 08.2 PROPOSED SPOT ELEVATION
- FLOW ARROW
- F.F.=5310.0 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN
- PROPERTY BOUNDARY
- ANGULAR ROCK EROSION PROTECTION

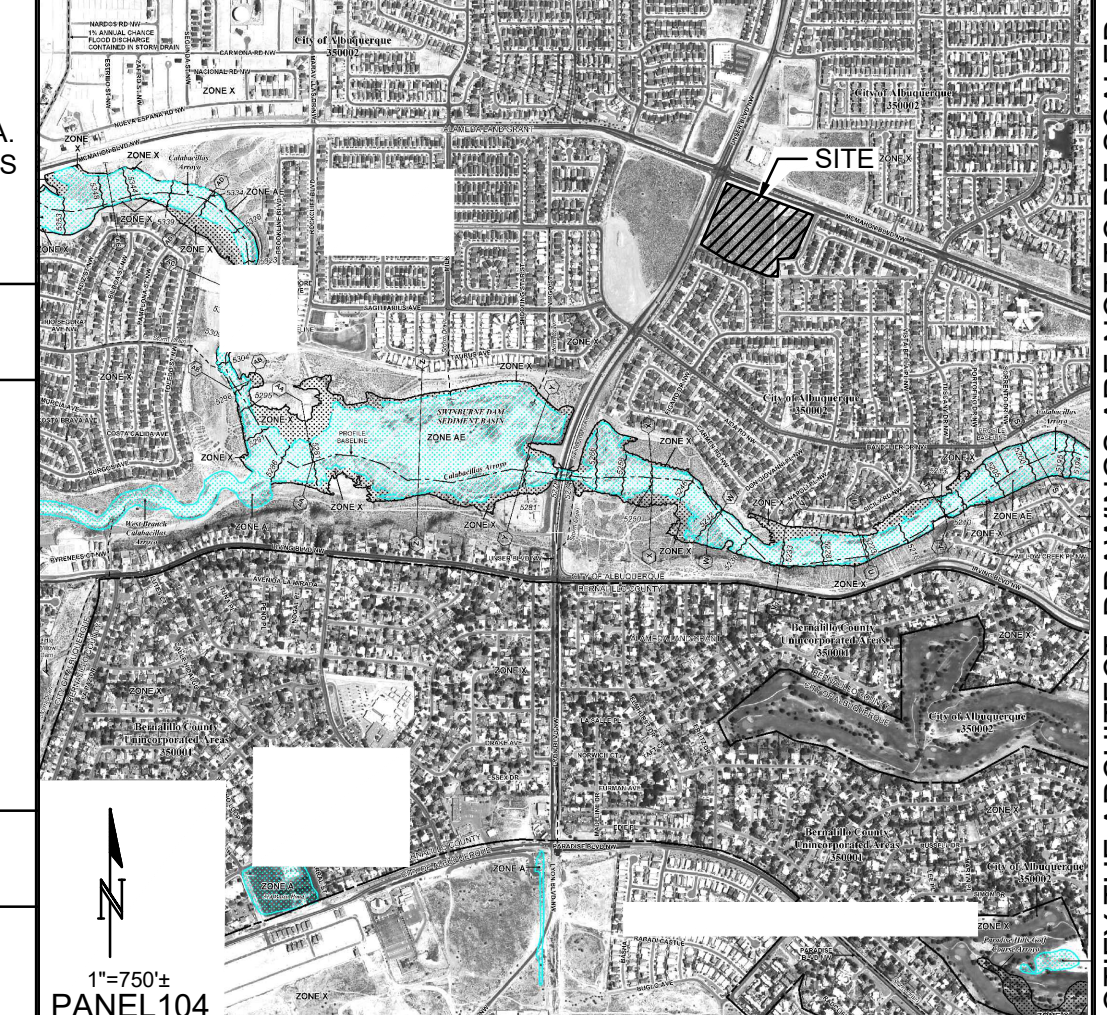
ADA COMPLIANCE NOTES

- SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.
- ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

VICINITY MAP



FIRM FLOOD MAP



PROJECT DATA

PROPERTY: THE SITE IS PARTIALLY DEVELOPED COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP A-11. THE SITE IS BOUND TO THE NORTH, EAST, SOUTH AND WEST BY MCMAHON MARKETPLACE DRIVES AND COMMERCIAL PROPERTIES. A PORTION OF THE ASPHALT PAVEMENT WAS PREVIOUSLY CONSTRUCTED WITH THE ADJACENT PROPERTY (9-C) DEVELOPMENT.

SITE AREA: 1.5454 ACRES

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A NEW COMMERCIAL BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING.

LEGAL: LOT 9-D, MCMAHON MARKETPLACE, CITY OF ALBUQUERQUE, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "9-A11". ELEVATION = 5301.647 (NAVD 1988)

OFF-SITE: NO OFFSITE FLOW WILL IMPACT THIS PROPERTY AS PROVIDED IN THE AMENDED DRAINAGE MANAGEMENT PLAN.

FLOOD HAZARD: PROPERTY IS LOCATED WITHIN ZONE X. DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS MAP NO. 35001C0104H, MAP REVISED AUGUST 16, 2012.

DRAINAGE PLAN CONCEPT: THE OVERALL LOT 9 PROPERTY (LOTS 9-A THROUGH 9-D) WILL DISCHARGE PER THE COA HYDROLOGY APPROVED CONCEPTUAL GRADINGS AND DRAINAGE PLAN FOR LOT 9. STAMP DATE: 11/01/17 PREPARED BY ISAACSON & ARFMAN PA (COA HYDROLOGY FILE A11/DO111) WHICH ADHERES TO THE WHOLE OF THE MCMAHON MARKETPLACE PROPERTY LIMITED TO 41.55 CFS PER THE APPROVED DRAINAGE MASTER PLAN. THE WEST PORTION OF THE PROPOSED PROPERTY FALLS WITHIN MASTER PLANNED BASINS B1 AND B2 (FREE DISCHARGE). EXISTING DETENTION PONDING IS PROVIDED FOR THE FULL DEVELOPMENT OF THE REMAINDER OF LOT 9 TO LIMIT THE ALLOWABLE DISCHARGE TO THE EXISTING DETENTION POND TO THE NORTH.

STORMWATER QUALITY

STORMWATER QUALITY RETENTION REQUIRED FOR THE FULLY DEVELOPED LOT 9 PROPERTIES (9A, 9B, 9C AND 9D) IS PROVIDED WITHIN THE EXISTING POND ON LOTS 5/6A (±1,003 CF), IN THE GRAVEL SUB-BASE OF THE PREVIOUSLY CONSTRUCTED STORMTECH CHAMBER SYSTEM ON LOT 9 (±1,087 CF) AND IN DEPRESSED LANDSCAPING THROUGHOUT THE PROPERTY.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
2698 CG-101.dwg Sep 06,2024

JULY 2024

MARTIN FM GRUMMER ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

PETERSON PROPERTIES

FRED C. ARFMAN
NEW MEXICO
7322
LICENSED PROFESSIONAL ENGINEER
9/9/2024

**MCMAHON MARKET PLACE
NEW SHELL BUILDING
5760 MCMAHON BLVD NW
ALBUQUERQUE, NM 87114
GRADING & DRAINAGE PLAN**

DATE: **September 09, 2024**

DRAWN BY: **EJB**

CHECKED BY: **FCA**

VERIFIED BY:

REVISIONS

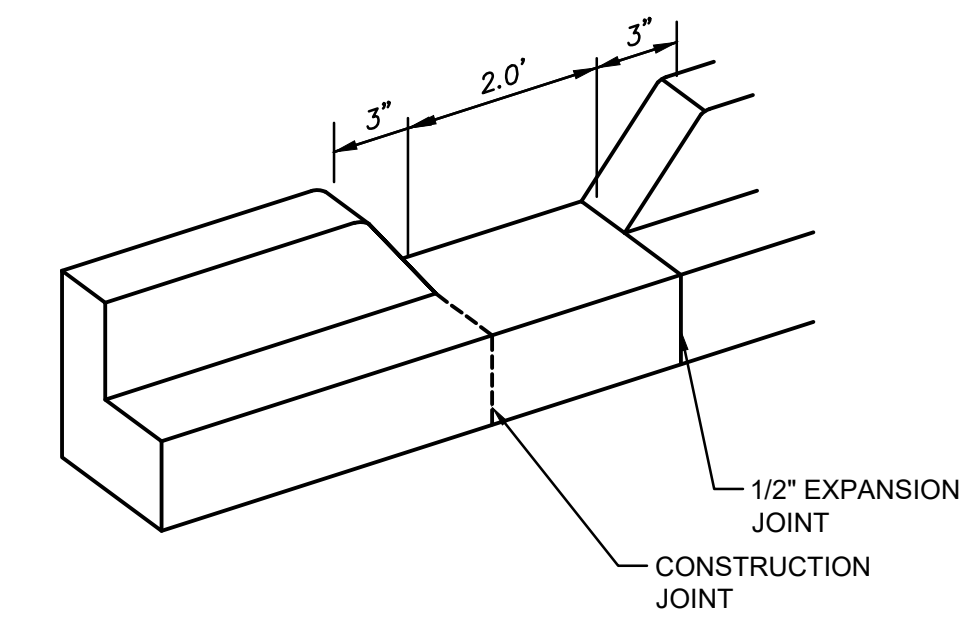
NO.	DESCRIPTION

SHEET NO:
2

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 09/27/2024
BY: *[Signature]*
HydroTrans # **A11D011K**

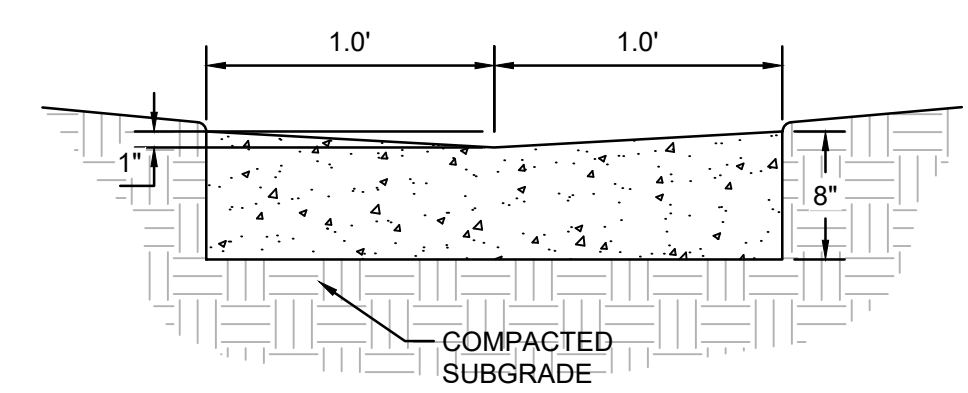
THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION, OR ERROR OR DIMENSIONS IN PLANS. SPECIFICATIONS OR CONDITIONS SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.



GENERAL NOTES

- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

CURB OPENING
SCALE: N.T.S.



GENERAL NOTES

- SEALED CONTROL JOINTS @ 4' MIN.
- FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

CONC. ALLEY GUTTER
SCALE: N.T.S.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.