

CITY OF ALBUQUERQUE



November 24, 2009

Timothy Gallup, Registered Architect
8086 S. Yale Ave., Box #27
Tulsa, OK 74136

**Re: Walgreens @ Paradise Plaza,
10800 Unser NW
Permanent Certificate of Occupancy – Transportation Development
Architect's Stamp dated 11-18-09 (A-11/D012)**

Dear Mr. Gallup,

Based upon the information provided in your submittal received 11-23-09,
Transportation Development has no objection to the issuance of a Permanent
Certificate of Occupancy (C.O.).

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

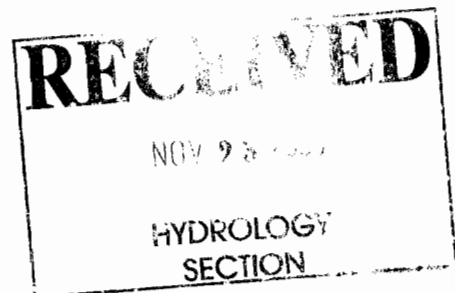
TRAFFIC CERTIFICATION

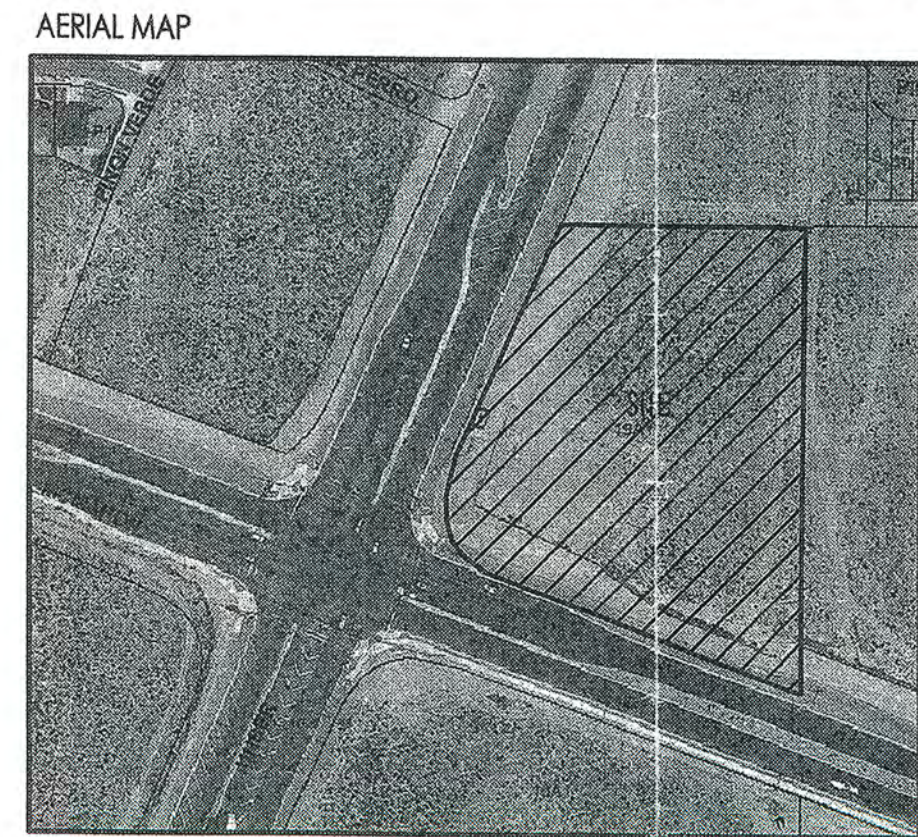
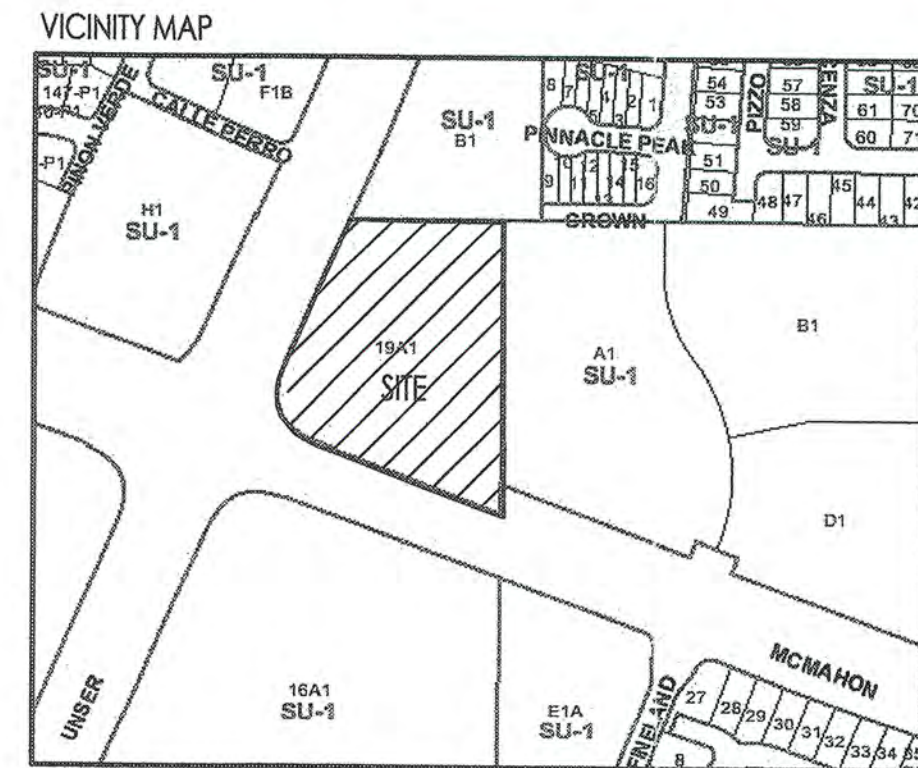
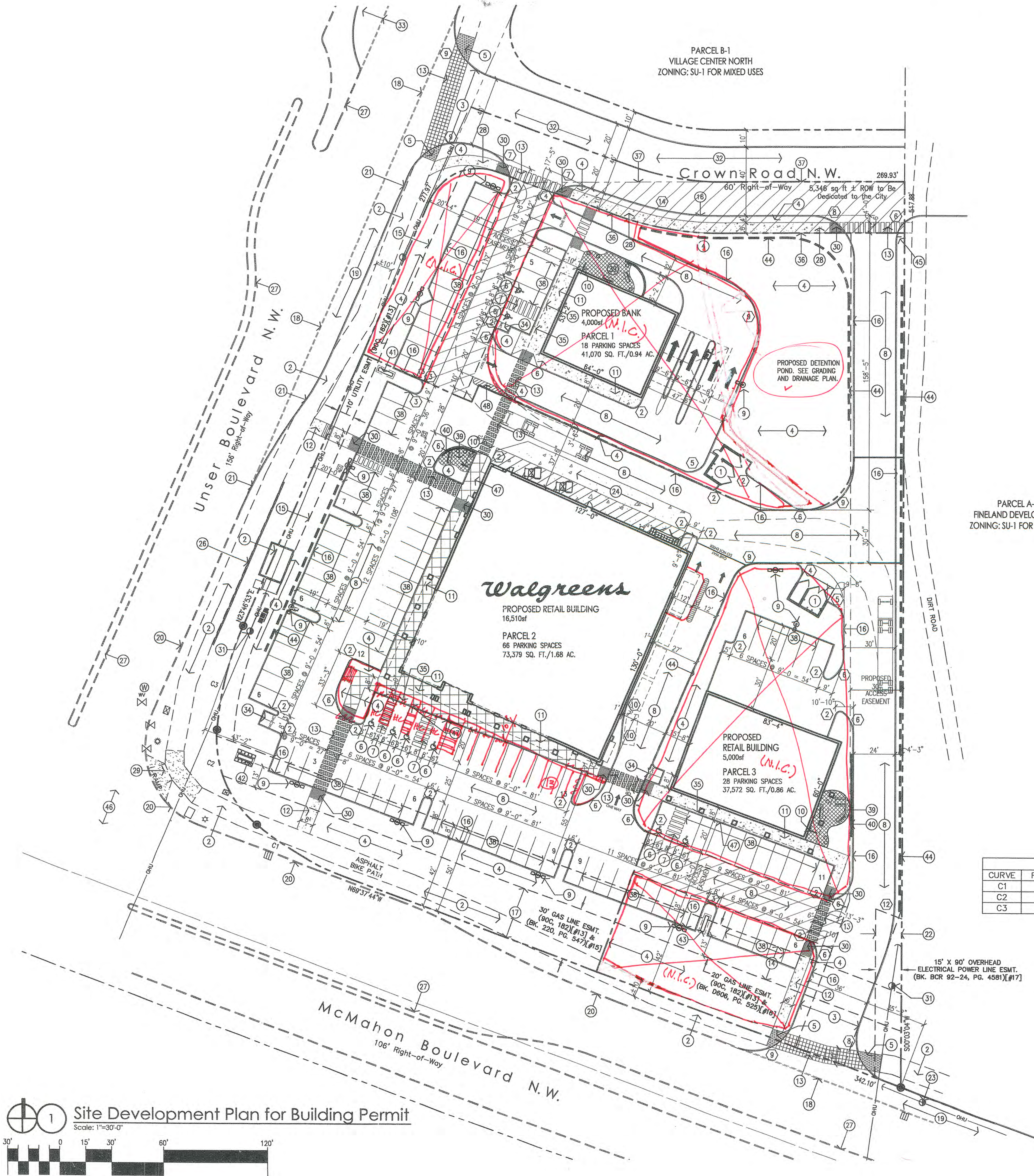
I, TIMOTHY M. GALLUP, *Architect of Record*, NMRA 3082, HERBY CERTIFY THAT THIS PROJECT HAS IN DESIGN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED AUGUST 20, 2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY M. GALLUP, *Architect of Record*. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 26, 2009 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTD IN SUPPORT OF A REQUEST FOR A PERMAMENT CERTIFICATE OF OCCUPANCY. I HAVE "REDLINED" ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AREAS AS N.I.C. THAT WERE NOT CONSTRUCTED AND OTHER MINOR CHANGES TO THE APPROVED PLAN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THE THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF IT ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Architect

11/18/09
Date





RADIUS INFORMATION:

1 = 2'-0"	7 = 20'-0"	13 = 105'-0"
2 = 3'-0"	8 = 25'-0"	14 = 160'-0"
3 = 4'-0"	9 = 30'-0"	
4 = 5'-0"	10 = 50'-0"	
5 = 10'-0"	11 = 75'-0"	
6 = 15'-0"	12 = 100'-0"	

- GENERAL NOTES:
- [A] DRIVE WAY DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE.
 - [B] ALL NEW DRIVEWAY CONSTRUCTION WILL BE TO CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS.
 - [C] REPLAT MUST BE A CONCURRENT DRB ACTION.
 - [D] REPLAT SHALL INCLUDE CROSS LOT ACCESS, UTILITY AND DRAINAGE AGREEMENT.

- SITE LIGHTING NOTES:
- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 - [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20 FEET.
 - [C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.

- AMENITIES NOTES:
- [A] PLAZA SPACE IS PROVIDED NEXT TO EACH OF THE THREE BUILDINGS AT PARADISE PLAZA ALONG A PEDESTRIAN PATHWAY. DECIDUOUS SHADE TREES ARE PROVIDED, ALONG WITH BENCHES, TABLES, AND OTHER ORNAMENTAL PLANTINGS.

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING
C1	180.00'	60.74'	19°20'03"	N59°57'43"W
C2	65.00'	62.01'	54°39'37"	N22°57'53"W
C3	180.00'	60.98'	19°24'38"	N14°04'15"E

ADMINISTRATIVE AMENDMENT

File #1006973

Revised parking, decrease bank bldg sq footage, reduce # of drive-up svc windows, increase landscape area, revised elevations.

APPROVED BY: [Signature] DATE: 20 Aug '08

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: TRACT 19-A-1, PARADISE NORTH SUBDIVISION

LAND AREA: 3.6064 ACRES

CURRENT ZONING: SU-1 FOR C-1 USES

PROPOSED ZONING: SU-1 FOR C-1 USES INCLUDING PACKAGE LIQUOR SALES INCIDENTAL TO A PHARMACY USE OCCUPYING NOT LESS THAN 14,000 SF.

ZONE ATLAS PAGE: A-11-Z

BUILDING AREA: PARCEL 1- 4,000sf
PARCEL 2- 16,510sf
PARCEL 3- 5,000sf
TOTAL AREA 25,510sf

PARKING CALCULATIONS: RETAIL: 25,510 SF/200= 128 SPACES
128 SPACES REQUIRED
114 SPACES PROVIDED*
(INCLUDING HANDICAP SPACES)

TOTAL HANDICAP SPACES REQUIRED: 8
TOTAL HANDICAP SPACES PROVIDED: 8

TOTAL MOTORCYCLE SPACES REQUIRED: 4
TOTAL MOTORCYCLE SPACES PROVIDED: 4

TOTAL BICYCLE SPACES REQUIRED: 7
TOTAL BICYCLE SPACES PROVIDED: 15

***NOTE:** THE NUMBER OF PARKING SPACES PROVIDED FOR THIS PROJECT IS APPROPRIATE, AS DETERMINED BY THE ENVIRONMENTAL PLANNING COMMISSION, DUE TO THE SITE BEING WITHIN A NEIGHBORHOOD CENTER AND MCMAHON BOULEVARD HAVING BEEN IDENTIFIED BY THE WESTSIDE/MCMAHON CORRIDOR TRANSPORTATION AND LAND USE GUIDE AS A TRANSIT CORRIDOR.

- KEYED NOTES:**
- [1] PROPOSED CMU DUMPSTER ENCLOSURE.
 - [2] EXISTING ASPHALT BIKE PATH TO REMAIN.
 - [3] PROPOSED CONCRETE CURB CUT 36" WIDE (STD. DWG. 2420) TO BE CONSTRUCTED TO COA STANDARDS.
 - [4] PROPOSED LANDSCAPING WITH DRIP IRRIGATION.
 - [5] PROPOSED CONCRETE HC RAMP WITH TRAUNTED DOMES (STD. DWG. 2440) CONSTRUCTED TO COA STANDARDS.
 - [6] PROPOSED HANDICAP PAVEMENT SIGN.
 - [7] PROPOSED HANDICAP AISLE STRIPING.
 - [8] PROPOSED ASPHALT CONCRETE PAVING.
 - [9] PROPOSED SITE LIGHT. SEE 7/SHEET 6.
 - [10] PROPOSED BIKE RACK WITH 5 SPACES.
 - [11] PROPOSED CONCRETE SIDEWALK.
 - [12] PROPOSED CONCRETE PEDESTRIAN CONNECTION TO CITY SIDEWALK.
 - [13] PROPOSED SCORED CONCRETE PEDESTRIAN CONNECTION.
 - [14] EXISTING 20' GAS LINE EASEMENT.
 - [15] EXISTING 10' PUBLIC UTILITY EASEMENT.
 - [16] PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
 - [17] EXISTING 30' GAS LINE EASEMENT.
 - [18] REMOVE EXISTING CITY CURB AND GUTTER FOR NEW CURB CUT.
 - [19] PROPOSED DECELERATION LANE.
 - [20] EXISTING CITY CURB TO REMAIN.
 - [21] NEW CONCRETE CURB & GUTTER TO COA STANDARDS (STD. DWG. 2415A). SEE GRADING AND DRAINAGE.
 - [22] EXISTING OVERHEAD ELECTRICAL POWER LINE EASEMENT.
 - [23] RELOCATED EXISTING POWER POLE FOR CONSTRUCTION OF NEW DECELERATION LANE.
 - [24] PROPOSED SURFACE LOADING AREA.
 - [25] EXISTING UTILITY VAULT TO REMAIN.
 - [26] EXISTING RETAINING WALL TO REMAIN.
 - [27] EXISTING CONCRETE MEDIAN TO REMAIN.
 - [28] PROPOSED 6" CONCRETE CITY SIDEWALK (STD. DWG. 2430).
 - [29] EXISTING HANDICAP RAMP TO REMAIN.
 - [30] PROPOSED HANDICAP RAMP.
 - [31] EXISTING UTILITY POLES TO REMAIN.
 - [32] PROPOSED CITY STREET TO BE CONSTRUCTED TO CITY OF ALBUQUERQUE STANDARDS. PAVEMENT WIDTH=40'-0". REMOVE EXISTING CURB AND GUTTER FOR CONSTRUCTION OF NEW MEDIAN PER CITY OF ALBUQUERQUE STANDARDS.
 - [33] PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE (4 REQUIRED, 4 PROVIDED).
 - [34] PROPOSED HANDICAP PARKING SIGNS. TYPICAL OF 6.
 - [35] PROPOSED NEW PROPERTY LINE.
 - [36] EXISTING PROPERTY LINE TO BE REMOVED.
 - [37] PAINTED PARKING STRIPING.
 - [38] STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING AND FLOWER POTS. SEE LANDSCAPING PLAN.
 - [39] 3'-0" HIGH CMU SCREEN WALL WITH STUCCO TO MATCH BUILDING COLOR.
 - [40] PROPOSED MONUMENT SIGN AT PARCEL 1 75 SF. TOTAL SEE 6/SHEET 5.
 - [41] PROPOSED MONUMENT SIGN AT PARCEL 2 75 SF. TOTAL SEE 6/SHEET 5.
 - [42] PROPOSED MONUMENT SIGN AT PARCEL 3 75 SF. TOTAL SEE 6/SHEET 5.
 - [43] SPLIT-FACE CMU RETAINING WALL. COLOR: TAN. HEIGHT VARIES FROM 24" TO 48" ABOVE GRADE. SEE CIVIL.
 - [44] PROPOSED STOP SIGN.
 - [45] EXISTING SIGNALIZED INTERSECTION TO REMAIN.
 - [46] THIS AREA OF CONCRETE TO BE FLUSH WITH PAVEMENT.
 - [47] PROPOSED PAINTED STRIPING.

ADMINISTRATIVE AMENDMENT:

THIS AMENDMENT CONSISTS OF ADDING PARKING SPACES IN FRONT OF THE WALGREENS BUILDING ON THE SOUTH SIDE, EXPANDING THE PARKING AREA 8 FEET INTO THE PNM GAS LINE EASEMENT TO THE SOUTH ALONG MCMAHON BOULEVARD, REDUCING THE SIZE OF THE BANK BUILDING AND THE NUMBER OF DRIVE-THRUS, AND INCREASING THE LANDSCAPE AREA ALONG THE EAST SIDE OF THE BANK TO ALLOW IT TO FUNCTION AS A ON-SITE DRAINAGE AREA. THE ROOF COLOR AND STUCCO COLOR OF THE WALGREENS AND RETAIL BUILDINGS HAVE ALSO BEEN CHANGED. THE BANK BUILDING ELEVATIONS HAVE NOT BEEN AMENDED. THEREFORE, THIS BUILDING SHALL REQUIRE APPROVAL BY THE PLANNING DIRECTOR AT A FUTURE DATE.

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