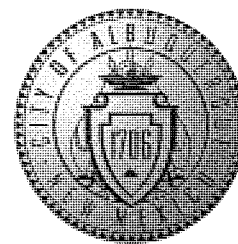


CITY OF ALBUQUERQUE



September 30, 2013

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson St. NE, Court I
Albuquerque, NM 87109

Re: Certification Submittal for Certificate of Occupancy for
Liberty Dialysis – Rio Rancho, 5751 McMahon Blvd. NW
Transportation Development
DRB Project Number 1009325 Certification Dated 09-25-13

Dear Mr. Balaskovits,

The Letter of Certification submitted on 09-26-13 is sufficient for acceptance by this office for a permanent certificate of occupancy (CO). This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

Sincerely,

New Mexico 87103

A handwritten signature in black ink, appearing to read "K. Metro", with a long, sweeping horizontal line extending to the right.

www.cabq.gov

Kristal Metro, P.E.
Principal Engineer, Planning Department
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Liberty Dialysis - Rio Rancho Building Permit #: _____ City Drainage #: A-11/D013
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Liberty Dialysis - Rio Rancho
City Address: NW corner of Unser Blvd & McMahon Blvd, Tract D-1

Engineering Firm: Bohannon Huston, Inc. Contact: Mike Balaskovits, P.E.
Address: 7500 Jefferson St NE
Phone#: 505-823-1000 Fax#: 505-798-7988 E-mail: mbalaskovits@bhinc.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Christopher Kidd & Associates, LLC Contact: Sarah Less
Address: N48W16550 Lisbon Road, Menomonee Falls, WI
Phone#: (262) 901-0505 Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: September 26, 2013

By: Michael Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

September 26, 2013

Kristal Metro P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification
Liberty Dialysis Rio Rancho (A-11)

Dear Kristal:

Enclosed for your review is the approved Site Plan dated 10/11/2012. I visited the site on 9/9/13 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan. As-built dimensions have been added to the pathway from the Bandelier Drive to the back of the building as requested. The additional discrepancies noted in the Planning Department Transportation Development Services Section letter, dated September 12th, 2013 have been addressed.

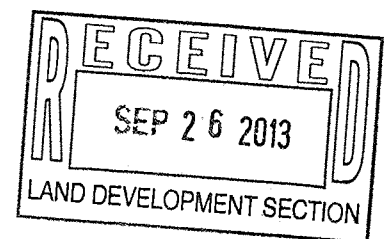
Your review and approval is requested for a Permanent Certificate of Occupancy for the project. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Michael J. Balaskovits, P.E.
Project Manager
Community Development & Planning

MJB/kcp
Enclosure



Engineering ▲
Spatial Data ▲
Advanced Technologies ▲

September 11, 2013

Nilo Salgado-Fernandez, P.E.
Transportation Development Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification
Liberty Dialysis Rio Rancho (A-11)

Dear Nilo:

Enclosed for your review is the approved Site Plan dated 10/11/2012. I visited the site on 9/9/13 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan.

Your review and approval is requested for a Permanent Certificate of Occupancy for the project. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



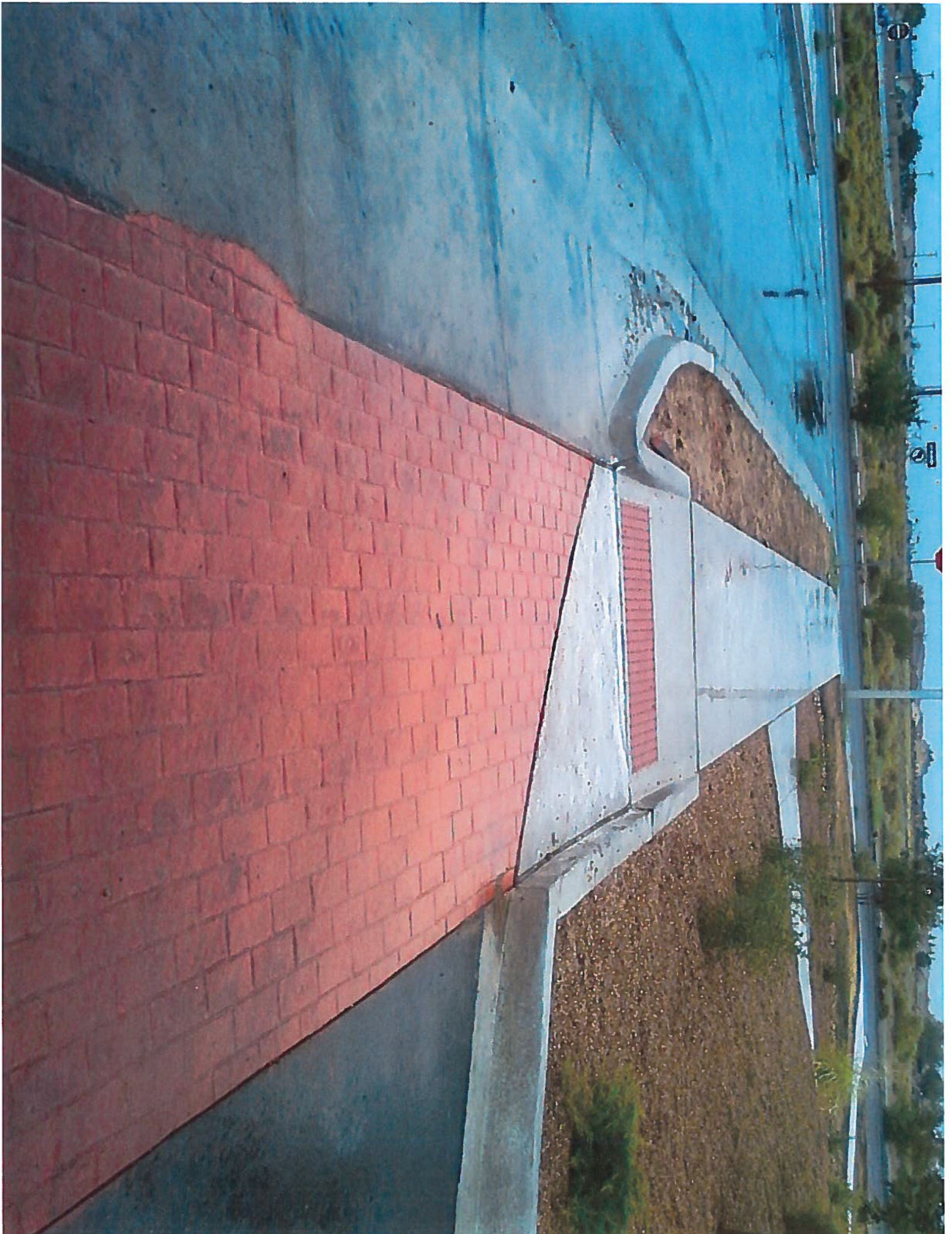
Michael J. Balaskovits, P.E.
Project Manager
Community Development & Planning

MJB/kcp
Enclosure

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



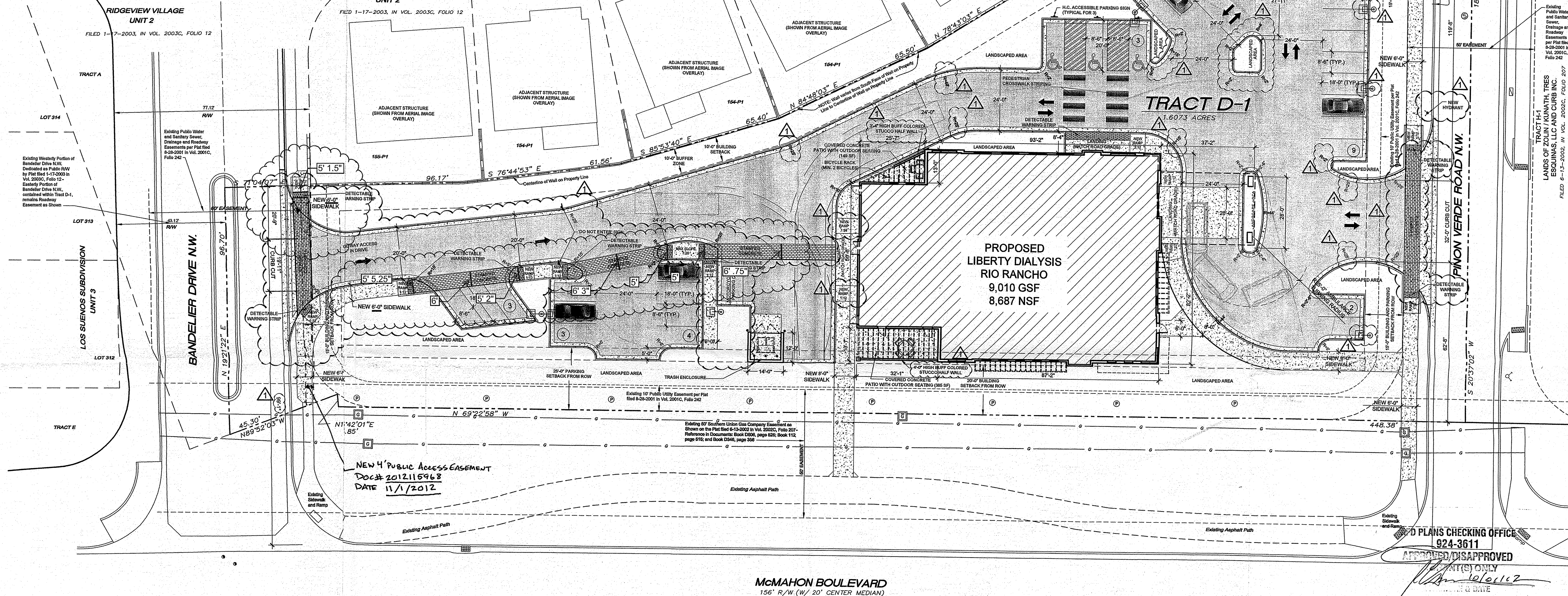


TRAFFIC CERTIFICATION

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON, INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 10-11-2012 WITH EXCEPTIONS AS NOTED BELOW. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 9, 2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MICHAEL J. BALASKOVITS, NMPE 18187
 9/25/13
 Date



McMAHON BOULEVARD
 156' R/W (W/ 20' CENTER MEDIAN)

GENERAL NOTES

- NEW PRIVATE ENTRANCE DRIVEWAYS AT AND HANDICAP RAMPS AT PINON VERDE AND BANDELER DRIVE TO BE CONSTRUCTED PER COA STANDARD DRAWINGS 2428.
- THIS PLAN IS PRELIMINARY IN NATURE. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ZONING AND PLAN REVIEW FEES AND APPLICATIONS SHALL BE VERIFIED WITH CITY.
- UTILITY PERMITS, TAP FEES AND STORM WATER FEES INCLUDING WATER MODEL CALCULATIONS SHALL BE VERIFIED WITH CITY.
- STORMWATER MANAGEMENT REQUIREMENTS SHALL BE VERIFIED WITH THE CITY ENGINEER - PER LOCAL DEVELOPERS - REGION'S CLIMATE IS ARID IN NATURE AND DUE TO LAND VALUES THE MINIMAL AMOUNT OF STORMWATER IS TYPICALLY COLLECTED IN UNDERGROUND STRUCTURES
- CURRENT STATUS WITHIN FLOOD PLAIN MUST BE VERIFIED WITH THE CITY.
- LANDSCAPING PLAN SHALL BE PREPARED BY A LANDSCAPE ARCHITECT LICENSED IN THE STATE OF NEW MEXICO.
- PUBLIC PLAZAS ARE NOT APPLICABLE TO TRACTS C & D (TRACTS C & D NOW KNOW AS TRACT D-1).

DRAWING LEGEND

- INDICATES EXISTING PROPERTY LINE
- INDICATES REQUIRED SETBACKS AND EASEMENTS
- INDICATES NEW CONCRETE SURFACE FOR PERMANENT USE
- INDICATES NEW ASPHALT SURFACE FOR PERMANENT USE
- INDICATES PEDESTRIAN OR ACCESSIBLE AISLE STRIPING
- INDICATES POLE MOUNTED CUTOFF PARKING LOT LIGHTING (LIGHT TO BE MOUNTED AT 18' ABOVE FINISHED GRADE)
- EXISTING GAS LINE MARKER
- EXISTING 2" VERTICAL UNCAPPED PVC PIPE
- EXISTING UNDERGROUND GAS LINE
- EXISTING HYDRANT
- NEW HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING OR NEW RAISED TRUNGED DOME MAT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DRAIN INLET
- EXISTING WALL

SITE SUMMARY

ZONING

SU-1 FOR MIXED USES PROJECT 1000936
 MEDICAL OFFICE IS ALLOWED

SURROUNDING ZONES:
 NORTH - R-T
 EAST - SU-1 (C-1 USES)
 SOUTH - SU-1 (C-1 USES)
 WEST - R-T

AREAS

LOT AREA: 61,751 S.F. OR 1.15 ACRES
 (EXCLUDES ROAD RIGHT-OF-WAY AND ROAD EASEMENTS, TOTAL LOT AREA INCLUSIVE OF RIGHT-OF-WAY AND ROAD EASEMENTS IS 1.61 ACRES)
 TOTAL BUILDING AREA: 9,010 G.S.F. (EXTERIOR OF BUILDING), 8,687 N.S.F. (INTERIOR SPACE)

PARKING

TOTAL PARKING REQUIRED PER CITY:
 MEDICAL OFFICE-CLINIC: SEE ATTACHED LETTER REGARDING LIBERTY DIALYSIS PARKING REQUIREMENTS

PROVIDED STANDARD STALLS : 28 (28)
 PROVIDED ACCESSIBLE STALLS : 3 (1 OF 8 MUST BE VAN)
 PROVIDED MOTORCYCLE STALLS : 2

TOTAL PARKING PROVIDED : 32 + 2 MOTORCYCLE

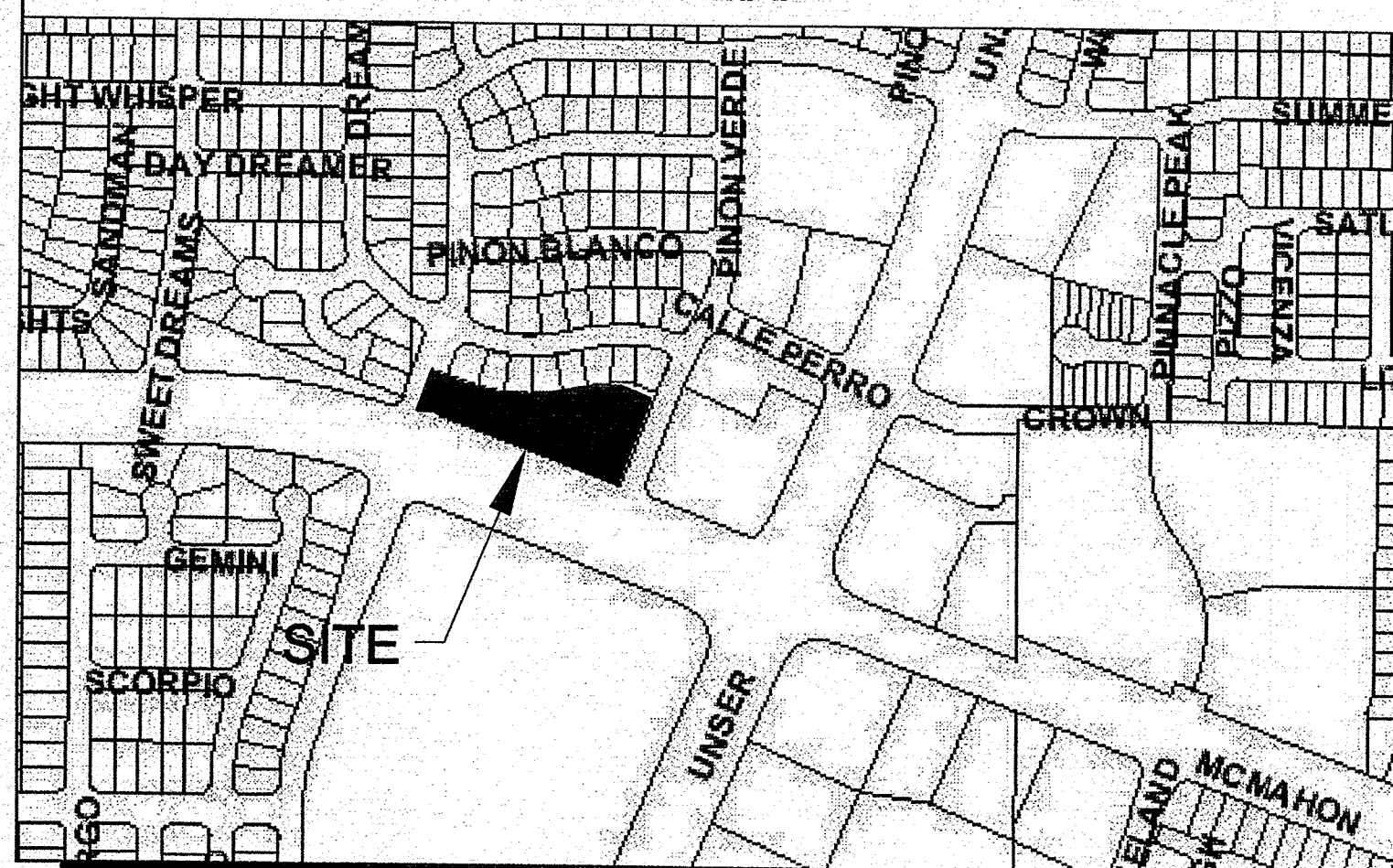
PARKING STALL SIZE PER CODE, 90° : 8'-6" W X 13'-0" L
 8'-6" W X 15'-0" L (COMPACT CAR)
 24' AISLE

SETBACKS

BUILDING:
 McMAHON BLVD ROW: 20' MIN
 INTERIOR ROAD ROW: 15' MIN
 PROPERTY LINE OF A COMMERCIAL ZONE: 10' REAR: 10'

PARKING:
 McMAHON BLVD ROW: 25' MIN
 INTERIOR ROAD ROW: 15' MIN

VICINITY MAP



SITE PLAN

0 10' 20' 30'
 SCALE: 1" = 20'-0"

PROJECT NUMBER: 1009325

Application Number: 12EPC-40044

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 8/9/2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division

Water Authority

Parks and Recreation Department

City Engineer

Solid Waste Management

Chairperson, Planning Department

10-04-12
 Date

08/19/12
 Date

9/19/12
 Date

9-19-12
 Date

10-11-12
 Date

10-11-12
 Date

Site Development Plan for Building Permit:
Liberty Dialysis-Rio Rancho
 NWQ Unser Blvd & McMahon Blvd Tract D-1
 Albuquerque, New Mexico 87114

These drawings, as instruments of service, remain the property of the Architect or Engineer. Any changes, publication, or use of any kind is prohibited unless expressly authorized by said party.

Copyright 2012

Drafted By:

Checked By:

Date Drafted:

05-28-2012

Project #:

12031-02

1A

Christopher Kidd & Associates, LLC
 Architects and Engineers
 1403W/6550 Lisbon Road
 Menomonee Falls, Wisconsin 53051
 Phone: 262.901.0505 / Facsimile: 262.901.0510
 Email: arch@ckidarchitects.com Website: www.ckidarchitects.com

#	DATE	REVISION DESCRIPTION
1	8-30-2012	EPC COMMENTS
2	9-30-2012	ZSH