

# CITY OF ALBUQUERQUE



*Planning Department*  
Suzanne Lubar, Director

*Mayor Richard J. Berry*

June 24, 2016

Bruce Stidworthy, PE  
Bohannon-Huston  
7500 Jefferson St NE Courtyard I  
Albuquerque, NM 87109

**RE: Affinity at Albuquerque Senior Housing  
10700 Fineland Dr NW  
Request Permanent C. O. - Accepted  
Engineers Stamp Date 7/18/14 (A11D014)  
Certification dated: 6-21-16**

Dear Mr. Stidworthy,

PO Box 1293

Based upon the information provided in your submittal received 6/21/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

Albuquerque

- No issue for CO, but strongly recommend that the bird baths around the drain basin collars are addressed, they are expected to affect the integrity of the drain basin structure.

New Mexico 87103

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

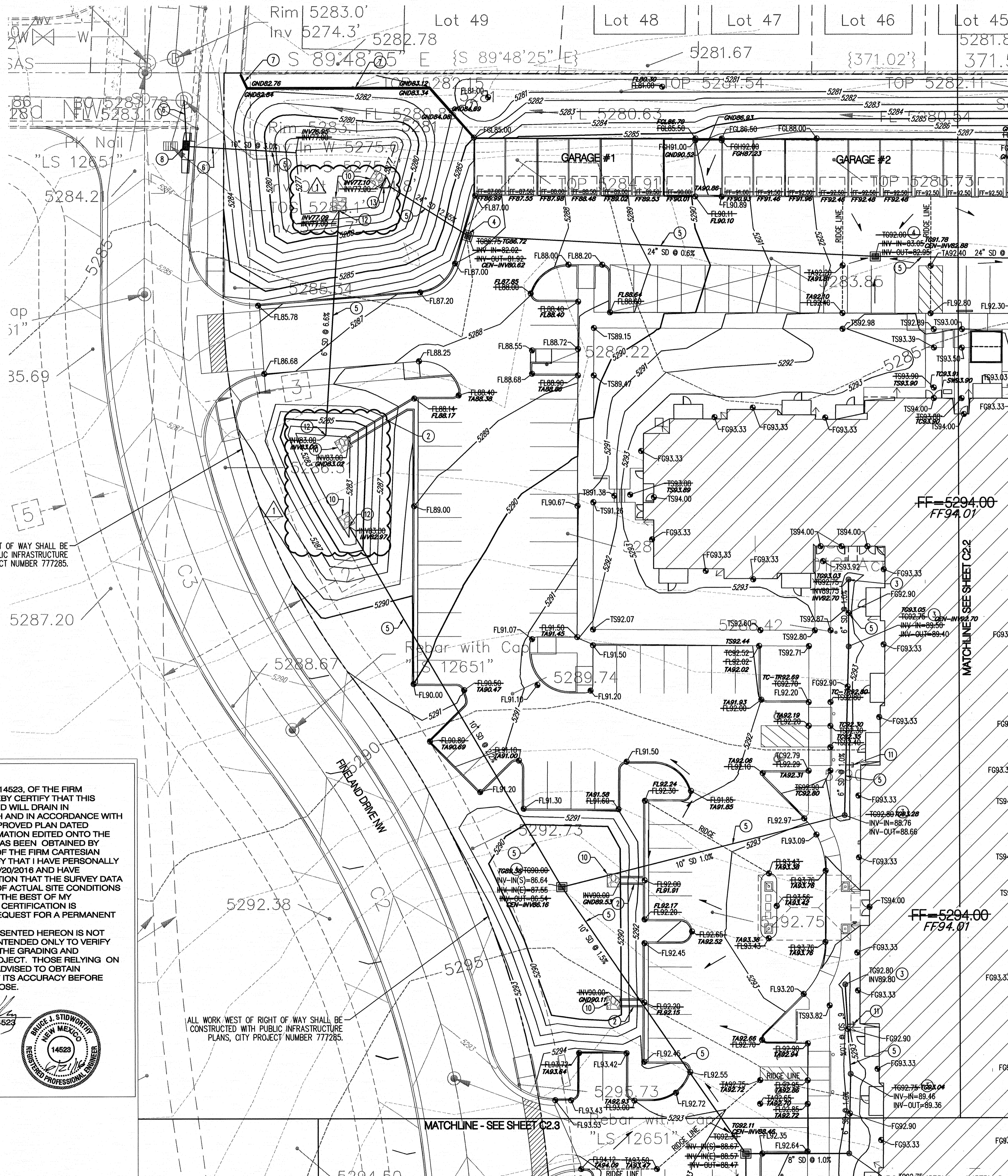
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



### GENERAL NOTES

1. FOR TYPICAL GRADING AT STEPPED GARAGES SEE 1/C2.1.
2. FOR TYPICAL GRADING AT PATIOS SEE 1/C2.2.

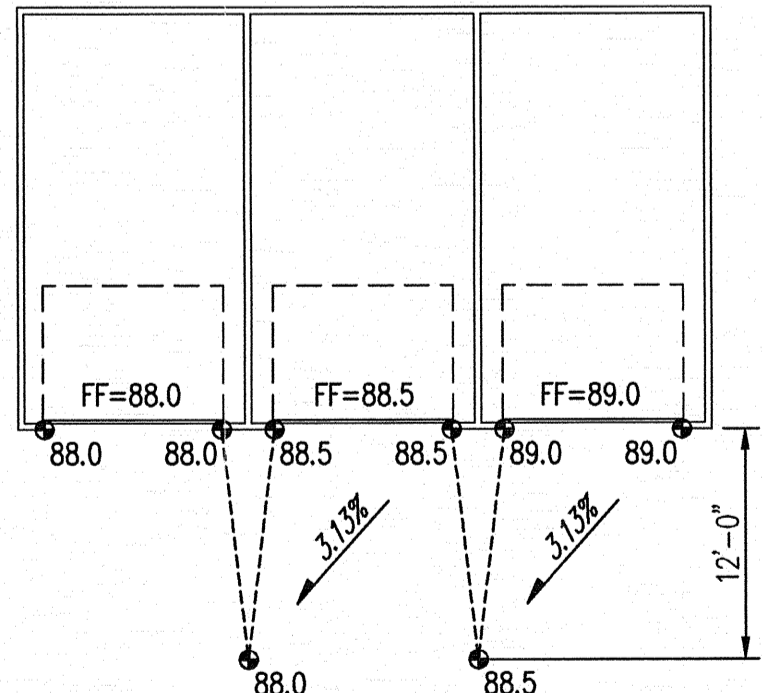
### GRADING KEYED NOTES

1. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE.
2. CONSTRUCT 24" WIDE CONCRETE RIBBON CHANNEL PER 5/C4.0.
3. INSTALL NYLOPLAST DRAIN BASIN WITH 8" DOME GRATE OR APPROVED EQUAL.
4. INSTALL NYLOPLAST DRAIN BASIN WITH 18" TRAFFIC RATED GRATE OR APPROVED EQUAL.
5. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
6. PUBLIC STORM DRAIN TO BE CONSTRUCTED WITH PUBLIC INFRASTRUCTURE PLANS, CITY PROJECT NUMBER 777285.
7. CAST-IN-PLACE CONCRETE WALL. TOP OF WALL ELEVATION = 85.0 SEE STRUCTURAL PLANS FOR DETAILS.
8. NEW PUBLIC TYPE 'A' STORM DRAIN INLET TO BE CONSTRUCTED WITH PUBLIC INFRASTRUCTURE PLANS, CITY PROJECT NUMBER 777285.
9. CONSTRUCT LANDSCAPE TIMBER RETAINING WALL PER 10/C4.0.
10. INSTALL 5' x 5' RIPRAP BLANKET. ROCK SHALL BE 4" - 6" ANGULAR ROCK PLACED 10" THICK OVER GEOTEXTILE FABRIC.
11. CONNECT TO ROOF DRAIN STORM DRAIN. SEE PLUMBING PLAN FOR CONTINUATION.
12. DAYLIGHT STORM DRAIN, SEE DETAIL 11/C4.0.
13. INSTALL 24" END SECTION.
14. INSTALL NYLOPLAST DRAIN BASIN WITH TRAFFIC RATED SOLID COVER.
15. INSTALL NYLOPLAST DRAIN BASIN WITH 8" CIRCULAR GRATE OR APPROVED EQUAL.

NOTE: NOT ALL KEYED NOTES MAY APPLY TO THIS SHEET.

### LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION  
TC=TOP OF CURB, FL=FLOW LINE  
TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT  
EX=EXISTING, FG=FINISHED GRADE  
FGL=FINISHED GRADE LOW  
TG=TOP OF GRATE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK/RIDGE OR HIGH POINT
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- DOWNSPOUT LOCATION

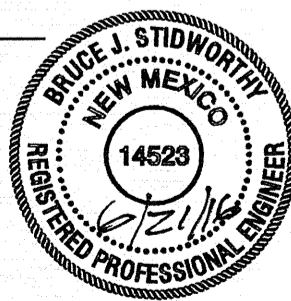


### DRAINAGE CERTIFICATION

I, BRUCE J. STIDWORTHY, NMPE 14529, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/18/2014. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS 18374, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6/20/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

BRUCE J. STIDWORTHY, NMPE 14529

- 4/22/2016
- LEGEND**
- FL70.22 DESIGN GRADE
  - FL88.24 AS-BUILT GRADE



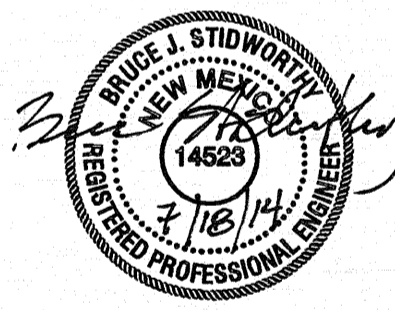
PROJECT

## AFFINITY AT ALBUQUERQUE

FINELAND & MCMAHON  
ALBUQUERQUE, NEW MEXICO

### PERMIT SET 6-6-2014

SEAL



FILE

DATE  
JULY 18, 2014

DRAWN  
BO/MS

REVISIONS

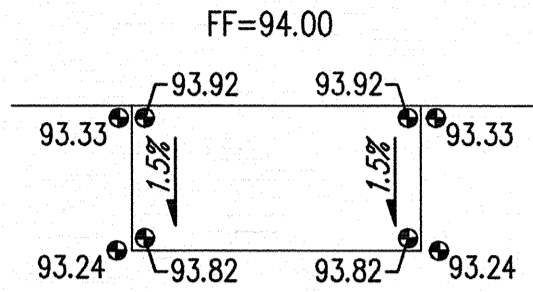
7-18-14 REVISION #1  
BUILDING DEPARTMENT COMMENTS

SHEET

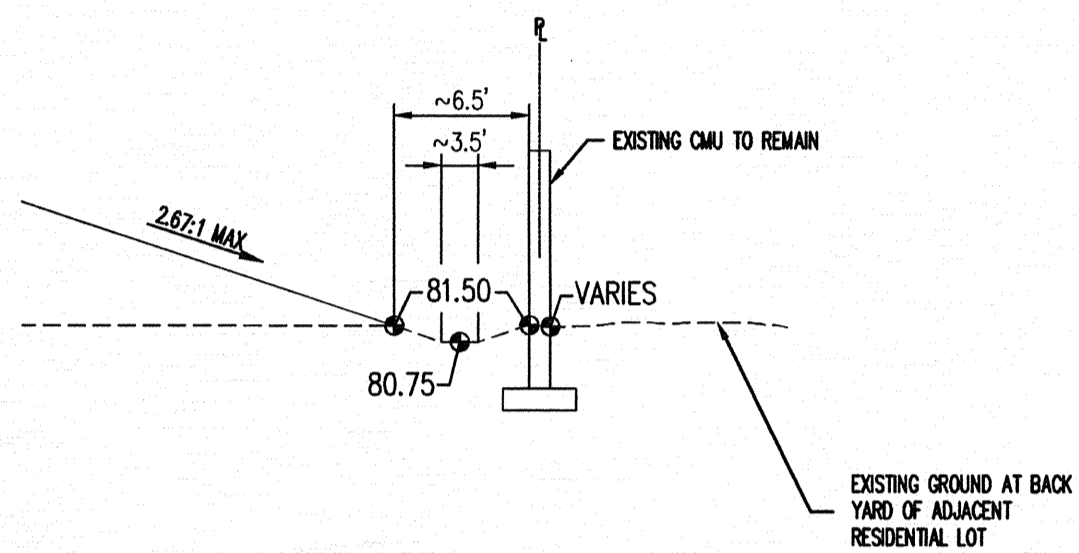
## C2.1

GRADING &  
DRAINAGE PLAN

NOTE: THIS GRADING IS TYPICAL FOR ALL GROUND FLOOR PATIOS EXCEPT FOR THE GROUND FLOOR HC UNIT (#105). FOR THAT UNIT, THE FOUR SPOT ELEVATIONS SHOWN ON THE PATIO SHALL BE 1" HIGHER.



1 TYPICAL PATIO GRADING  
NTS



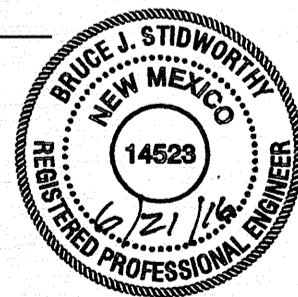
2 WATER HARVESTING AREA TYP.  
NTS

NOTE: THIS WATER HARVESTING AREA IS TYPICAL FOR THE NORTH PROPERTY LINE.

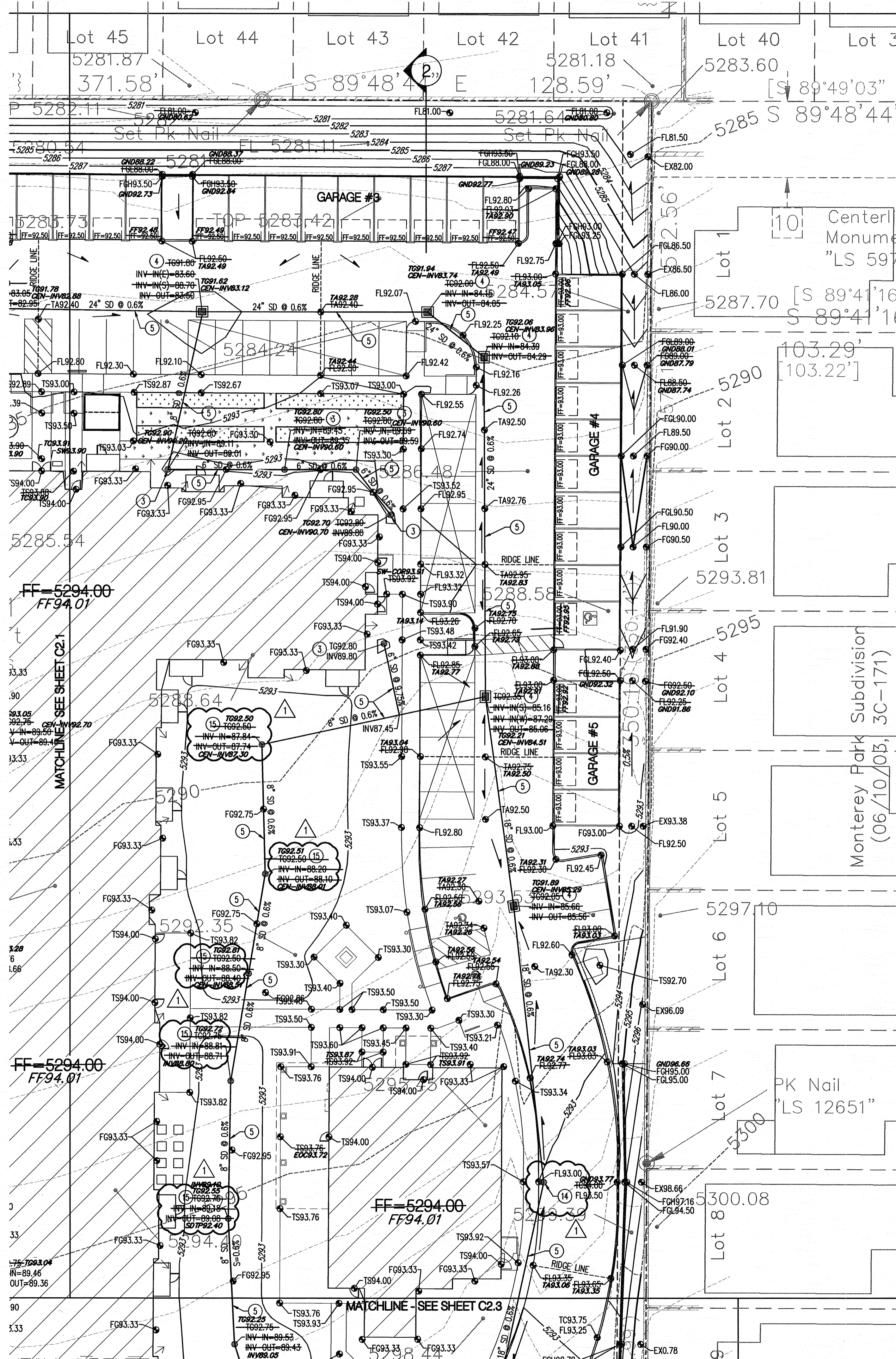
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*Bruce J. Stidworthy*  
BRUCE J. STIDWORTHY, NMPE 14523



4/22/2016  
LEGEND  
FL70.22 DESIGN GRADE  
FL70.22 AS-BUILT GRADE



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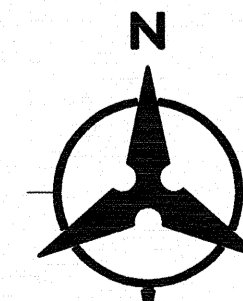
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---	TO=TOP OF GRATE
---	PROPOSED DIRECTION OF FLOW
---	WATER BLOCK/RIDGE OR HIGH POINT
---	PROPOSED RETAINING WALL
---	PROPOSED INDEX CONTOURS
---	PROPOSED INTER CONTOURS
---	PROPOSED STORM DRAIN LINE
○	PROPOSED STORM DRAIN MANHOLE
○	PROPOSED STORM DRAIN INLET
←	DOWNSPOUT LOCATION



SCALE: 1"=20'

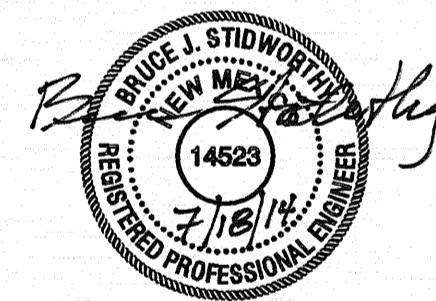
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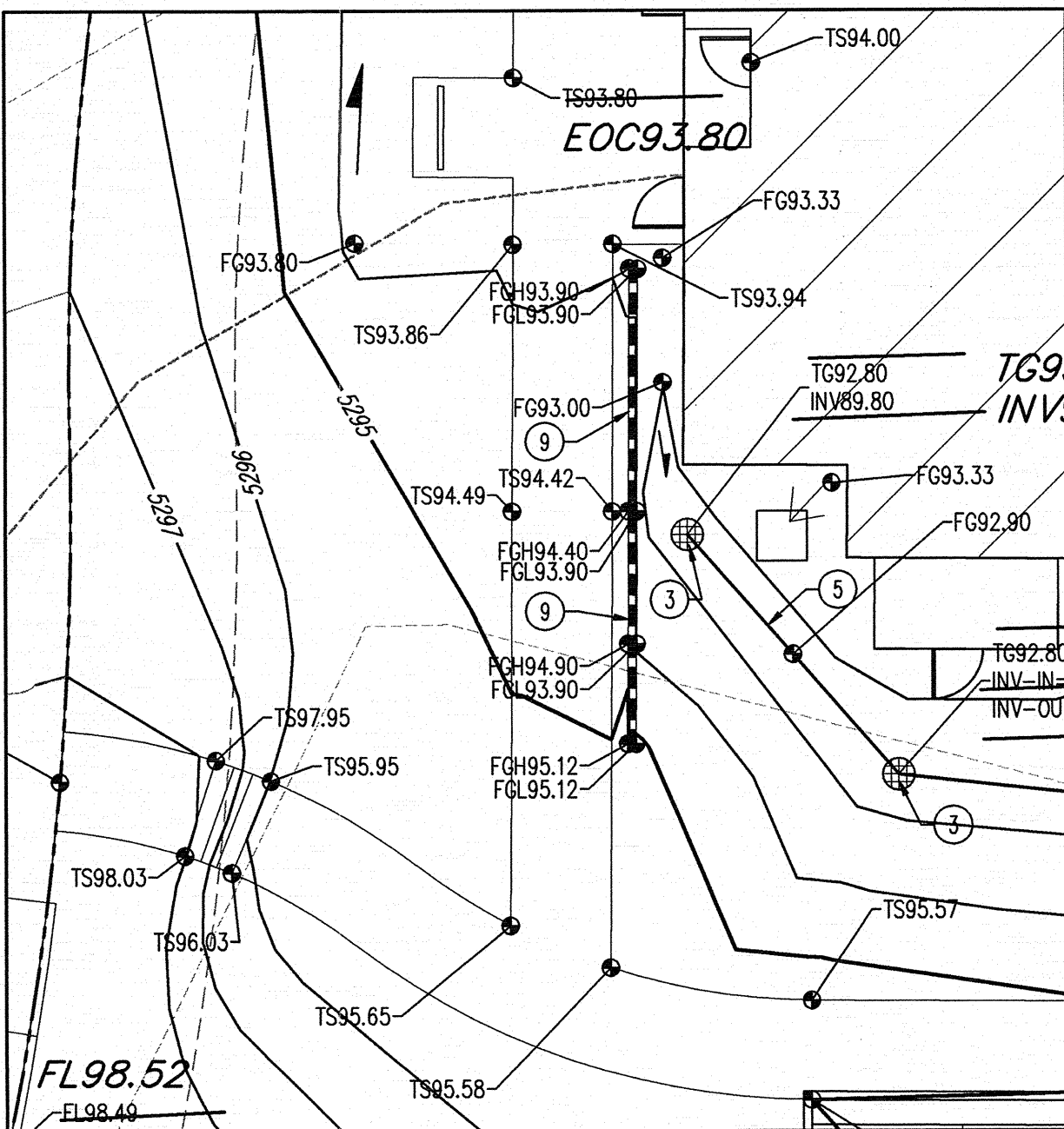
DRAWN  
BO/MS

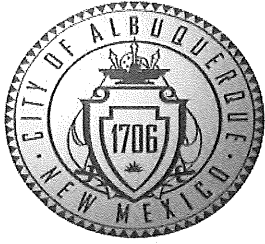
REVISIONS  
7-18-14 REVISION #1  
BUILDING DEPARTMENT COMMENTS

SHEET

C2.2  
GRADING &  
DRAINAGE PLAN

Bohannan & Huston  
800.877.5332  
www.bhinc.com





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Affinity at Albuquerque Senior Housing Building Permit #: \_\_\_\_\_ City Drainage #: A11D014  
DRB#: 1000875 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots B-1 & D-1, Fineland Development  
City Address: Northeast corner of McMahon & Fineland

**Engineering Firm:** Bohannon Huston, Inc. Contact: Bruce Stidworthy or Matt Satches  
Address: 7500 Jefferson St NE Courtyard 1  
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: bstidworthy@bhinc.com & msatches@bhinc.com

**Owner:** Inland Group Contact: Robert Ketner  
Address: 1620 N. Mamer Rd Bldg. B, Spokane, Washington 99203  
Phone#: (509) 321-3204 Fax#: (509) 922-2251 E-mail: robertk@inlandconstruction.com

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: JUNE 21, 2016 By: Matt Satches

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development