

CITY OF ALBUQUERQUE



February 5, 2020

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

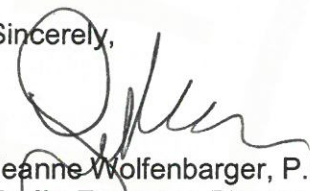
**Re: McMahon Carwash, McMahon & Fineland
Tract A-1-B Fineland Development
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 12-4-19 (A11D016A)
Certification dated 1-29-20**

Dear Mr. Soule

Based upon the information provided in your submittal received 1-29-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

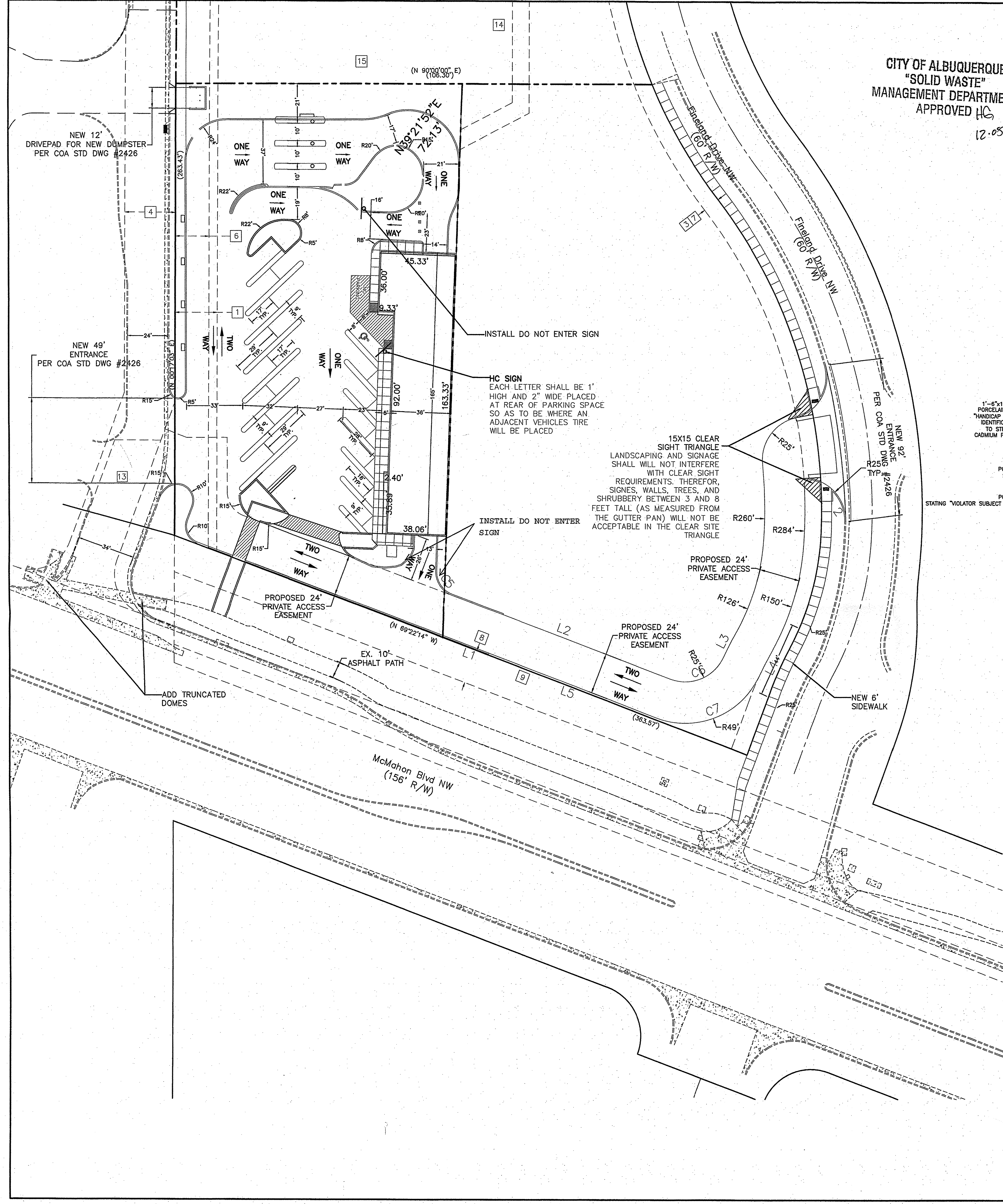
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,


Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

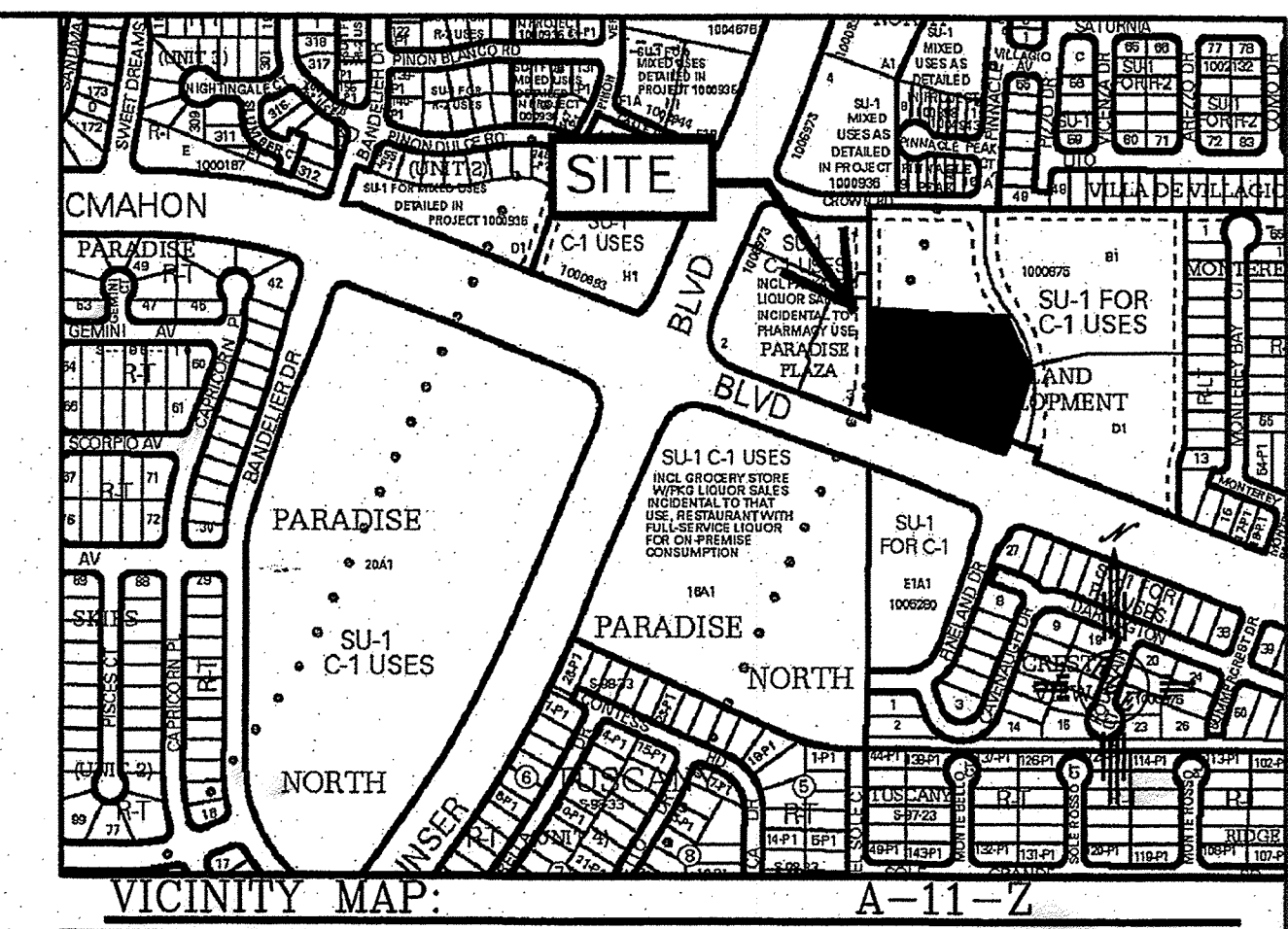
EG via: email
C: CO Clerk, File



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED HG
12.05.19

EXISTING EASEMENT KEY NOTES

- 3 EXISTING 10' P.U.E. (11/21/2003, 2003C-354)
- 4 EXISTING 30' PRIVATE ACCESS EASEMENT AREA (12/07/09, 2009C-170)
- 6 EXISTING 20' PRIVATE SLOPE EASEMENT AREA (3/20/09, DOC. NO. 2009029570)
- 7 EXISTING 10' PNM EASEMENT (01/11/2002, 2002C-16)
- 8 EXISTING 20' NMCO GAS EASEMENT (BK D608, PG. 525) (08/11/1961, BK. 112, PG. 515)(BK. D346, PG. 356)
- 9 EXISTING 30' GAS LINE EASEMENT (01/14/1946, BK. 220, PG. 547)(03/07/1961, BK. D585, PG. 409)
- 10 EXISTING 10' PNM & MST&T EASEMENT (DOC. NO. 89-13983, 2/23/89, BK. MISC. 716A, PG. 198-203) AMENDED (DOC. NO. 93-010908, 2/2/93, BK. BCR 93-3, PG. 3742-3743)
- 11 EXISTING 20' NMUI EASEMENT (DOC. NO. 89-13983, 2/23/89, BK. MISC. 716A, PG. 198-203)
- 12 EXISTING 15' X 80' OVERHEAD ELECTRICAL POWER LINE EASEMENT (BK. BCR 92-24, PG. 4561)
- 13 EXISTING ACCESS EASEMENT BENEFITING PARCEL A-1, FINELAND DEVELOPMENT (3/20/09, DOC. NO. 2009029570)
- 14 EXISTING 10' PRIVATE DRAINAGE EASEMENT BENEFITING THE SUBJECT PROPERTY (01/12/2018, 2018C-1)
- 15 EXISTING BLANKET CROSS LOT DRAINAGE EASEMENT ACROSS PARCEL A-1-A BENEFITING THE SUBJECT PROPERTY (01/12/2018, 2018C-1)

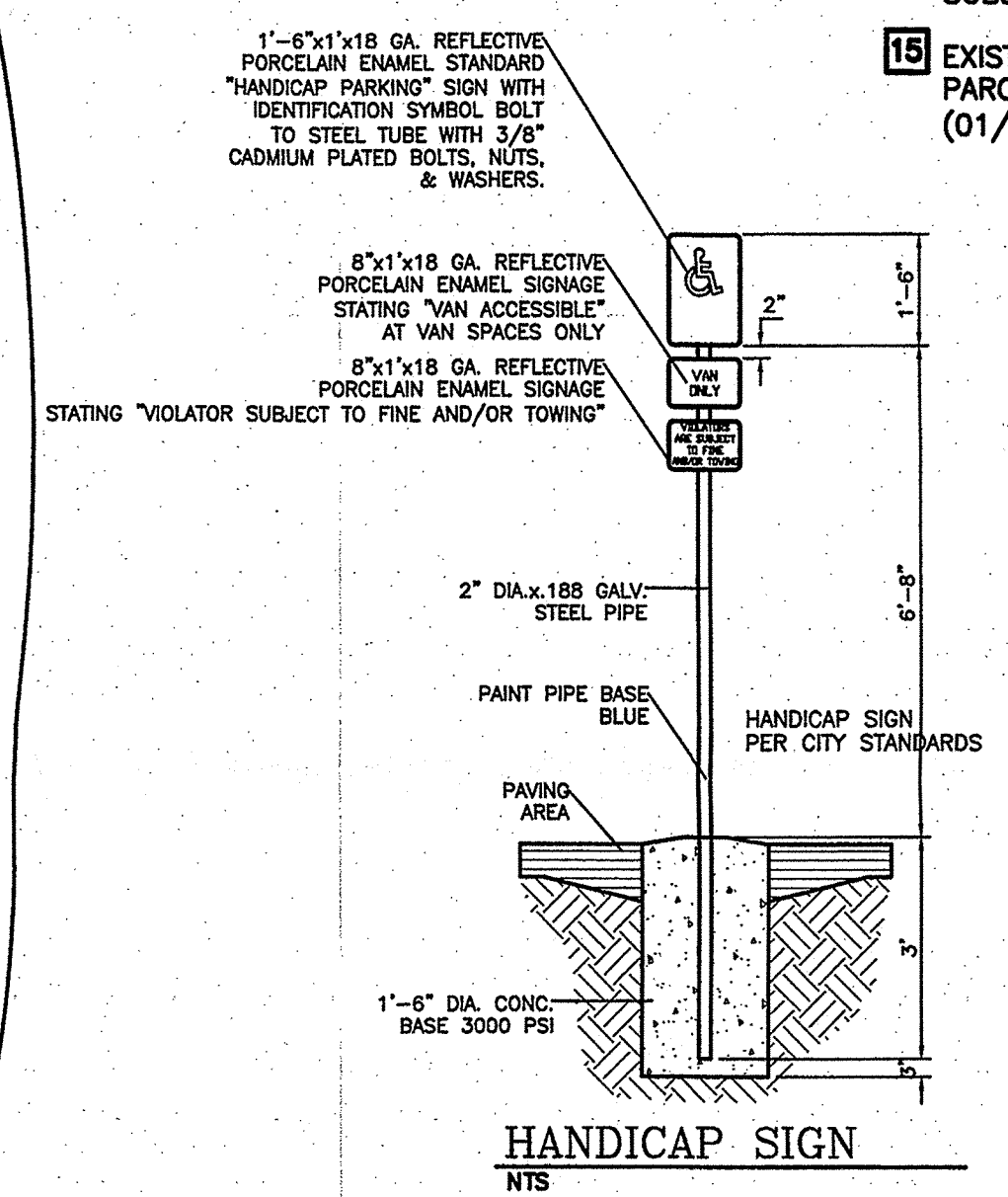


LEGAL DESCRIPTION:
PARCEL A-1, FINELAND DEVELOPMENT

LEGEND

---	BOUNDARY
- - -	EASEMENT
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	EXISTING SIDEWALK

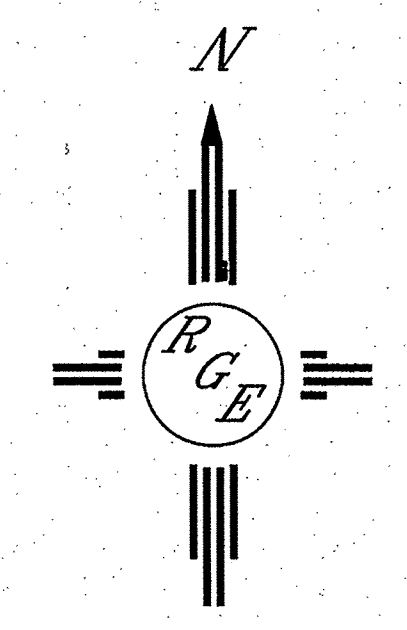
NOTES
1. ALL PAVEMENT SHALL BE 6" PCC OVER
12" PREPARED SUBGRADE



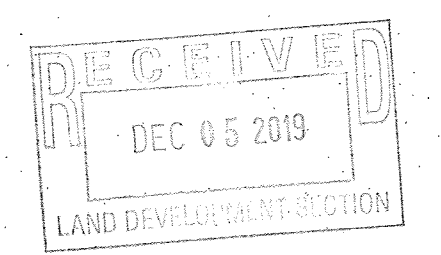
SITE DATA

ZONING	SU1 FOR C1 USES
BUILDING SIZE	4474
PARKING	
CAR WASH	1 SPACE/200 SF=23 SPACES
	23 SPACES REQUIRED
	25 SPACES PROVIDED
HANDICAP PARKING	1 REQUIRED 1 PROVIDED
MOTORCYCLE PARKING	0 REQUIRED 0 PROVIDED

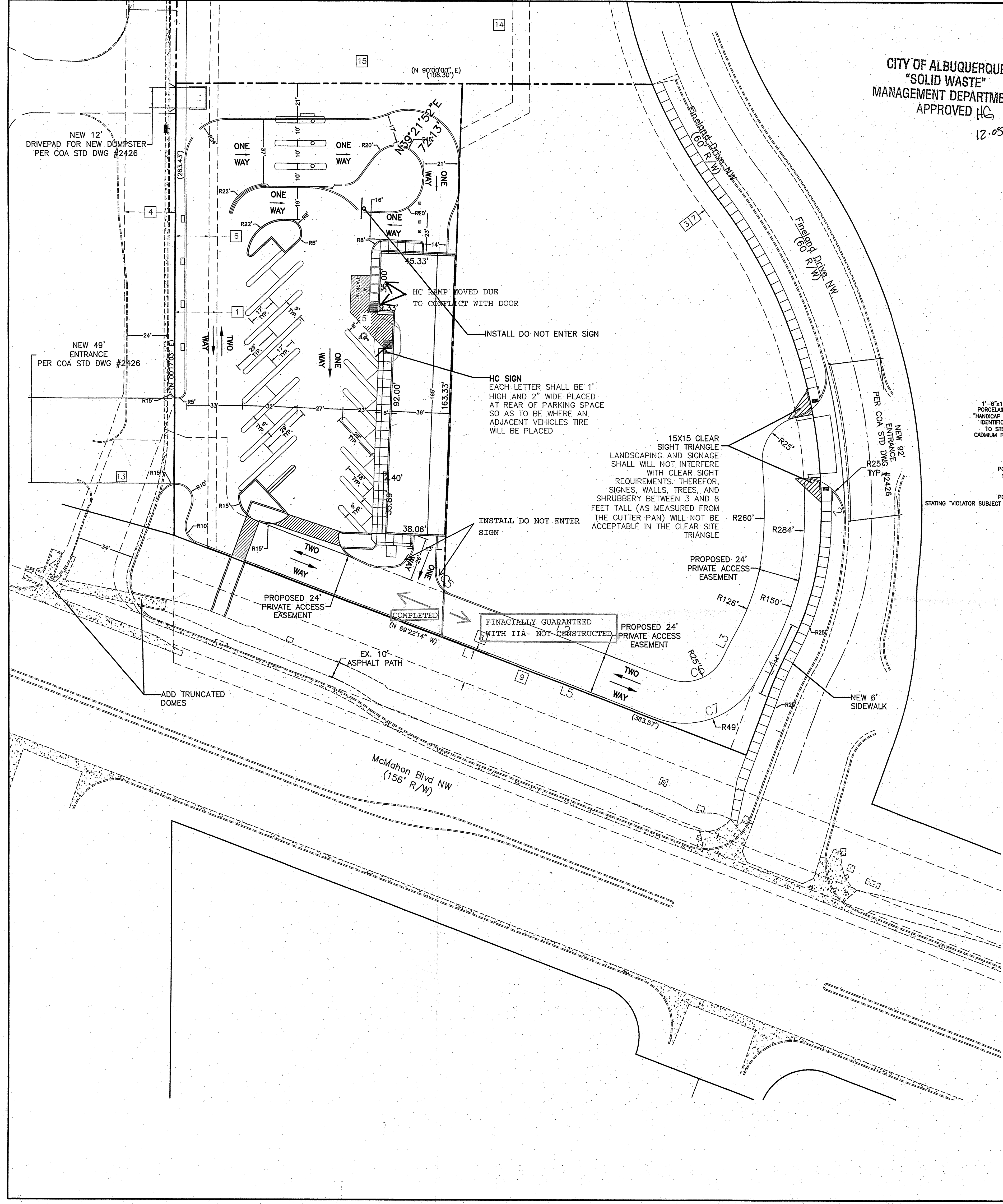
TRAFFIC CIRCULATION LAYOUT
APPROVED
12-06-19
Date



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



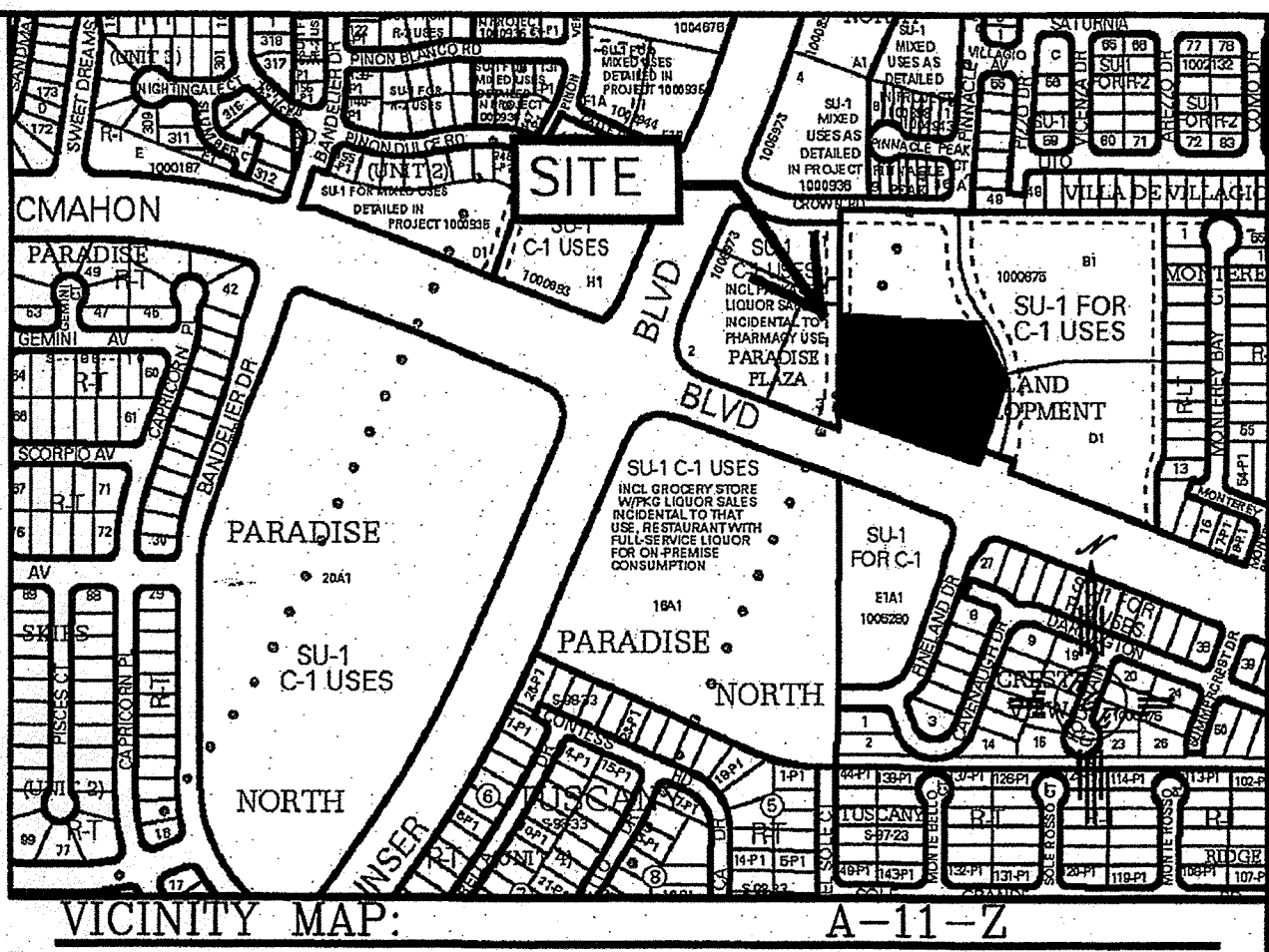
ENGINEER'S SEAL DAVID SOULE 14522 REGISTERED PROFESSIONAL ENGINEER 12/4/19 DAVID SOULE P.E. #14522	McMAHON CARWASH TRAFFIC CONTROL LAYOUT Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCUJ DATE 10-16-19 218114-LAYOUT-3-30-18 SHEET # JOB # 218114
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CITY OF ALBUQUERQUE
"SOLID WASTE"
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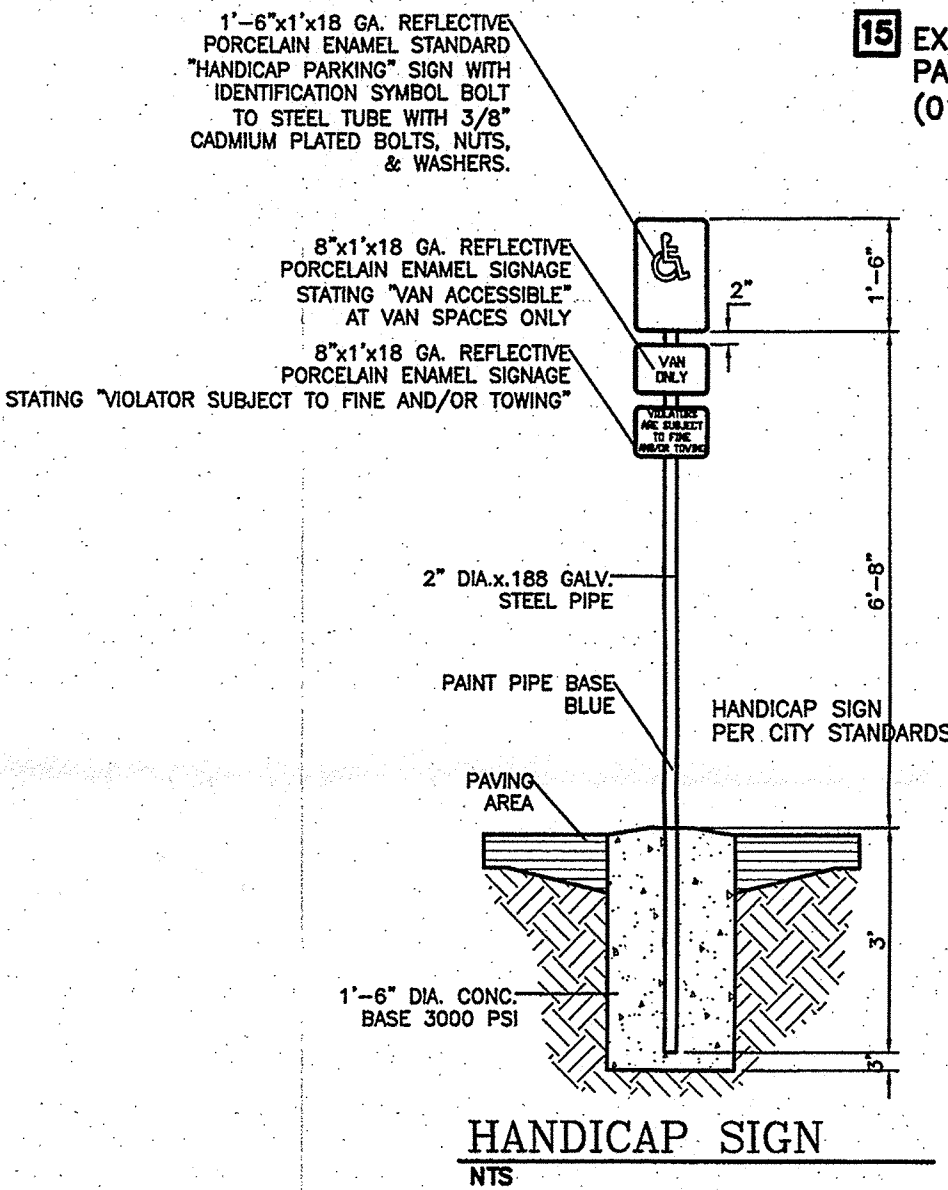
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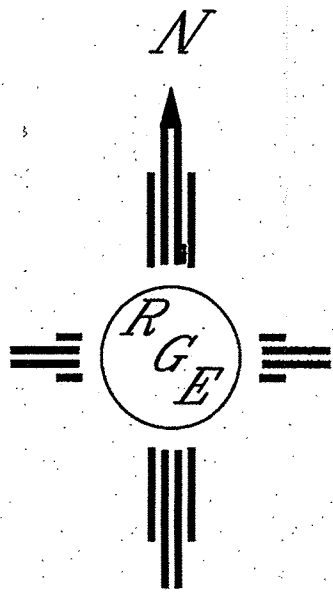
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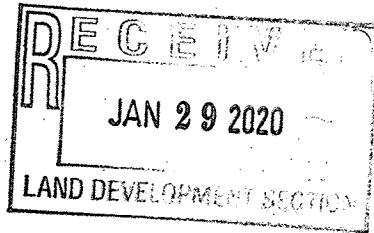
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GRAPHIC SCALE

SCALE: 1"=30'



ENGINEER'S SEAL	McMAHON CARWASH	DRAWN BY WCUJ
DAVID SOULE 14522 REGISTERED PROFESSIONAL ENGINEER	TRAFFIC CONTROL LAYOUT	DATE 10-16-19
12/4/19	Pio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0899	218114-LAYOUT-3-20-18
DAVID SOULE P.E. #14522		SHEET #
		JOB # 218114

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

TRAFFIC CERTIFICATION

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS PATRICK NMPLS 12651 OF THE FIRM COMMUNITY SCIENCES CORPORATION. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/28/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:

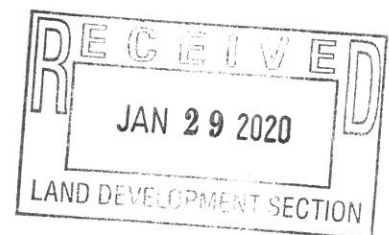
THE ADJACENT DRIVEWAY IS UNDER AN EXISTING WORK ORDER AND FINANCIALLY GUARANTEED. NOT REQUIRED FOR CERTIFICATION. DUE TO SITE CONSTRAINTS THE ADA ISLE IS PINCHED TO 5' AT ONE LOCATION. THE AVERAGE ISLE IS 8'

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

1/29/20

Date



City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

01/29/2020 Issued By: BLDAVM 365611

Permit Number:	2018 061 928	Category Code 970
Application Number:	18REV-61928, Review: Drain Plan-Lomr-Traffic Impact	
Address:		
Location Description:	MCMAHON CARWASH - MCMAHON AND FINELAND	
Project Number:	null	
Applicant	Agent / Contact	
RIO GRANDE ENGINEERING	RIO GRANDE ENGINEERING	
DAVID SOULE	DAVID SOULE	
PO BOX 93924	PO BOX 93924	
ALBUQUERQUE NM 87199	ALBUQUERQUE NM 87199	
david@riograndeengineering.com	DAVID@RIOGRANDEENGINEERING.COM	

Application Fees

REV Actions	\$75.00
TOTAL:	\$75.00

City of Albuquerque Treasury
Date: 1/29/2020 Office: ANEX
Stat ID: Cashier: 43322
Batch: 11047 Trans: 446
Permit: 2018061928
Receipt Num: 00619986
Payment Total: \$75.00
0909 REV Actions
VISA Tendered : \$75.00
\$525.00



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: MICMAHON CARWASH Building Permit #: _____ Hydrology File #: A11D016A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT A-1-B FINELAND DEVELOPMENT

City Address: MICMAHON AND FINELAND

Applicant: COMMERCIAL CONSTRUCTION AND MAINTENANCE Contact: _____

Address: PO BOX 93924 ALB NM 87199

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: PLAT RESIDENCE DRB SITE X ADMIN SITE

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE
XX TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

XX ENGINEER/ARCHITECT CERTIFICATION

PAD CERTIFICATION

CONCEPTUAL G & D PLAN

GRADING PLAN

DRAINAGE REPORT

DRAINAGE MASTER PLAN

FLOODPLAIN DEVELOPMENT PERMIT

ELEVATION CERTIFICATE

CLOMR/LOMR

TRAFFIC CIRCULATION LAYOUT (TCL)**

TRAFFIC IMPACT STUDY (TIS)

STREET LIGHT LAYOUT

OTHER (SPECIFY) _____

PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL

SITE PLAN FOR SUB'D APPROVAL

SITE PLAN FOR BLDG. PERMIT APPROVAL

FINAL PLAT APPROVAL

SIA/ RELEASE OF FINANCIAL GUARANTEE

FOUNDATION PERMIT APPROVAL

GRADING PERMIT APPROVAL

SO-19 APPROVAL

PAVING PERMIT APPROVAL

GRADING/ PAD CERTIFICATION

WORK ORDER APPROVAL

CLOMR/LOMR

FLOODPLAIN DEVELOPMENT PERMIT

OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? X Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____