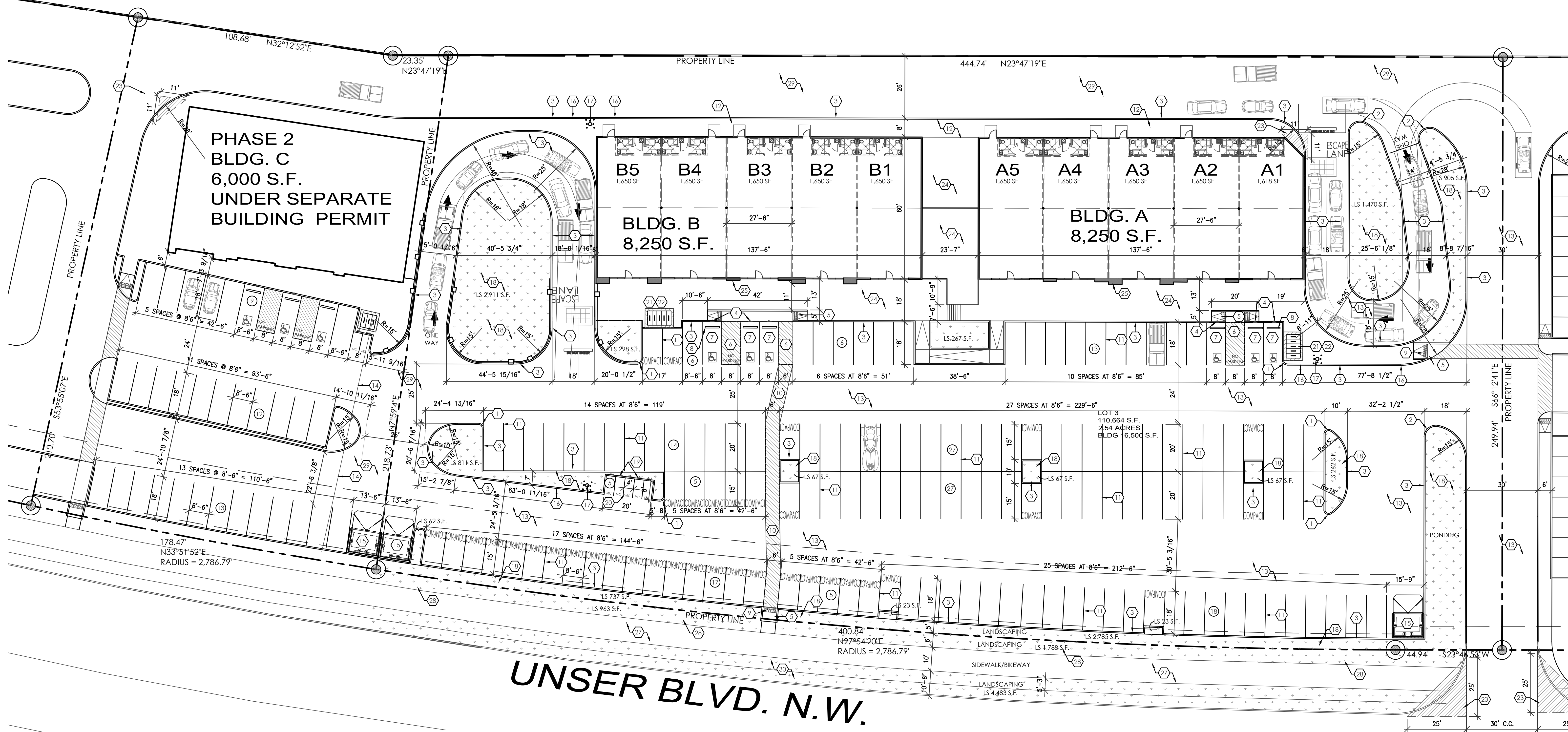
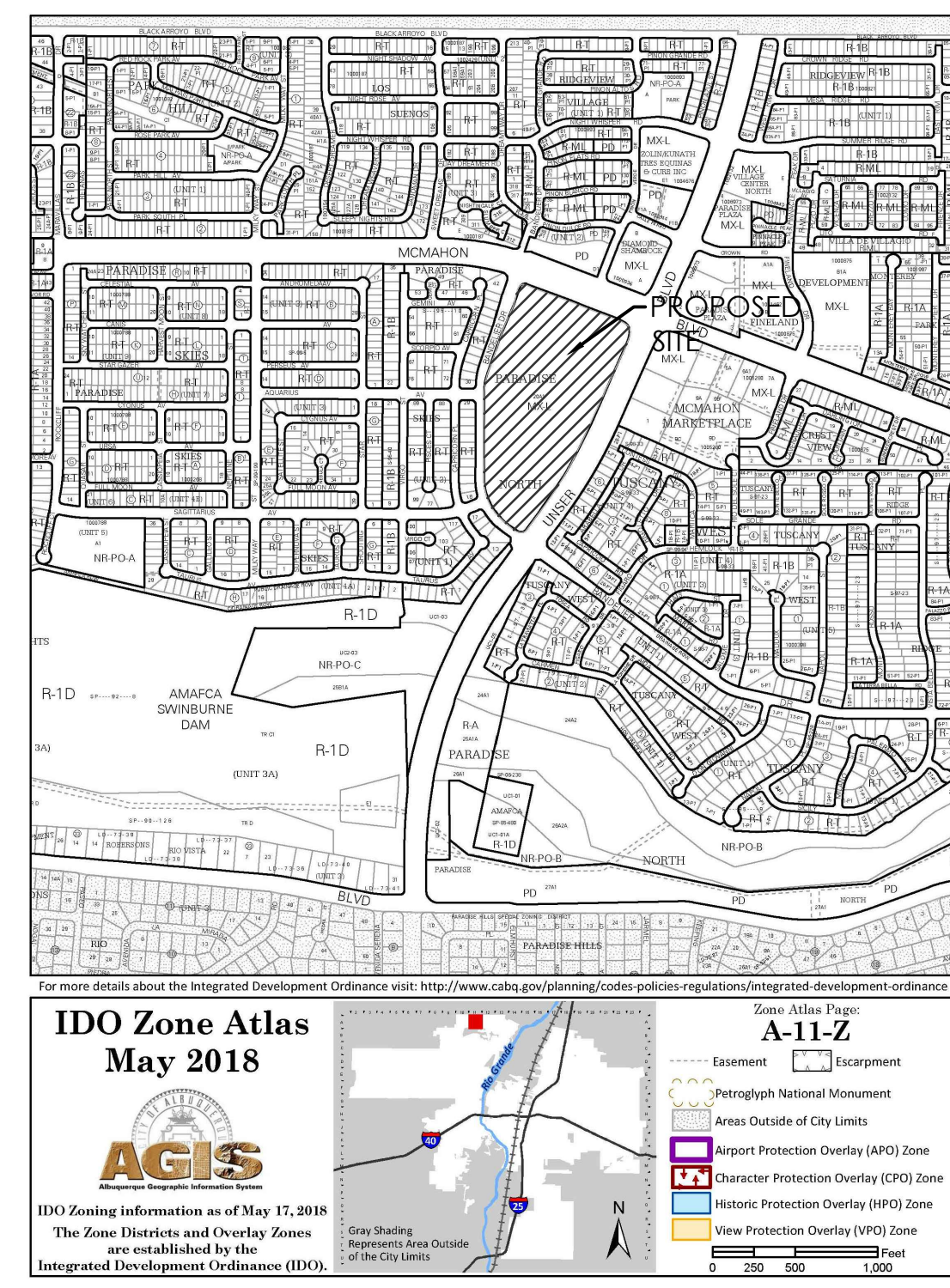




UNSER & MCMAHON  
ENLARGED SITE PLAN  
ALBUQUERQUE, NM  
PROJECT #2063



- ### KEYED NOTES
- 2'-0" CURB RADIUS, TYP.
  - 5'-0" CURB RADIUS.
  - CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS REF: DET. A7/AS-2.0.
  - ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL C1/AS-2.0.
  - ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABQ) STANDARDS 2426, REF: A10/AS-2.0.
  - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978), REF: DETAIL A8/AS-2.0.
  - HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (2) PLACE REF: DETAIL C2/AS-2.0.
  - CONCRETE PARKING BUMPER, TYP.
  - 24" TRUNCATED DOMES, TYP.
  - 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.
  - 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0, TYP.
  - CONSTRUCT NEW CONCRETE SIDEWALK PER CABQ STANDARD REF: AS-A6/AS-2.0, REF: PLAN FOR SIDEWALK WIDTH, TIE INTO EXISTING SIDEWALKS AS NEEDED.
  - ASPHALT PAVING OVER BASE COURSE, REF: GEOTECH.
  - EDGE OF ASPHALT.
  - DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1/AS-2.0.
  - FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
  - NEW FIRE HYDRANT LOCATION.
  - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
  - MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP.
  - "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING.
  - BIKE RACK FOR (5) BICYCLES, 30" TALL x 18" MIN., REF DETAIL C3/AS-2.0.
  - BIKE PARKING SPACES SHALL BE 6'-0" LONG x 24" WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE. CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
  - CONCRETE PATIO.
  - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
  - ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PNM.
  - EXISTING ASPHALT SIDEWALK/ BIKE PATH.
  - EXISTING OFF SITE LANDSCAPING.
  - ASPHALT PAVING OVER BASE COURSE, REF: GEOTECH REPORT. CROSS ACCESS DRAINAGE EASEMENT.

### LANDSCAPE REQUIREMENTS:

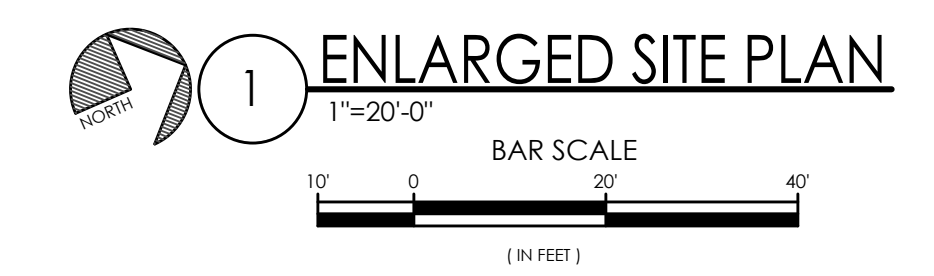
|                      |                           |
|----------------------|---------------------------|
| GROSS LOT AREA:      | 110,664 S.F. (2.54 ACRES) |
| BUILDING AREA:       | 16,500 S.F. (2 BLDGS)     |
| NET LOT AREA:        | 94,164 S.F.               |
|                      | x 15%                     |
| REQUIRED LS:         | 14,125 S.F.               |
| PROVIDED LS ONSITE:  | 9,758 S.F.                |
| PROVIDED LS OFFSITE: | 7,234 S.F.                |

### FIRE FLOW REQUIREMENTS

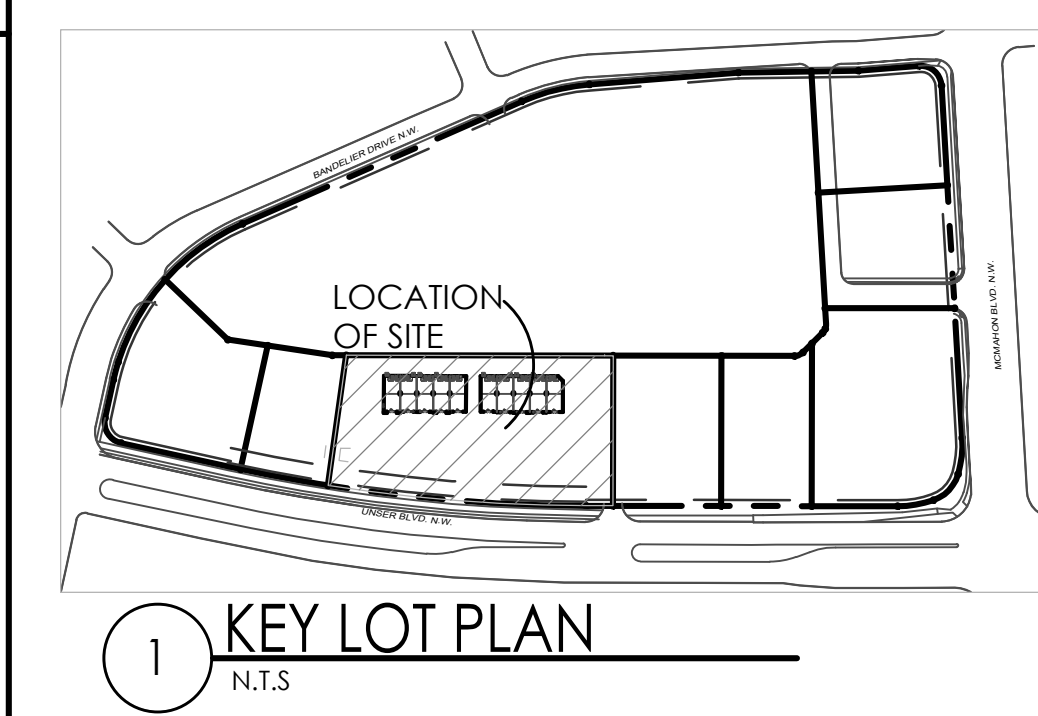
TYPE 2B 16,500 S.F. (2 BLDG)  
15,401-18,400 S.F. = 2.750 G.P.M. = 2 HOUR FLOW DURATIONS  
3,000 G.P.M. = 3 HYDRANT = 400 FEET SPACING = 225 FEET MAX DISTANCE

### PARKING REQUIREMENTS:

|                                    |                                                                                                                               |                                                                                                                                                                                                                                        |
|------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| BUILDING 1<br>REQUIRED:            | TOTAL BUILDING SQ. FT.<br>RESTAURANT 8 SPACES/1,000 S.F. (125)<br>RETAIL 4 SPACES/1,000 S.F. (250)<br>TOTAL BUILDING 1 SPACES | = 8,250 S.F. = 4,125 S.F. RESTAURANT, 4,125 S.F. RETAIL<br>= 4,125/125 = 33 SPACES REQUIRED<br>= 4,125/250 = 17 SPACES<br>= 50 SPACES<br>NMBC TABLE 1106.1 36-50 = 3 H.C. SPACES<br>2018 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES |
| BUILDING 2<br>REQUIRED:            | TOTAL BUILDING SQ. FT.<br>RESTAURANT 8 SPACES/1,000 S.F. (125)<br>RETAIL 4 SPACES/1,000 S.F. (250)<br>TOTAL BUILDING 1 SPACES | = 8,250 S.F. = 4,125 S.F. RESTAURANT, 4,125 S.F. RETAIL<br>= 4,125/125 = 33 SPACES REQUIRED<br>= 4,125/250 = 17 SPACES<br>= 50 SPACES<br>NMBC TABLE 1106.1 36-50 = 3 H.C. SPACES<br>2018 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES |
| TOTAL PARKING REQUIRED 2 BUILDINGS |                                                                                                                               | = 100 SPACES                                                                                                                                                                                                                           |
| TOTAL PARKING PROVIDED             |                                                                                                                               | = 145 SPACES PROVIDED (INCLUDING 6 HC SPACES)<br>37 SMALL CARS (LESS THAN 30% ALLOWED, 44 MAX)<br>5 MOTORCYCLE SPACES<br>= 10% OF REQUIRED OFF STREET PARKING = 10 BIKE SPACES                                                         |
| BICYCLE SPACES NON-RESIDENTIAL     |                                                                                                                               |                                                                                                                                                                                                                                        |



Approved for access by the Solid Waste Department  
Herman Gallegos 07-21-21  
\*\*Hazard Route Only\*\*



|                                                                                                                                                     |            |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|------------|
| REVISION                                                                                                                                            | DATE       |
|                                                                                                                                                     |            |
| RBA ARCHITECTURE, PC<br>ARCHITECTURE<br>PLANNING<br>DESIGN<br>1000 Alameda Ave. SW<br>Albuquerque, NM 87102<br>Phone: (505) 243-4545<br>www.rba.com |            |
| DATE                                                                                                                                                | 07-20-2021 |
| SHEET NUMBER                                                                                                                                        | AS-1.1     |