

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 23, 2024

Richard Bennett, RA
RBA Architecture, PC
1104 Park Ave SW
Albuquerque, NM

Re: Unser Crossing- Building B
10550 Unser Blvd NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp date 7-20-21 (A11D017B)
Certification dated 2-27-24

Dear Mr. Bennett;

Based upon the information provided in your submittal received 4-11-24, the as-built received 7-23-24 and the punchlist being complete, Transportation Development has no objection to a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

Curtis A Cherne

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Laurie Elliot, Yvette Lucero, Wendi Alcala, James Broomfield, courtney@insightnm.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



February 27, 2024

Re: Unser Crossing
10621 Unser Blvd. NW
Albuquerque, NM 87114
Project # BP-2022-36431
Approved 08/19/2022

TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Certification Layout, approved Site Plan dated 08/19/22 and with Architect's stamp dated 07/20/21.

The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on February 27, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Unser Crossing at 10621 Unser Blvd. NW, Tract 20A-1 Vacation Amended Plat & Repl of Paradise North Situated within the Town of Alameda Grant in Bernalillo County in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

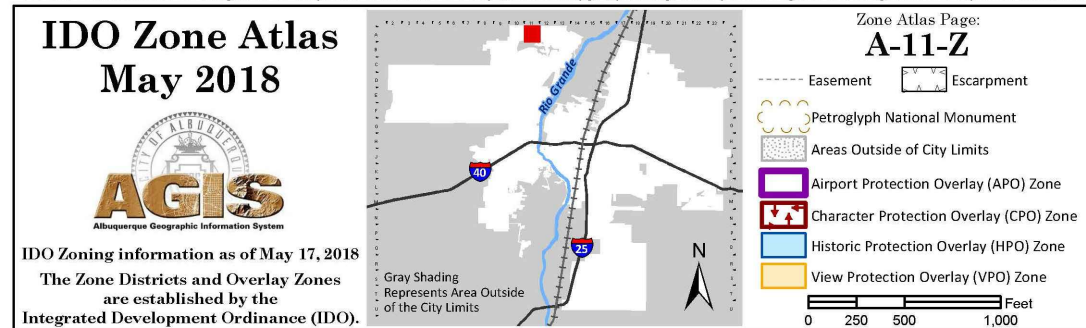
Sincerely,

A handwritten signature in blue ink, appearing to read 'Rick Bennett', with a long, sweeping horizontal line extending to the right.

Rick Bennett, Architect

LOT 3
UNDER SEPARATE
BUILDING PERMIT

UNSER BLVD. N.W.
(156' R/W)



KEYED NOTES

- 2'-0" CURB RADIUS, TYP.
- 5'-0" CURB RADIUS.
- CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 241.5A, REF: DET. A8/AS-2.0.
- ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL A5/AS-2.0.
- ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABQ) STANDARDS 244.3, REF: A4/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, LOCATE SIGN (44-L4.1.8 NMSA 1978), REF: DETAIL A4/AS-2.0.
- HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (6) PLACE REF: DETAIL A9/AS-2.0.
- CONCRETE PARKING BUMPER, TYP. REF: DETAIL A13/AS-2.0.
- 24" TRUNCATED DOMES, TYP.
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP. REF: DETAIL A7/AS-2.0.
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A4/AS-2.0, TYP.
- CONSTRUCT NEW CONCRETE SIDEWALK PER CABQ STANDARD DWG. 2430, REF: A11-A12/AS-2.0, REF: PLAN FOR SIDEWALK WIDTH, TIE INTO EXISTING SIDEWALKS AS NEEDED.
- ASPHALT PAVING OVER BASE COURSE, REF: GEOTECH REPORT.
- EDGE OF ASPHALT.
- DOUBLE DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1/AS-2.1.
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
- NEW FIRE HYDRANT LOCATION.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- BIKE RACK FOR (5) BICYCLES, REF: DETAIL A13/AS-2.0.
 - 30" TALL X 18" WIDE.
 - BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
 - THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2' WIDE FOR EACH BIKE, NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
- CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS'. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- CONCRETE PAVEMENT.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
- ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PNM.
- EXISTING 10' WIDE ASPHALT SIDEWALK / BIKE PATH.
- EXISTING OFF SITE LANDSCAPING.
- CONSTRUCT NEW DRIVE PAD PER C.O.A. STD. DWG. 2426 & 2420, REF: CIVIL DRAWINGS.
- PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- PAINTED "DO NOT ENTER" - WHITE ON PAVEMENT PER CABQ STANDARDS REF: DETAIL A19/AS-2.0.
- DO NOT ENTER SIGN PER CABQ STANDARDS #2600-403, REF: DETAIL A14/AS-2.0.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER C.O.A. STANDARD DRAWINGS 241.5A.
- STANDARD DRAWING WALL, REF: FOUNDATION PLAN AND DETAILS.
- PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS.
- 10' PUBLIC UTILITY EASEMENT.
- "ONE WAY" SIGN PER CABQ STANDARD 2600-403, REF: DETAIL A17/AS-2.0.
- 42" HIGH 1 1/4" DIA. PAINTED STEEL GUARDRAIL, REF: DETAILS ON SHEET S-2.0.
- CURB RAMP PER CABQ STANDARD DWG. 2446, REF: CIVIL DRAWINGS.
- CURB RAMP PER CABQ STANDARD DWG. 2441, REF: CIVIL DRAWINGS.
- ACCESSIBLE CONC. RAMP, REF: FOUNDATION PLAN AND DETAILS.
- CONC. STAIRS, REF: GRADING AND DRAINAGE PLAN AND FOUNDATION PLAN AND DETAIL.
- TRANSFORMER LOCATION, REF: ELECTRICAL PLANS.
- 42" HIGH 1 1/4" DIA. PAINTED STEEL FENCE, REF: FOUNDATION PLAN AND FOUNDATION DETAILS.
- 42" HIGH X 36" WIDE 1 1/4" DIA. PAINTED STEEL GATE WITH EGRESS LATCH, TYP.
- LIGHT POLE LOCATION, HEIGHT NOT TO EXCEED 20 FT. SEE DETAIL ON SHEET ES.1.0.

LANDSCAPE REQUIREMENTS:

GROSS LOT AREA: 110,664 S.F. (2.54 ACRES)
BUILDING AREA: - 16,500 S.F. (2 BLDGS)
NET LOT AREA: 94,164 S.F.
x 15%
REQUIRED LS: 14,125 S.F.
PROVIDED LS ONSITE: 9,758 S.F.
PROVIDED LS OFFSITE: 7,234 S.F.

PARKING REQUIREMENTS:

BUILDING A REQUIRED:
TOTAL BUILDING SQ. FT. = 8,250 S.F. = 4,125 S.F. RESTAURANT, 4,125 S.F. RETAIL
RESTAURANT 8 SPACES/1,000 S.F. (125)
RETAIL 4 SPACES/1,000 S.F. (250)
TOTAL BUILDING 1 SPACES = 50 SPACES
NMBC TABLE 1106.1 36-50 = 3 H.C. SPACES
2018 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES

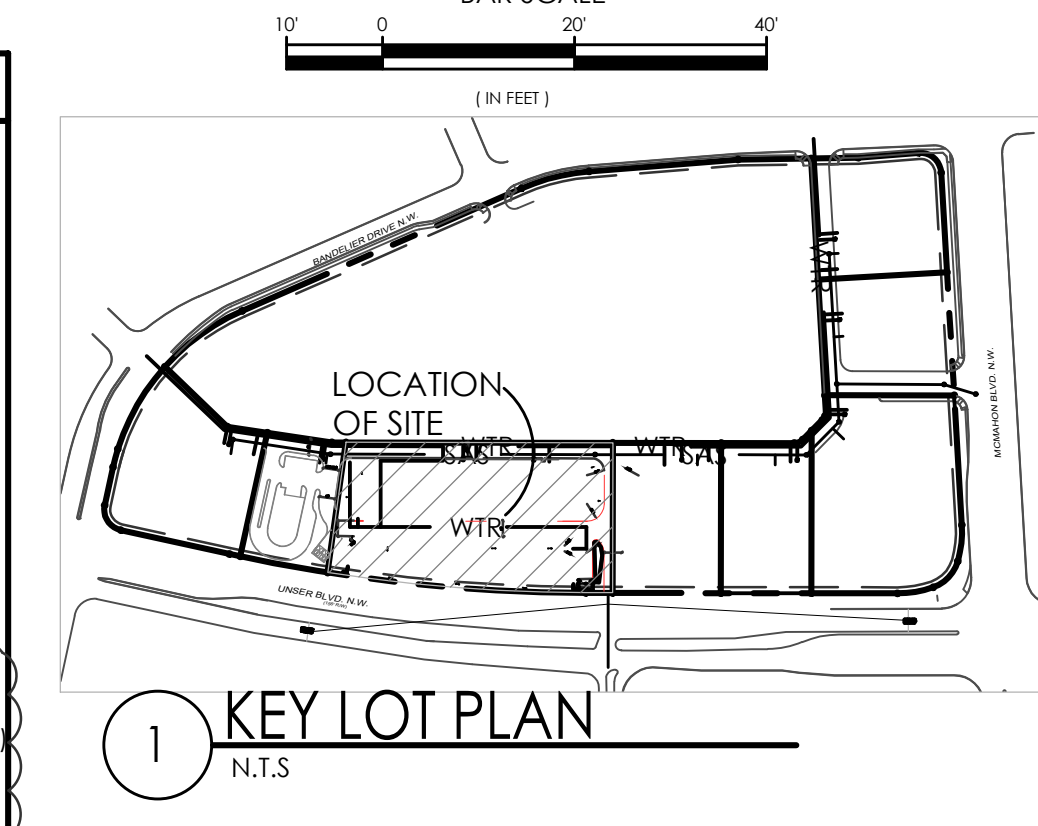
BUILDING B REQUIRED:
TOTAL BUILDING SQ. FT. = 8,250 S.F. = 4,125 S.F. RESTAURANT, 4,125 S.F. RETAIL
RESTAURANT 8 SPACES/1,000 S.F. (125)
RETAIL 4 SPACES/1,000 S.F. (250)
TOTAL BUILDING 1 SPACES = 50 SPACES
NMBC TABLE 1106.1 36-50 = 3 H.C. SPACES
2018 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES

TOTAL PARKING REQUIRED 2 BUILDINGS
TOTAL PARKING PROVIDED

100 SPACES = 138 TOTAL SPACES PROVIDED
102 REGULAR SPACES (INCLUDING 6 H.C. SPACES)
36 SMALL CARS (LESS THAN 30% ALLOWED, 44 MAX)
5 MOTORCYCLE SPACES
= 10% OF REQUIRED OFF STREET PARKING = 10 BIKE SPACES

BIKE SPACES NON-RESIDENTIAL

ENLARGED SITE PLAN



UNSER & MCMAHON CENTER
ENLARGED SITE PLAN
10621 UNSER BLVD NW
ALBUQUERQUE, NM 87114
PROJECT #2063

REVISION	DATE
09-22-2022	04-10-2024
11-07-2022	
02-06-2023	
05-15-2023	
08-16-2023	

STATE OF NEW MEXICO

RICHARD P. BENNETT

No. 1240

07-20-2021

REGISTERED ARCHITECT

RBA ARCHITECTURE, PC

ARCHITECTURE
PLANNING
DESIGN

10621 UNSER BLVD NW
ALBUQUERQUE, NM 87114
WWW.RBAARCHITECT.COM

DATE	03-30-2021
SHEET NUMBER	AS-1.1