

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 12, 2024

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: 10621 Unser Blvd NW
Lot 4 Unser and McMahon Center
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 04/10/24
Engineer's Stamp Date: 04/12/22
Hydrology File: A11D017B**

Dear Mr. Bohannon:

PO Box 1293

Based **solely** on the Certification received 04/11/2024, this letter serves as a “green tag” from Hydrology Section for a **30-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

NM 87103

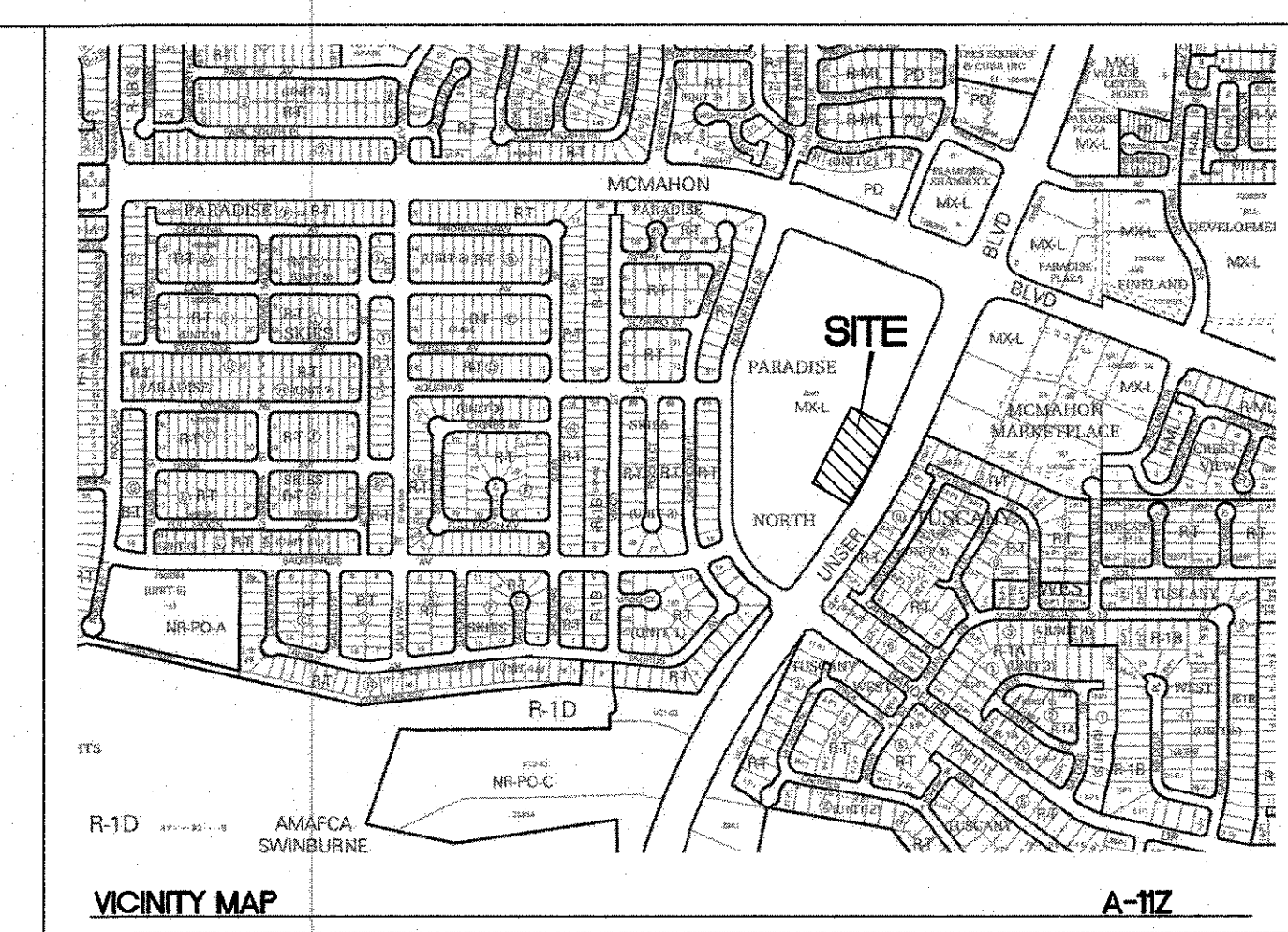
1. Once the contractor has addressed the punch list items, please resubmit to PLNDRS@cabq.gov when ready with an updated City of Albuquerque engineer's certification on the as-built Grading & Drainage Plan.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

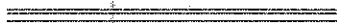




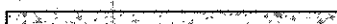








Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



LEGAL DESCRIPTION:
LOT 4 PLAT OF OF UNSER AND MCMAHON CENTER WITHIN THE TOWN OF ALAMED GRANT
PROJECTED SECTION 2, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

- | | |
|---|---|
|  | CURB & GUTTER |
|  | BOUNDARY LINE |
|  | EASEMENT |
|  | EXISTING STORM DRAIN |
|  | BUILDING |
|  | PROPOSED SIDEWALK |
|  | EXISTING CURB & GUTTER |
|  | WATER BLOCK |
|  | LANDSCAPING |
|  | EXISTING INDEX CONTOUR |
|  | EXISTING CONTOUR |
|  | PROPOSED INDEX CONTOUR |
|  | PROPOSED CONTOUR |
|  | EXISTING ASPHALT TO REMAIN (PRIVATE ROAD) |

KEYED NOTES

- ① EXISTING CURB & GUTTER TO REMAIN
- ② EXISTING ASPHALT TRAIL TO REMAIN
- ③ PROPOSED 2' CURB CUT
- ④ PROPOSED EDGE OF ASPHALT -- NO CURB
- ⑤ ~~PROPOSED TRENCH DRAIN, S = 0.4% MIN., SEE DETAIL THIS SHEET~~
- ⑥ PROPOSED 6" PVC STORM DRAIN, S=1.5% MIN.
- ⑦ TIE NEW ONSITE CURB TO EXISTING CURB
- ⑧ PROPOSED 6" HEADER CURB
- ⑨ PROPOSED RETAINING WALL W/ PEDESTRIAN RAILING
- ⑩ PROPOSED CONCRETE STAIRS (4 5" STEPS), SEE DETAIL THIS SHEET
- ⑪ PROPOSED CONCRETE STAIRS (3 5" STEPS), SEE DETAIL THIS SHEET
- ⑫ EXTENDED FOOTING, SEE PLAN FOR TOP/BOTTOM OF FOOTING
- ⑬ EXTENDED STEMWALL, SEE PLAN FOR TOP/BOTTOM OF WALL

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 2" GRAVEL

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

ONALD R. BROADMAN, NIM# 7588, OF THE FIRM, TIERRA BENEVOLE LLC, HEREBY CERTIFY THAT THIS DOCUMENT HAS BEEN GRANTED AND WILL REMAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE INTENT OF THE APPROVED PLAN DATED 4/12/22. THE RECORD INFORMATION ENTERED INTO THE ORIGINAL DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NIM# 418374 OF THE FIRM CARTESIAN SURVEYS AND INSPECTION THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/14/22 AND HAVE DETERMINED AND INSURE THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

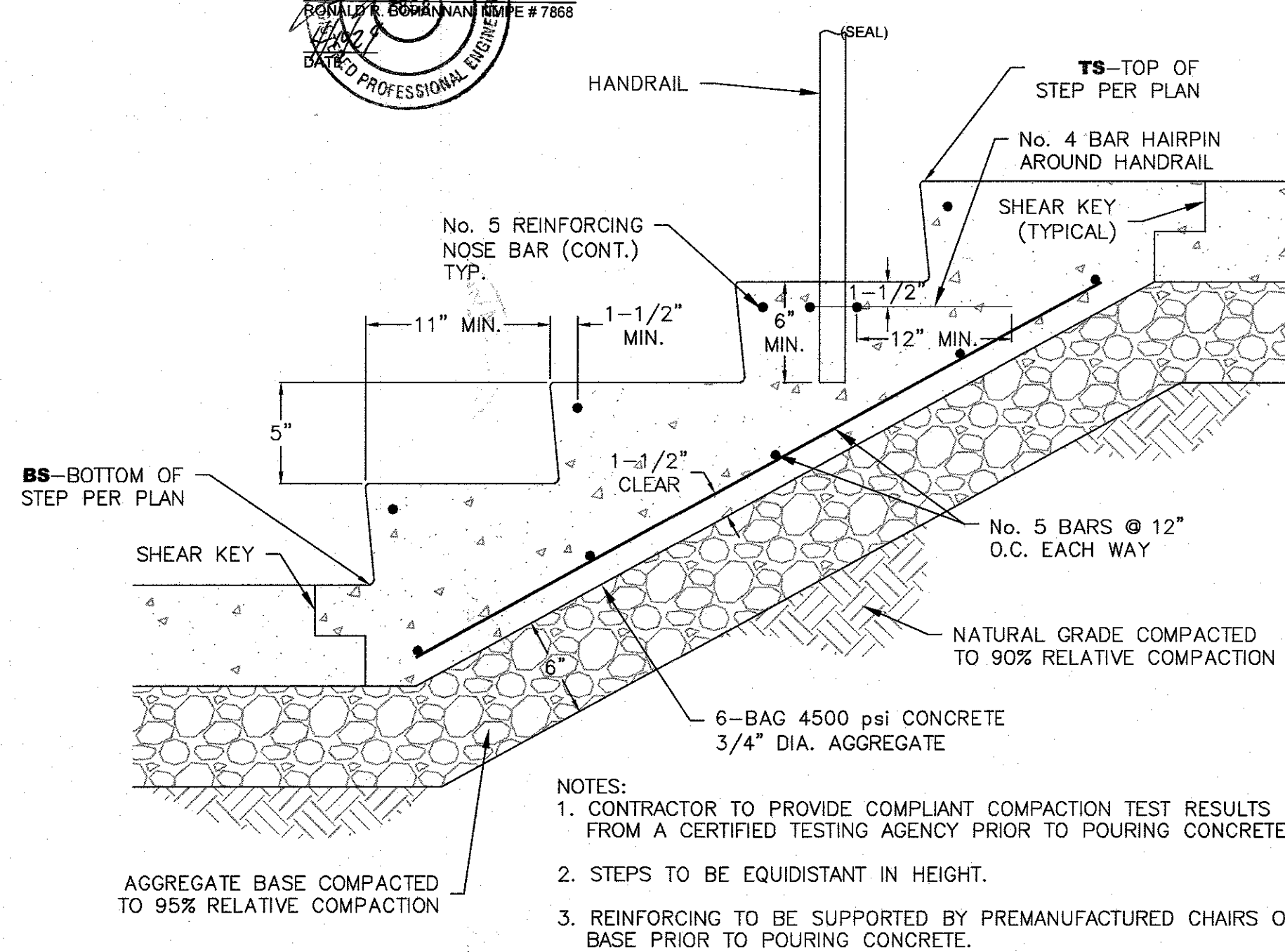
VERIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY 30-DAY DRAINAGE CERTIFICATION

EXCEPTIONS:
INVESTIGATE DRAINAGE ISSUES AND MAKE REPAIRS ISSUES AS NOTED

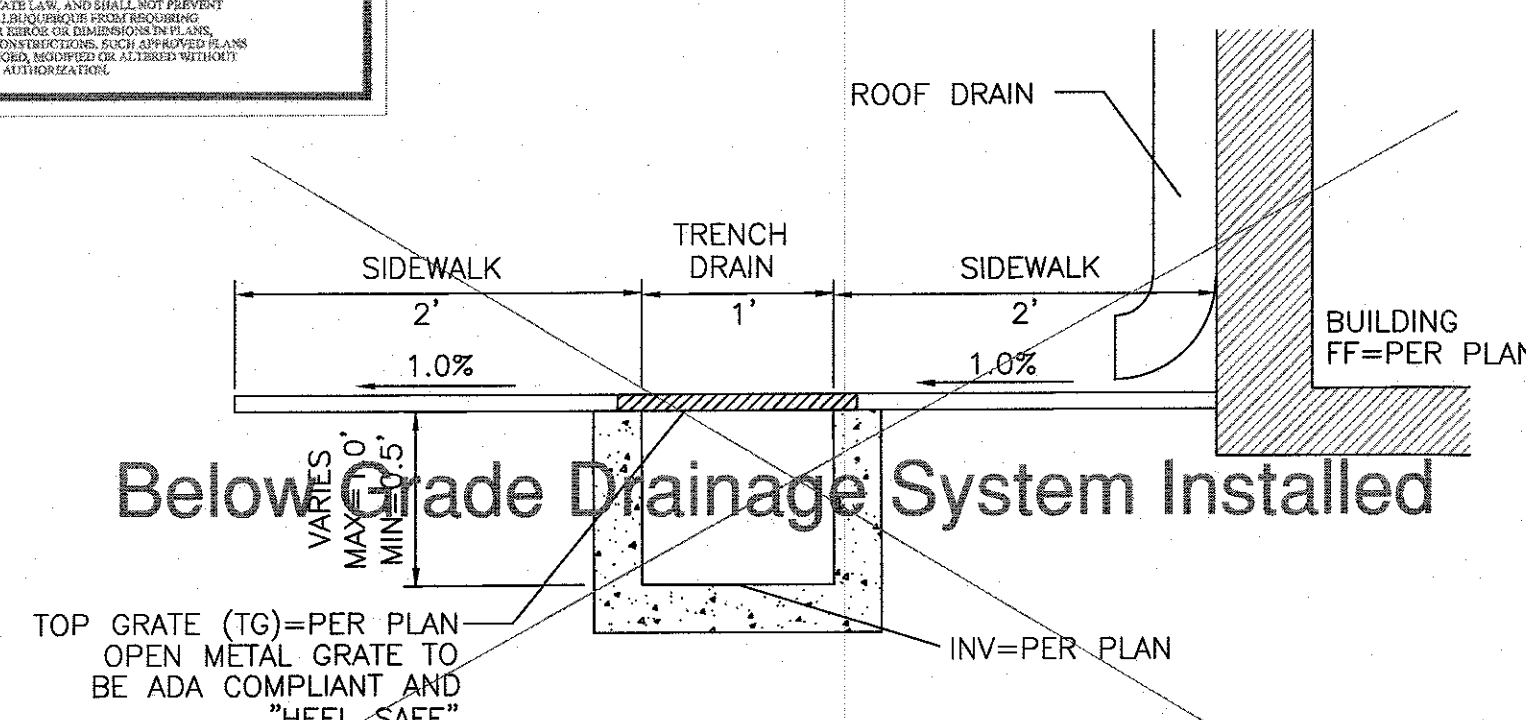
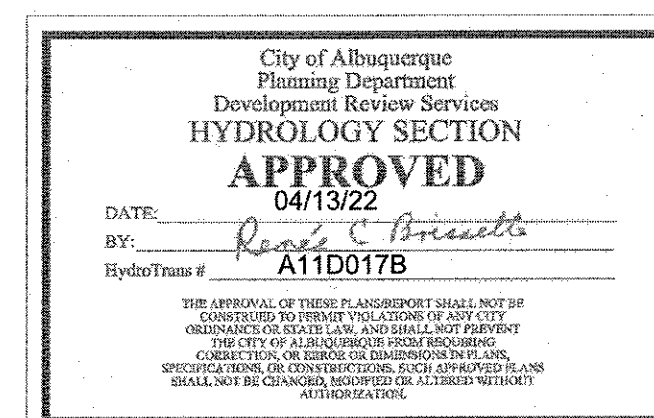
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIALLY COMPLY WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

CERTIFICATION
SPOT ELEVATION NOTE:
ALL SPOT ELEVATIONS SHOWN ARE FLOWLINE/BOTTOM
OF CURB UNLESS OTHERWISE NOTED.


RONALD R. BOHANNAN LICENSE # 7868
DATE 1/10/21
REGISTERED PROFESSIONAL ENGINEER



CONCRETE STAIR DETAIL



TRENCH DRAIN DETAIL

<p>ENGINEER'S SEAL</p>  <p>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</p> <p><i>[Signature]</i> 04-22-22</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>LOT 4, UNSER/MCMAHON CENTER ALBUQUERQUE, NM</p> <p>GRADING AND DRAINAGE PLAN</p> <p><i>[North Arrow]</i></p> <p><i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWN BY pm</p> <p>DATE 4-11-22</p> <p>DRAWING 2020015-GR</p> <p>SHEET # C1.0</p> <p>JOB # 2020015</p>
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