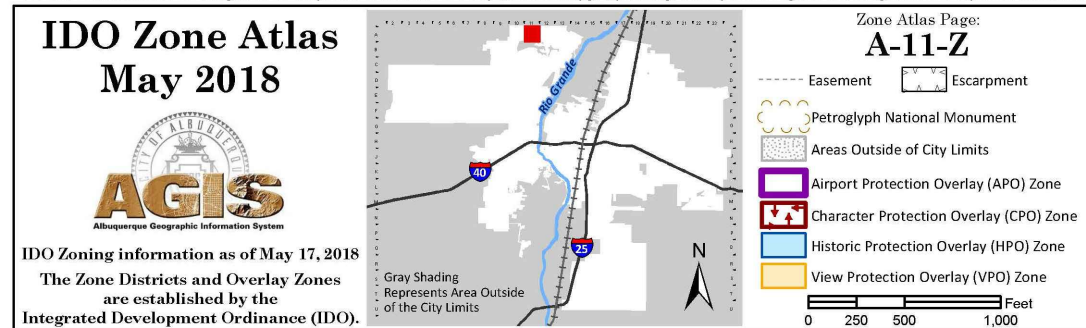


LOT 3
UNDER SEPARATE
BUILDING PERMIT

UNSER BLVD. N.W.
(156' R/W)



KEYED NOTES

- 2'-0" CURB RADIUS, TYP.
- 5'-0" CURB RADIUS.
- CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 241.5A, REF: DET. A8/AS-2.0.
- ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL A5/AS-2.0.
- ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABQ) STANDARDS 244.3, REF: A4/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, LOCATE SIGN (44-L4.1.8 NMSA 1978), REF: DETAIL A4/AS-2.0.
- HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (6) PLACE REF: DETAIL A9/AS-2.0.
- CONCRETE PARKING BUMPER, TYP. REF: DETAIL A13/AS-2.0.
- 24" TRUNCATED DOMES, TYP.
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP. REF: DETAIL A7/AS-2.0.
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A4/AS-2.0, TYP.
- CONSTRUCT NEW CONCRETE SIDEWALK PER CABQ STANDARD DWG. 2430, REF: A11-A12/AS-2.0, REF: PLAN FOR SIDEWALK WIDTH, TIE INTO EXISTING SIDEWALKS AS NEEDED.
- ASPHALT PAVING OVER BASE COURSE, REF: GEOTECH REPORT.
- EDGE OF ASPHALT.
- DOUBLE DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1/AS-2.1.
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6' WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
- NEW FIRE HYDRANT LOCATION.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- BIKE RACK FOR (5) BICYCLES, REF: DETAIL A13/AS-2.0.
 - 30" TALL X 18" WIDE.
 - BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
 - THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
- CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS'. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- CONCRETE PAVEMENT.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
- ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PNM.
- EXISTING 10' WIDE ASPHALT SIDEWALK / BIKE PATH.
- EXISTING OFF SITE LANDSCAPING.
- CONSTRUCT NEW DRIVE PAD PER C.O.A. STD. DWG. 2426 & 2420, REF: CIVIL DRAWINGS.
- PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- PAINTED "DO NOT ENTER" - WHITE ON PAVEMENT PER CABQ STANDARDS REF: DETAIL A19/AS-2.0.
- DO NOT ENTER SIGN PER CABQ STANDARDS #2600-403, REF: DETAIL A14/AS-2.0.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER C.O.A. STANDARD DRAWINGS 241.5A.
- STANDARD DRAWING WALL, REF: FOUNDATION PLAN AND DETAILS.
- PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS.
- 10' PUBLIC UTILITY EASEMENT.
- "ONE WAY" SIGN PER CABQ STANDARD 2600-403, REF: DETAIL A17/AS-2.0.
- 42" HIGH 1 1/4" DIA. PAINTED STEEL GUARDRAIL, REF: DETAILS ON SHEET S-2.0.
- CURB RAMP PER CABQ STANDARD DWG. 2446, REF: CIVIL DRAWINGS.
- CURB RAMP PER CABQ STANDARD DWG. 2441, REF: CIVIL DRAWINGS.
- ACCESSIBLE CONC. RAMP, REF: FOUNDATION PLAN AND DETAILS.
- CONC. STAIRS, REF: GRADING AND DRAINAGE PLAN AND FOUNDATION PLAN AND DETAIL.
- TRANSFORMER LOCATION, REF: ELECTRICAL PLANS.
- 42" HIGH 1 1/4" DIA. PAINTED STEEL FENCE, REF: FOUNDATION PLAN AND FOUNDATION DETAILS.
- 42" HIGH X 36" WIDE 1 1/4" DIA. PAINTED STEEL GATE WITH EGRESS LATCH, TYP.
- LIGHT POLE LOCATION, HEIGHT NOT TO EXCEED 20 FT. SEE DETAIL ON SHEET ES1.0.

LANDSCAPE REQUIREMENTS:

GROSS LOT AREA: 110,664 S.F. (2.54 ACRES)
BUILDING AREA: - 16,500 S.F. (2 BLDGS)
NET LOT AREA: 94,164 S.F.
x 15%
REQUIRED LS: 14,125 S.F.
PROVIDED LS ONSITE: 9,758 S.F.
PROVIDED LS OFFSITE: 7,234 S.F.

PARKING REQUIREMENTS:

BUILDING A REQUIRED:
TOTAL BUILDING SQ. FT. = 8,250 S.F. = 4,125 S.F. RESTAURANT, 4,125 S.F. RETAIL
RESTAURANT 8 SPACES/1,000 S.F. (125)
RETAIL 4 SPACES/1,000 S.F. (250)
TOTAL BUILDING 1 SPACES = 50 SPACES
NMBC TABLE 1106.1 36-50 = 3 H.C. SPACES
2018 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES

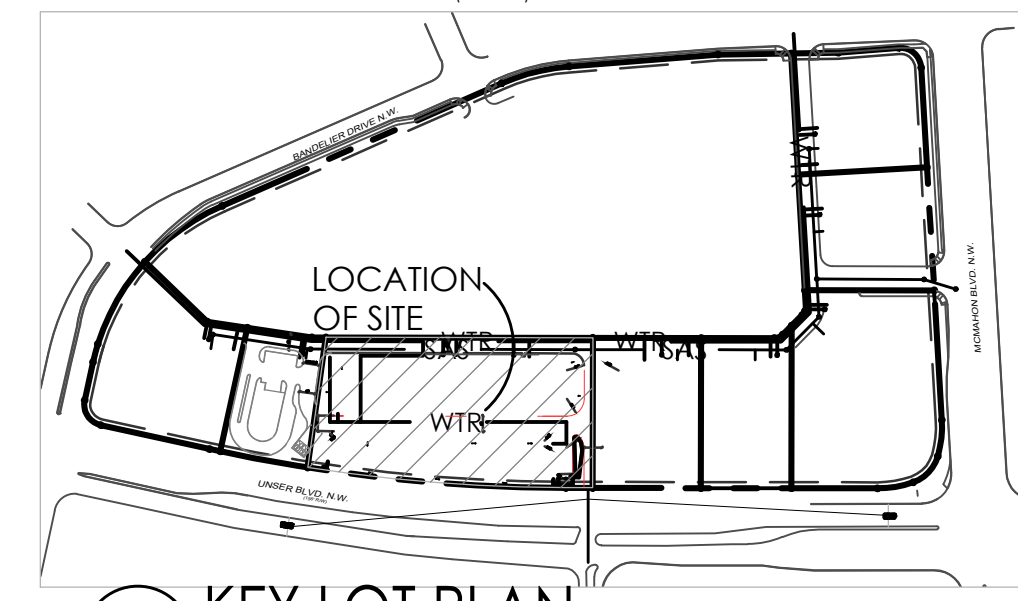
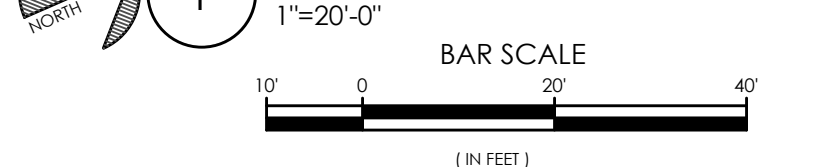
BUILDING B REQUIRED:
TOTAL BUILDING SQ. FT. = 8,250 S.F. = 4,125 S.F. RESTAURANT, 4,125 S.F. RETAIL
RESTAURANT 8 SPACES/1,000 S.F. (125)
RETAIL 4 SPACES/1,000 S.F. (250)
TOTAL BUILDING 1 SPACES = 50 SPACES
NMBC TABLE 1106.1 36-50 = 3 H.C. SPACES
2018 IDO TABLE 5-5-4 MOTORCYCLE = 26-50 = 2 SPACES

TOTAL PARKING REQUIRED 2 BUILDINGS
TOTAL PARKING PROVIDED

100 SPACES = 138 TOTAL SPACES PROVIDED
102 REGULAR SPACES (INCLUDING 6 H.C. SPACES)
36 SMALL CARS (LESS THAN 30% ALLOWED, 44 MAX)
5 MOTORCYCLE SPACES
= 10% OF REQUIRED OFF STREET PARKING = 10 BIKE SPACES

BICYCLE SPACES NON-RESIDENTIAL

ENLARGED SITE PLAN



KEY LOT PLAN

N.T.S.

UNSER & MCMAHON CENTER
ENLARGED SITE PLAN
10621 UNSER BLVD NW
ALBUQUERQUE, NM 87114
PROJECT #2063

REVISION	DATE
09-22-2022	04-10-2024
11-07-2022	
02-06-2023	
05-15-2023	
08-16-2023	



RBA ARCHITECTURE, PC PLANNING DESIGN
DATE 03-30-2021
SHEET NUMBER AS-1.1