

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 13, 2022

Ronald Bohannon, PE  
Tierra West, LLC  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: Take 5 Oil Change  
Unser Blvd. and Crown Rd.  
Conceptual Traffic Circulation Layout for DRB Approval  
Engineer's Stamp 07-12-22 (A11-D018)**

Dear Mr. Bohannon,

The conceptual TCL submittal received 08-11-2022 is approved for DRB submittal. When submitting this project through the building permit process, please provide a copy of the approved DRB Site plan along with a more detailed site plan for construction purposes through a second Traffic Circulation Layout submittal process. The detailed plan will be compared against the approved DRB site plan to ensure that all previously approved site infrastructure is shown with exact paving layout, dimensioning, and parking capacity. Ultimately, a copy of the approved DRB Site Plan and the more detailed stamped and signed plan will both be needed for each of the building permit plans. Please keep these originals to be used for certification of the site for final C.O. for Transportation. **A recorded/approved plat shall be provided for final DRB approval.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, Fil



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** UNSER DRIVE-THRU OIL CHANGE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TR 4 PLAT OF TRS 1, 2, 3 & 4 UPC 101106638341510104  
**City Address:** Unser Blvd NW Albuquerque, NM 87114

**Applicant:** TIERRA WEST, LLC **Contact:** Luis Noriega  
**Address:** 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109  
**Phone#:** 505-858-3100 **Fax#:** \_\_\_\_\_ **E-mail:** LNORIEGA@TIERRAWESTLLC

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 07.12.2022 **By:** Luis Noriega

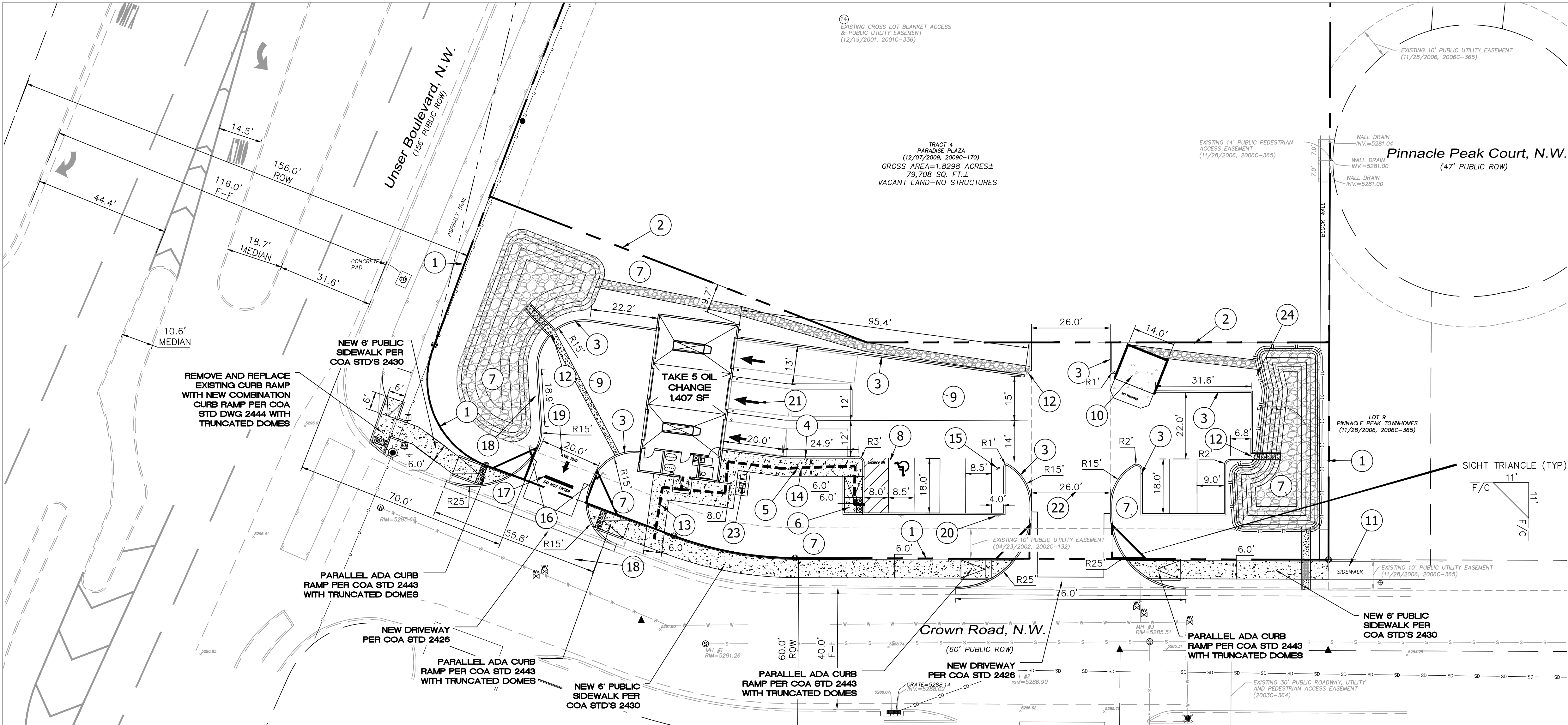
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



\\TWNAS\Z\_Drive\2022\2022007\Oil Change\dwg\DRB\2022007-TCL-07122022.dwg Jul 12, 2022 - 8:17am



KEYED NOTES

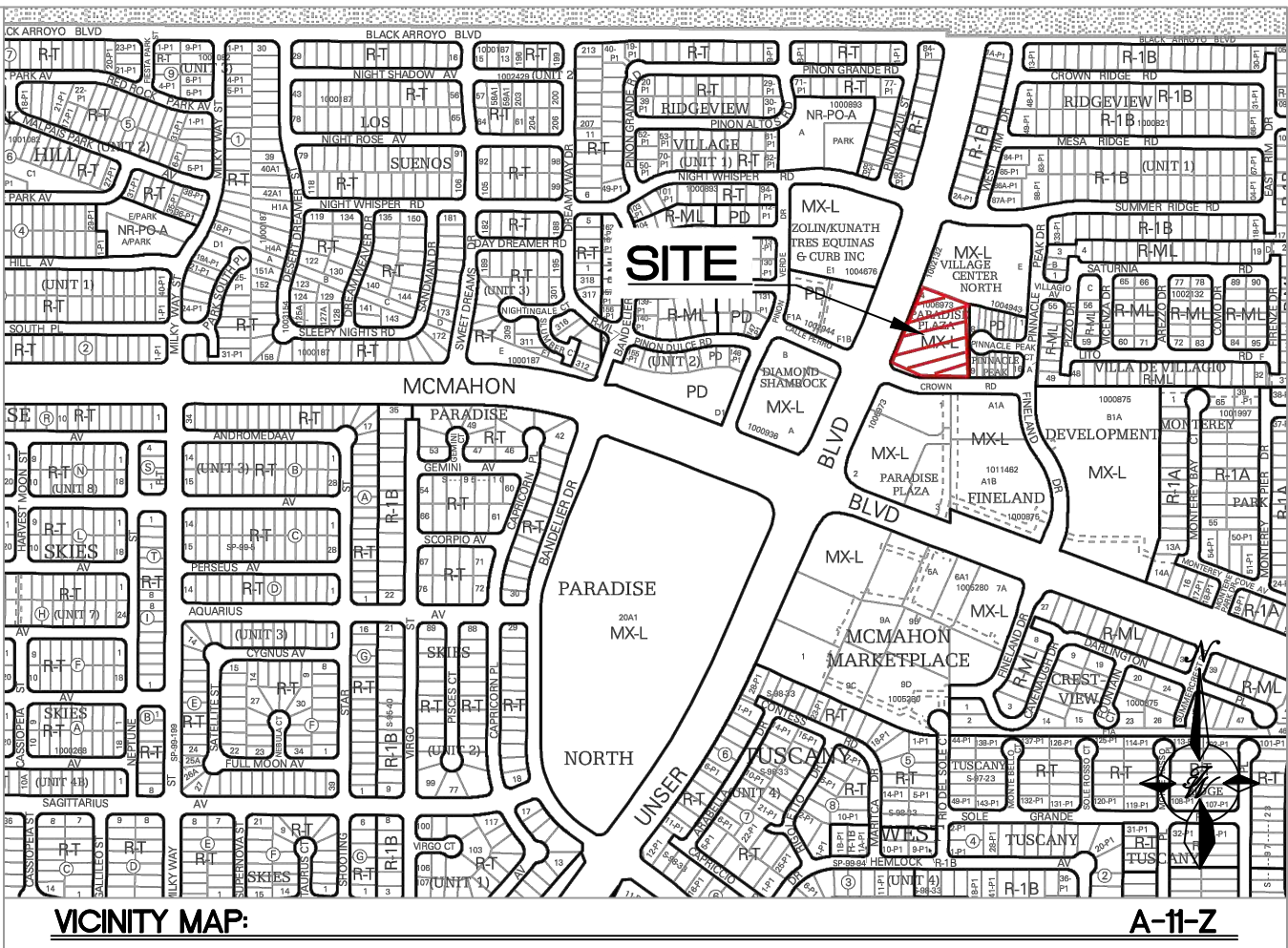
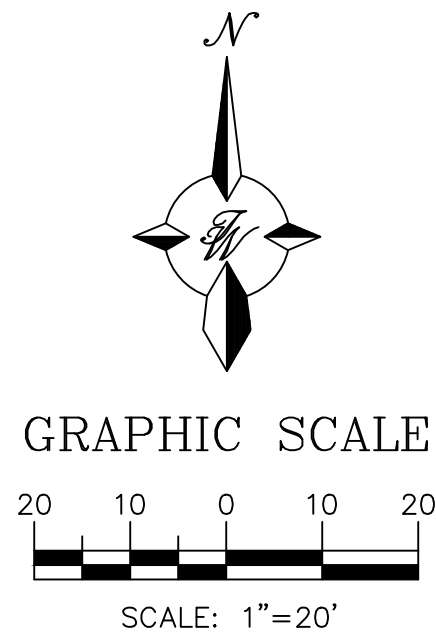
- 1 EXISTING PROPERTY LINE
- 2 PROPOSED PROPERTY LINE
- 3 HEADER CURB (SEE DETAIL, SHEET C2.1)
- 4 TURN DOWN CURB (SEE DETAIL, SHEET C2.1)
- 5 SIDEWALK PER COA STD 2430 (SEE DETAIL, SHEET C2.1)
- 6 DETAIL B - 6' WIDE PARALLEL CURB RAMP PER COA STD #2443 (SEE DETAIL, SHEET C2.1)
- 7 LANDSCAPE AREA
- 8 ADA PARKING ONLY WITH SIGN (SEE DETAIL, SHEET C2.1)
- 9 NEW ASPHALT PAVING (SEE DETAIL SHEET C2.1)
- 10 REFUSE ENCLOSURE (SEE DETAIL SHEET C2.2)
- 11 EXISTING SIDEWALK
- 12 CURB NOTCH (SEE DETAIL, SHEET C2.1)
- 13 ADA PUBLIC ACCESSIBLE PATHWAY
- 14 ADA PARKING ACCESSIBLE PATHWAY
- 15 MOTORCYCLE PARKING WITH PAINT LABEL "MC" PER COA CODE
- 16 "DO NOT ENTER" SIGN (SEE DETAIL SHEET C2.2)
- 17 "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C2.2)
- 18 "ONE WAY" SIGNAGE (SEE DETAIL, SHEET C2.2)
- 19 "ONE WAY" STRIPING (SEE DETAIL, SHEET C2.2)
- 20 MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C2.2)
- 21 TRAFFIC FLOW ARROW (SEE DETAILS SHEET C2.2)
- 22 PROPOSED 26' INGRESS/EGRESS EASEMENT TO BE GRANTED DURING PLATTING ACTION.
- 23 BIKE RACKS (SEE DETAIL SHEET C2.1)
- 24 42" (MINIMUM) WROUGHT IRON FENCE WITH MAINTENANCE GATE TO BE INSTALLED AROUND PERIMETER OF POND.

NOTES

- 1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
- 3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
- 4. ALL SYMBOLS AND ARROWS STRIPING TO BE PREFORMED HOT APPLIED THERMOPLASTIC TAPE.
- 5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS 2430 and 2415A.
- 6. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA.
- 7. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC.
- 8. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
- 9. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
- 10. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.

SITE DATA

TAKE 5 OIL CHANGE	
IDO ZONING:	MX-L
PROPOSED USAGE:	LIGHT VEHICLE REPAIR
LOT AREA:	22,591 SF (0.52 ACRE)
BUILDING AREA:	1,407 SF
PARKING: SPACES REQUIRED:	2
(1 SPACES/ 1,000 SF)	
PARKING: SPACES PROVIDED:	8
(INCLUDES HC PARKING)	
HC PARKING: SPACES REQUIRED:	1
HC PARKING: SPACES PROVIDED:	1
(1 VAN ACCESSIBLE)	
MOTORCYCLE PARKING: SPACES REQUIRED:	1
(1 SPACE PER 1-25 REQUIRED PARKING SPACES)	
MOTORCYCLE PARKING: SPACES PROVIDED:	1
BICYCLE PARKING REQUIRED:	3 SPACES
(3 SPACES PER SITE)	
BICYCLE PARKING PROVIDED:	3 SPACES
LANDSCAPE AREA REQUIRED:	3,175 SF
LANDSCAPE AREA PROVIDED:	12,688 SF



LEGAL DESCRIPTION:

TR 4 PLAT OF TRS 1, 2, 3 + 4 PARADISE PLAZA CONT 18131 AC

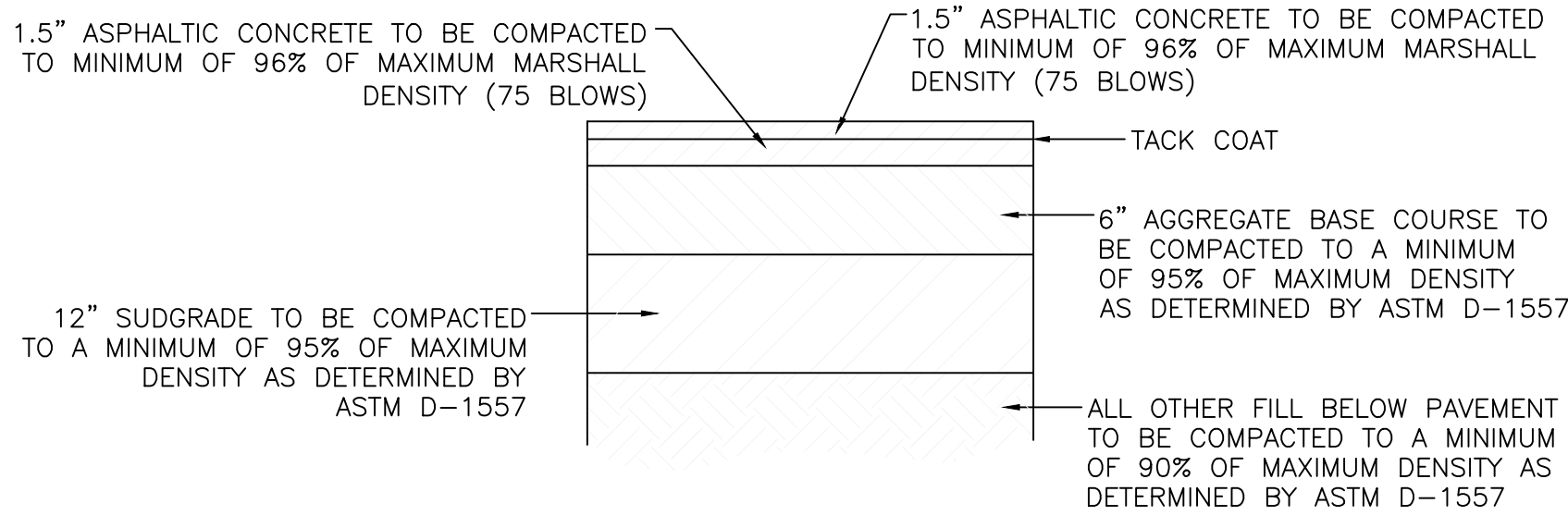
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- GUARD RAIL
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

ENGINEER'S SEAL  RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868  07/12/2022  RONALD R. BOHANNAN P.E. #7868	TAKE 5 OIL CHANGE ALBUQUERQUE, N.M.	DRAWN BY RMG
	CONCEPT TRAFFIC CIRCULATION LAYOUT (TCL)	DATE 07/08/2022
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # <b>C1</b>
		JOB # 2022007



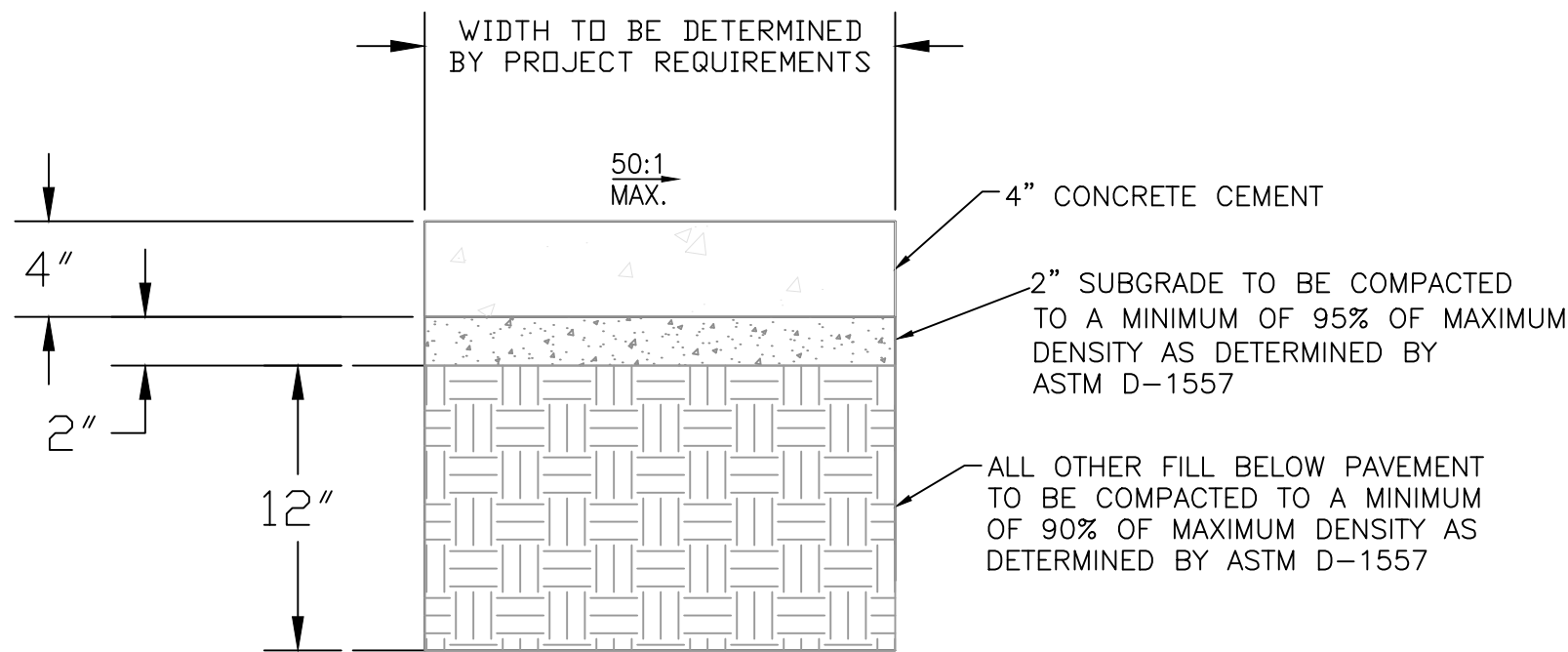
\\TINAS\Z\_Drive\2022\2022007 User Drive-Thru Oil Change.dwg EPC\2022007\_DTE.dwg Jul 12, 2022 -- 8:01am



SITE ASPHALT PAVEMENT SECTION

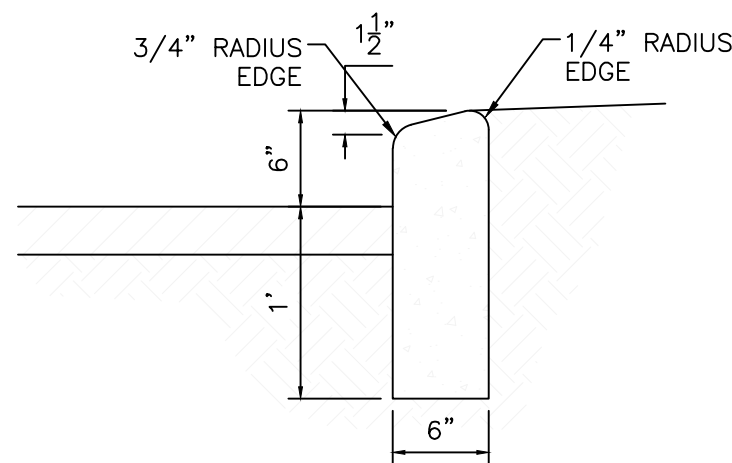
NTS

NOTE: CONTRACTOR TO VERIFY WITH OWNER PROVIDED SOILS REPORT.



CONCRETE SIDEWALK SECTION

NTS

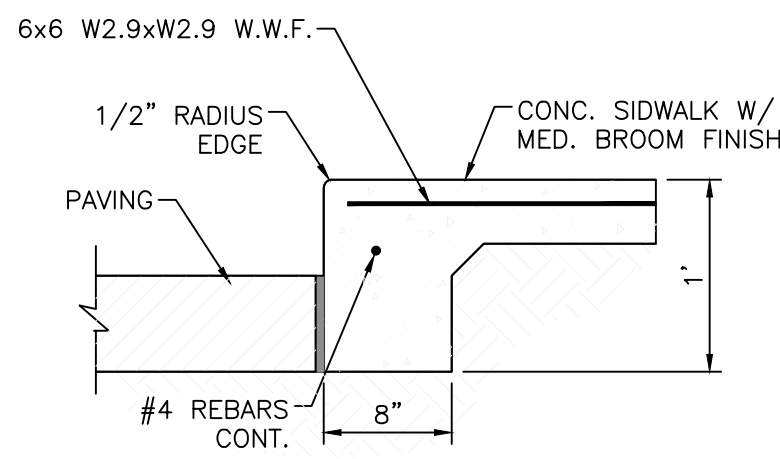


CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

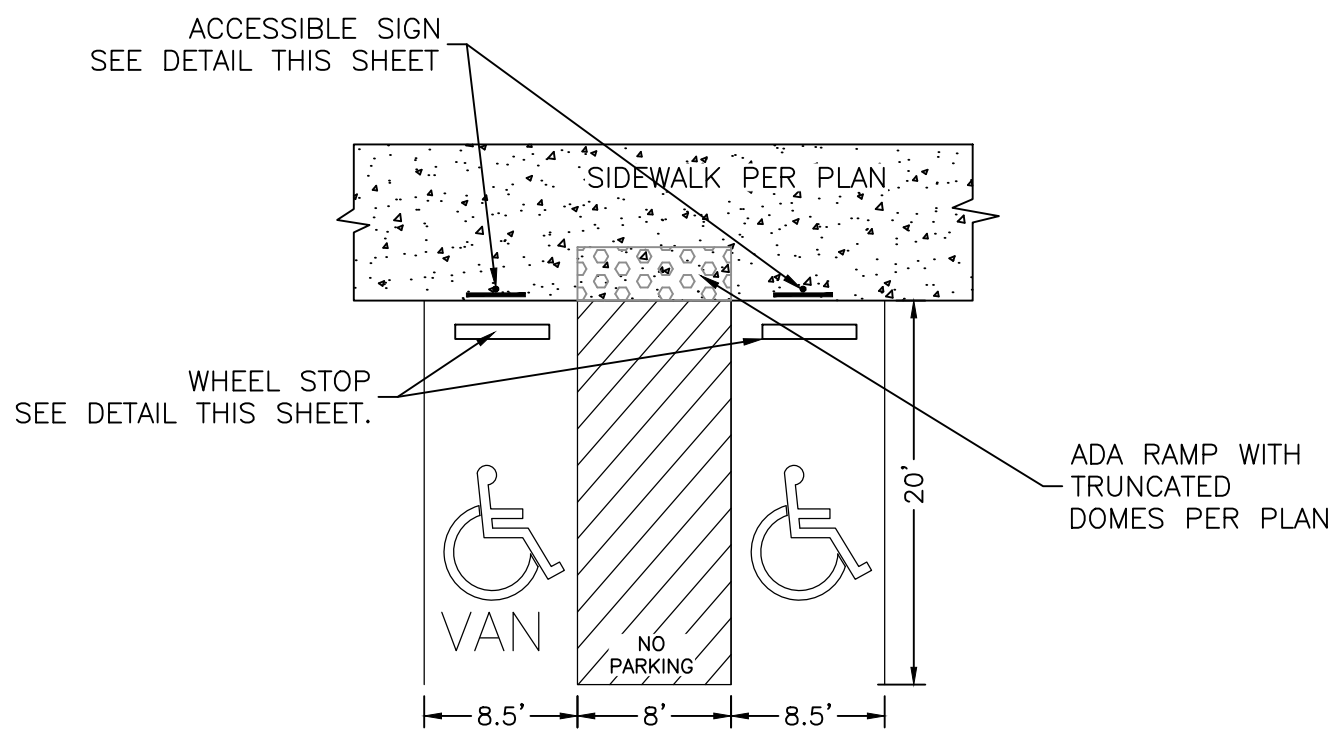
6" HEADER CURB DETAIL

1"=1'



DETAIL-TURNDOWN CURB

NTS

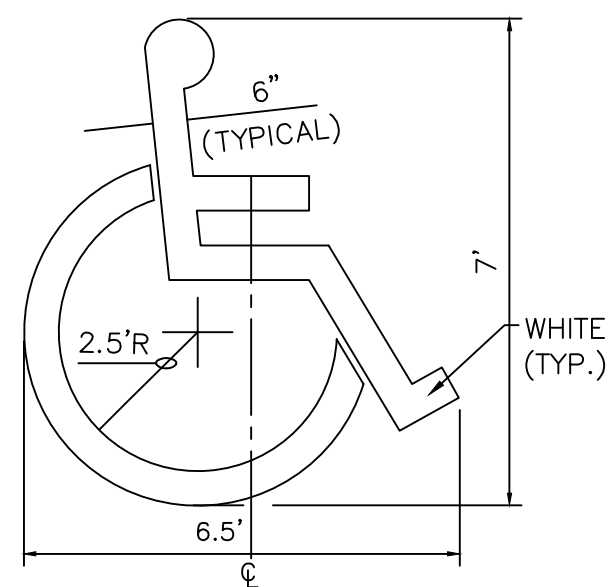


NOTES:

- 1)International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2)Parking space lines and diagonal striping to be painted blue.
- 3)Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
- 4)ADA parking areas -- not to exceed a slope greater than 2% in any direction

HC PARKING DETAIL

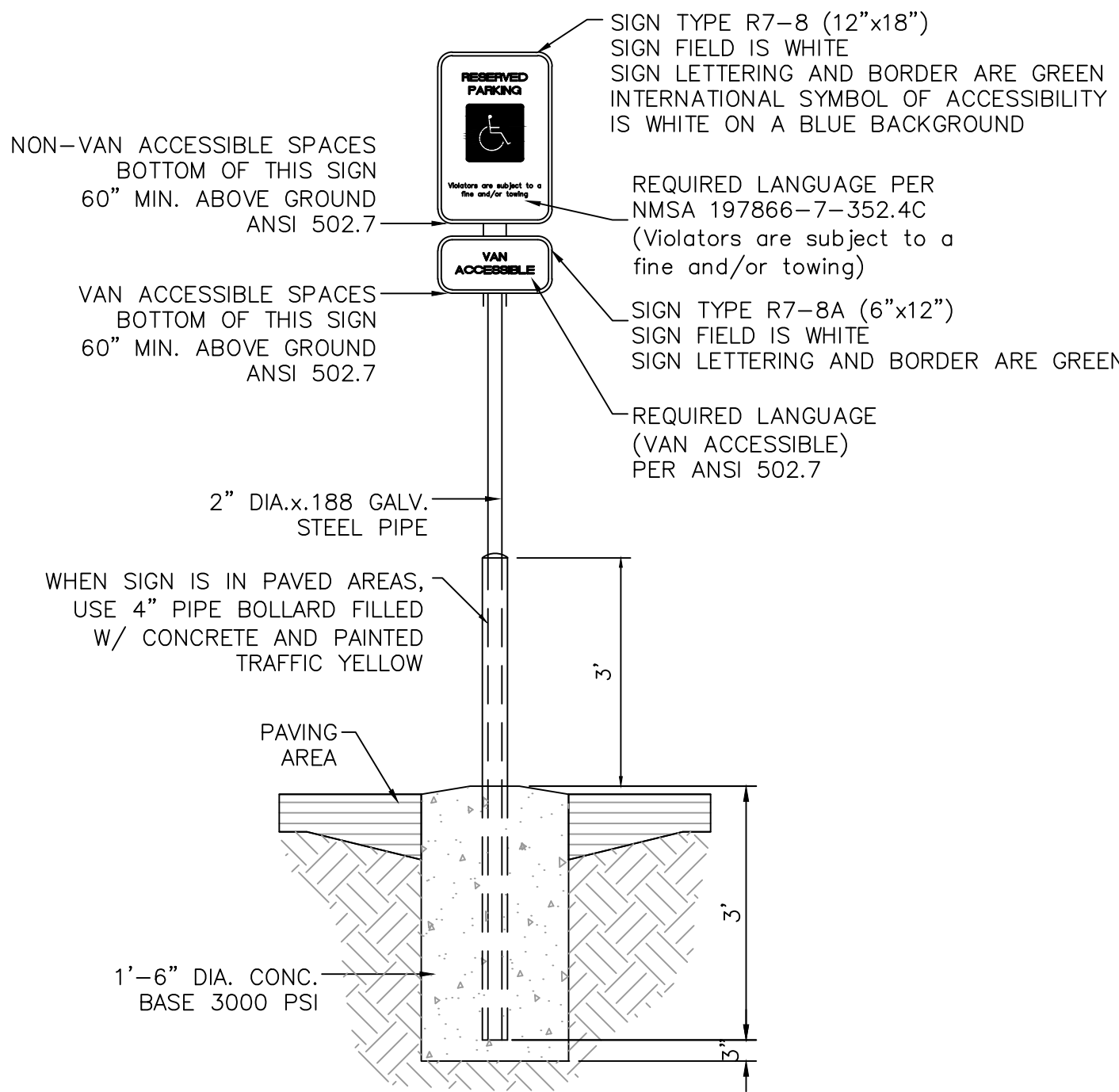
SCALE: NTS



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

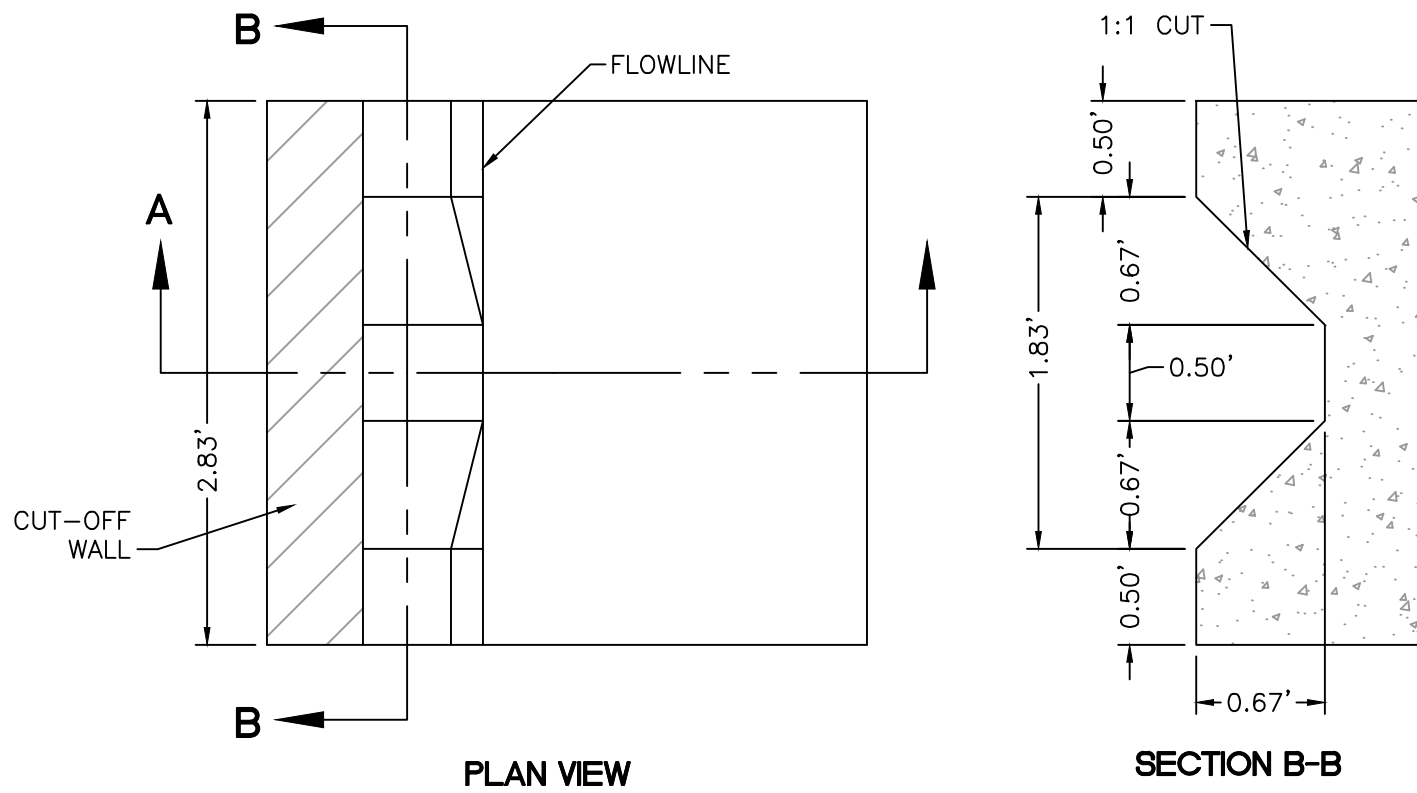
ACCESSIBLE PARKING SYMBOL

NTS



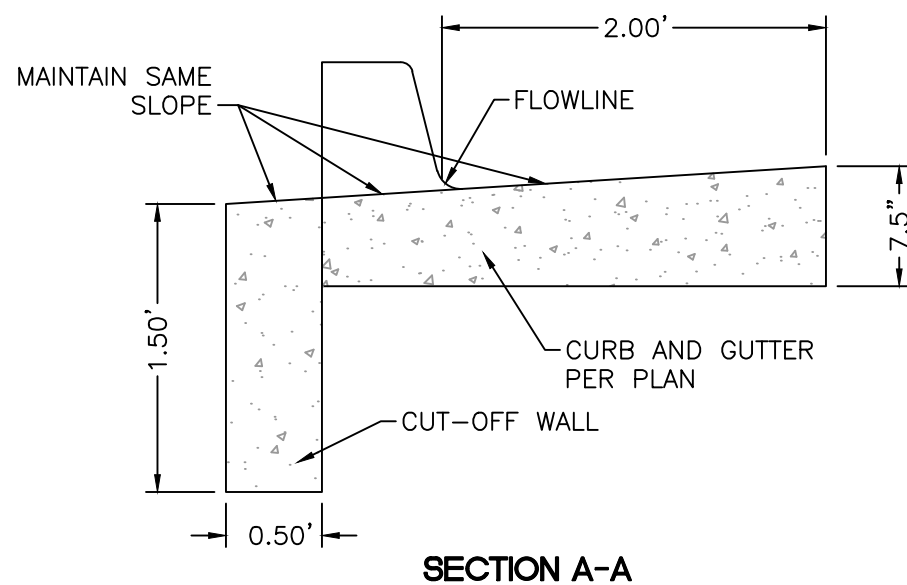
ACCESSIBLE PARKING SIGN

NTS



PLAN VIEW

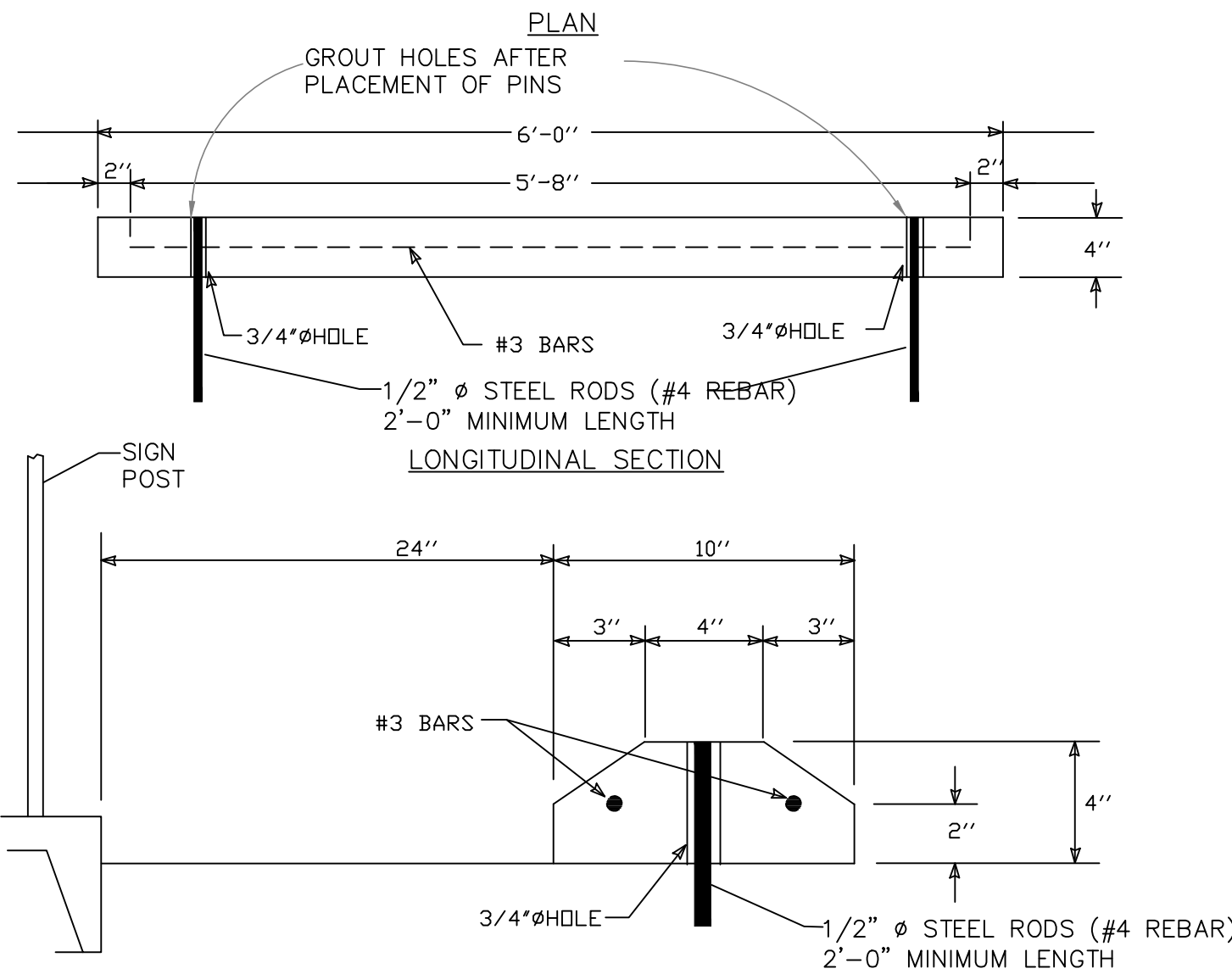
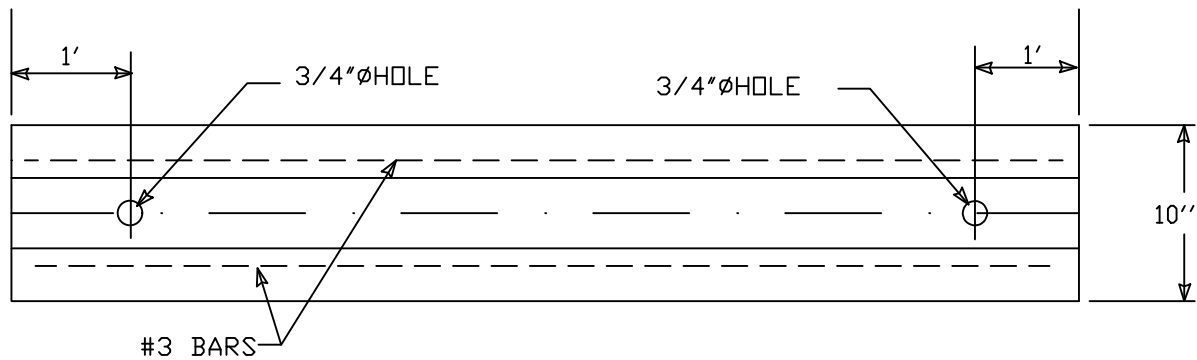
SECTION B-B



SECTION A-A

CURB NOTCH DETAIL

NTS



CROSS SECTION

WHEEL STOP

SCALE: NTS

GENERAL NOTES

1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
2. SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES

- A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP'S RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX, MEASURED PARALLEL TO THE BACK OF THE CURB.
- F. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE PAVING
	PARALLEL AND DIAGONAL CURB RAMPS DWG. 2443 JUNE 2019

DETAIL A-PARALLEL CURB RAMP

DETAIL B-PARALLEL CURB RAMP

DETAIL C- PARALLEL CURB RAMP



ITE Trip Gen  
Last Updated

11th Edition  
6/1/2022

ITE Trip Type  
Services

Land Use Code IV Value  
941 1.4

Services

941 1.4

**Unser Drive-Thru Oil Change**

Peak Hour Adjacent (AM)							Peak Hour Adjacent (PM)						Total AM/PM	
Average Rate (Total)	Fitted Curve	R <sup>2</sup>	Equation	Enter	Exit		Average Rate (Total)	Fitted Curve	R <sup>2</sup>	Equation	Enter	Exit	Calculated Trips	Fitted Curve
8	N/A	N/A	N/A	6	2		12	N/A	N/A	N/A	5	7	20	0
Weekday														
Average Rate (Total)	Fitted Curve	R <sup>2</sup>	Equation	Enter	Exit									
97	N/A	N/A	N/A	48	49									

**Future Restaurant**

ITE Trip Type  
Services

Land Use Code IV Value  
932 4.85

Services

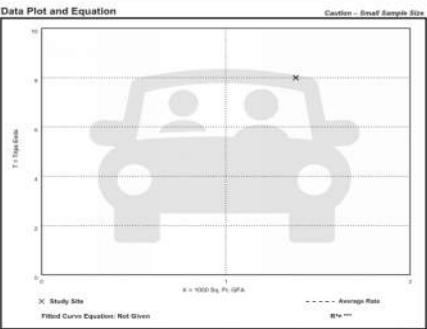
932 4.85

Peak Hour Adjacent (AM)							Peak Hour Adjacent (PM)						Total AM/PM	
Average Rate (Total)	Fitted Curve	R <sup>2</sup>	Equation	Enter	Exit		Average Rate (Total)	Fitted Curve	R <sup>2</sup>	Equation	Enter	Exit	Calculated Trips	Fitted Curve
46	N/A	N/A	N/A	25	21		44	N/A	N/A	N/A	27	17	90	0
Weekday														
Average Rate (Total)	Fitted Curve	R <sup>2</sup>	Equation	Enter	Exit									
520	N/A	N/A	N/A	260	260									

Quick Lubrication Vehicle Shop  
(941)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 7 and 9 a.m.  
Setting/Location: General Urban/Suburban  
Number of Studies: 1  
Avg. 1000 Sq. Ft. GFA: 1  
Directional Distribution: 75% entering, 25% exiting

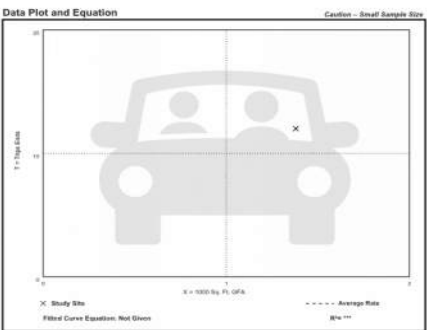
Vehicle Trip Generation per 1000 Sq. Ft. GFA		
Average Rate	Range of Rates	Standard Deviation
5.80	5.90 - 5.80	---



Quick Lubrication Vehicle Shop  
(941)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 4 and 6 p.m.  
Setting/Location: General Urban/Suburban  
Number of Studies: 1  
Avg. 1000 Sq. Ft. GFA: 1  
Directional Distribution: 42% entering, 58% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA		
Average Rate	Range of Rates	Standard Deviation
8.70	8.70 - 8.70	---

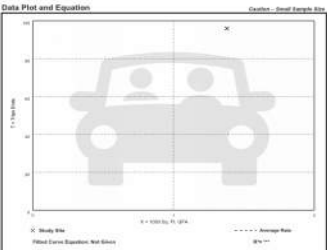


Quick Lubrication Vehicle Shop  
(941)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 1  
Avg. 1000 Sq. Ft. GFA: 1  
Directional Distribution: 42% entering, 58% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA		
Average Rate	Range of Rates	Standard Deviation
89.57	89.57 - 89.57	---



## High-Turnover (Sit-Down) Restaurant (932)

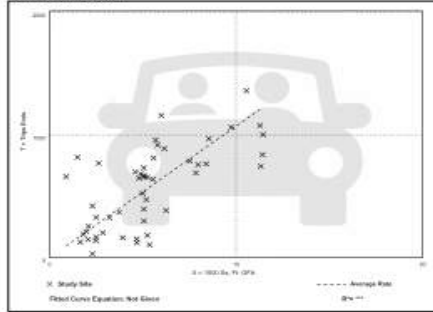
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 50  
Avg. 1000 Sq. Ft. GFA: 5  
Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
107.20	15.04 - 742.41	90.72

#### Data Plot and Equation



General Urban/Suburban and Rural (and Uses 800-900) 473

## High-Turnover (Sit-Down) Restaurant (932)

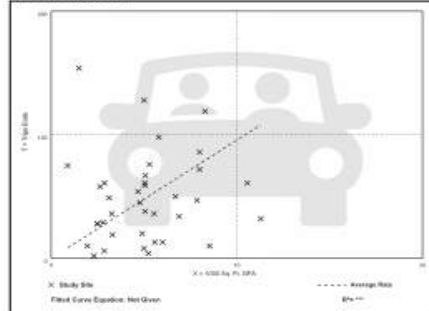
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Peak Hour of Adjacent Street Traffic,  
One Hour Between 7 and 9 a.m.  
Setting/Location: General Urban/Suburban  
Number of Studies: 37  
Avg. 1000 Sq. Ft. GFA: 5  
Directional Distribution: 50% entering, 45% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.57	0.76 - 152.38	11.61

#### Data Plot and Equation



474 Trip Generation Manual 11th Edition - Volume 5



## High-Turnover (Sit-Down) Restaurant (932)

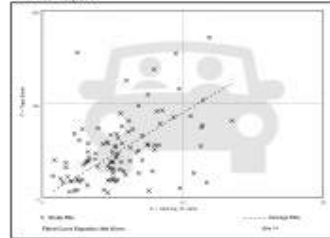
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA  
On a: Weekday

Peak Hour of Adjacent Street Traffic,  
One Hour Between 4 and 6 p.m.  
Setting/Location: General Urban/Suburban  
Number of Studies: 178  
Avg. 1000 Sq. Ft. GFA: 5  
Directional Distribution: 45% entering, 55% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.55	0.36 - 40.55	0.76

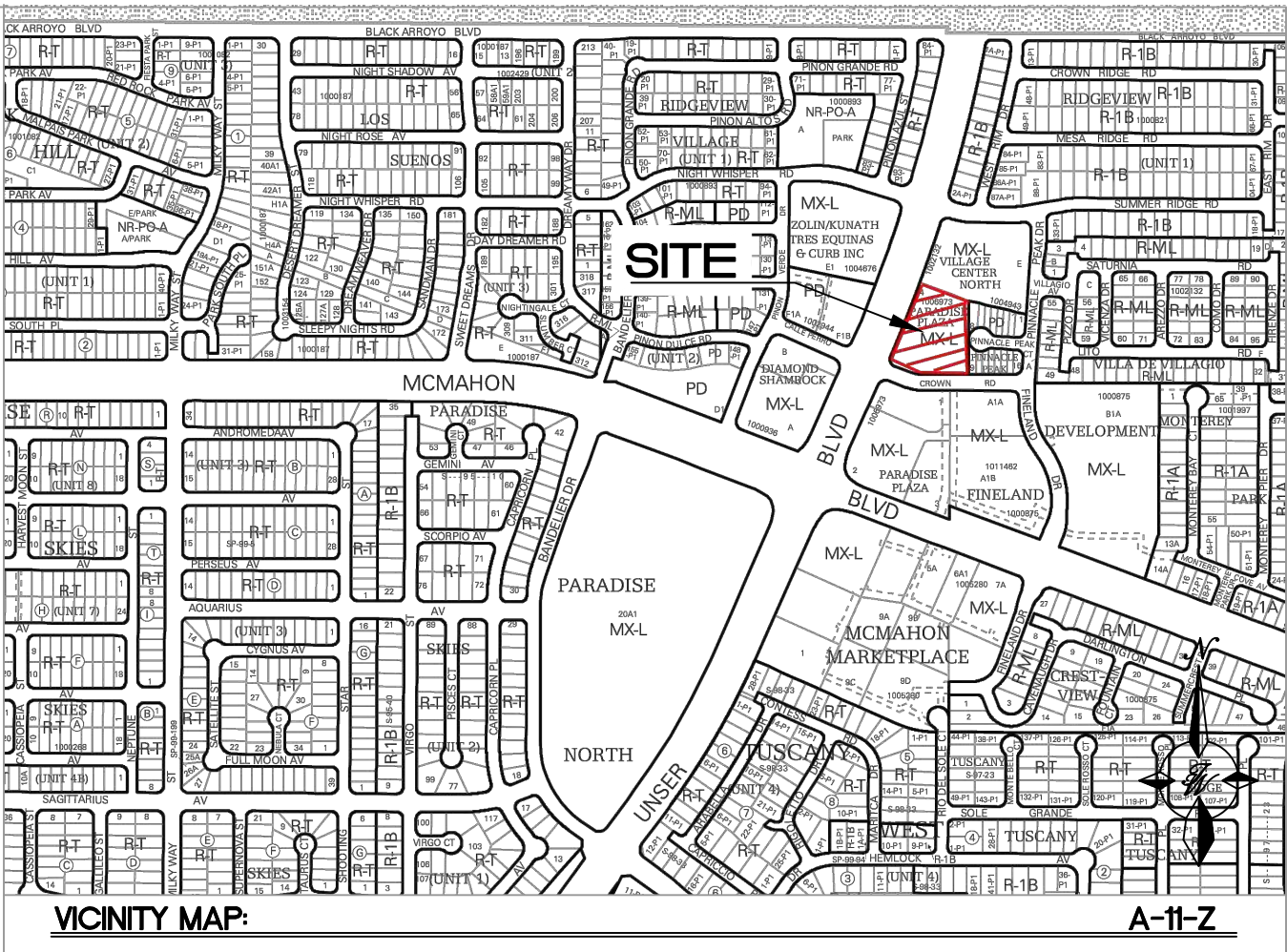
#### Data Plot and Equation




General Urban/Suburban and Rural (and Uses 800-900) 475



\\TWNAS\Z\_Drive\2022\2022007 User Drive-Thru Oil Change\dwg\DRB\2022007-TCL.dwg Jul 11, 2022 - 2:35pm



**LEGAL DESCRIPTION:**  
TR 4 PLAT OF TRS 1, 2, 3 + 4 PARADISE PLAZA CONT 1.8131 AC

ENGINEER'S SEAL	TAKE 5 OIL CHANGE ALBUQUERQUE, N.M.	DRAWN BY RMG
	INTERSECTION SIGHT LINE EXHIBIT	DATE 07/08/2022
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>E1</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2022007