

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 4, 2022

Ronald R. Bohannon, P.E.
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Unser Drive-Thru Oil Change
Unser & Crown Rd. TR 4 Plat of TRS 1, 2, 3, & 4
Grading and Drainage Plan
Engineer's Stamp Date: 10/4/2022
Hydrology File: A11D018**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 8/11/2022, the Grading and Drainage Plan is approved for Final Plat, Grading Permit, and Work Order. Once the grading of the site is complete a certification by a professional engineer will need to be submitted to apply for building permit approval.

PO Box 1293

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Albuquerque

NM 87103

Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov.

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: UNSER DRIVE-THRU OIL CHANGE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR 4 PLAT OF TRS 1, 2, 3 & 4 **UPC** 101106638341510104
City Address: Unser Blvd NW Albuquerque, NM 87114

Applicant: TIERRA WEST, LLC **Contact:** Luis Noriega
Address: 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** LNORIEGA@TIERRAWESTLLC.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 07.08.2022 **By:** Luis Noriega

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

September 29, 2022

David Gutierrez, P.E.
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **GRADING APPROVAL HYDROLOGY FILE: A11D018
NORTHEAST CORNER OF UNSER BLVD AND CROWN RD
ALBUQUERQUE, NM 87114.
TRACT 4 PLAT OF TRACTS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131 AC
ZONE ATLAS PAGE: A-11-Z.**

Dear Mr. Gutierrez:

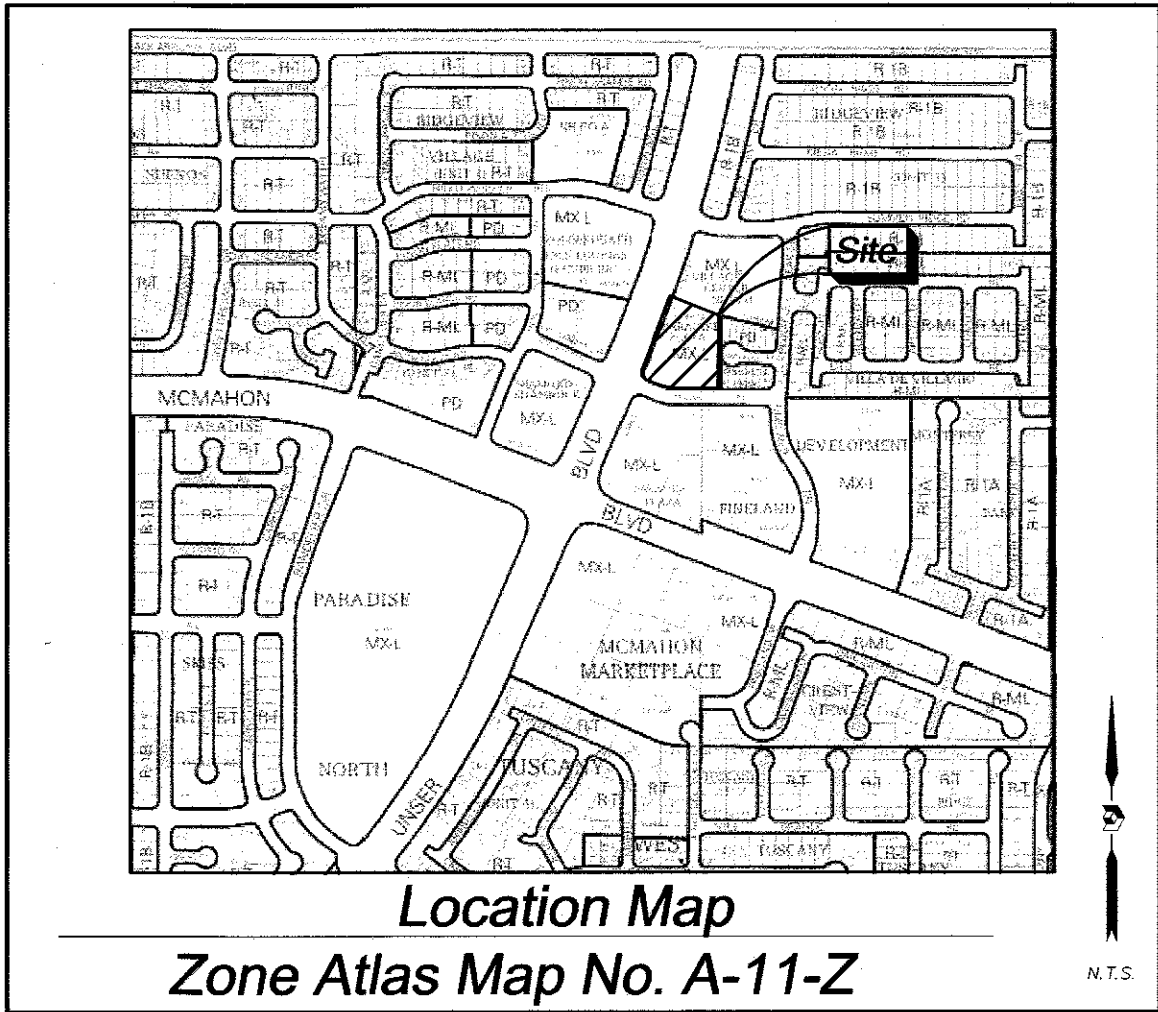
As the lawful owner of TRACT 4 PLAT OF TRACTS 1, 2, 3 & 4 PARADISE PLAZA CONT 1.8131, located at the northeast corner of Unser Blvd and Crown Rd NW Albuquerque NM 87101. BRANDENREED PROPERTIES LLC ATTN: DANNY BRANDENBURG hereby consents to perpetual cross lot grading between future Tracts 4-A and 4-B a replat of TRACT 4 PLAT OF TRACTS 1, 2, 3 & 4 PARADISE PLAZA.

DANNY BRANDENBURG
Print Name


Signature

Manager in Charge
Title

9/29/22
Date



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 1.8299 ACRES±
ZONE ATLAS INDEX NO: A-11-Z
NO. OF TRACTS CREATED: 2
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Notes:

1. PLAT SHOWS ALL EASEMENTS OF RECORD.
2. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

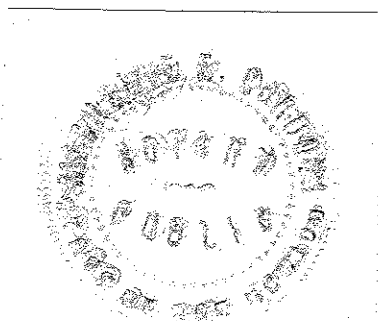
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY, AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.



RECORDING STAMP

Legal Description

TRACT NUMBERED FOUR (4) OF THE PLAT OF PARADISE PLAZA, PROJECTED SECTION 2, T. 11 N., R. 2 E., N.M.P.M., TOWN OF ALAMEDA GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 7, 2009 IN BOOK 2009C, PAGE 170 AS DOCUMENT NUMBER 2009132927, NOW COMPRISING OF TRACTS 4-A AND 4-B, PARADISE PLAZA.

TREASURER'S CERTIFICATE

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO TWO NEW TRACTS AND TO GRANT AN EASEMENT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

DANNY BRANDENBURG
MANAGING PARTNER
BRANDENREED PROPERTIES LLC

9/28/22
DATE

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF September, 2022 BY DANNY BRANDENBURG, ???, BRANDENREED PROPERTIES LLC

BY Michelle E. Cordova MY COMMISSION EXPIRES: 09/15/2026
NOTARY PUBLIC

Plat of
Tracts 4-A & 4-B
Paradise Plaza
Town of Alameda Grant, Projected
Section 2, Township 11 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
July 2022

Project No. PR-2022-
Application No. -2022-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CODE ENFORCEMENT	DATE
MRGCD	DATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL ON THE GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM RESPONSIBLE FOR THIS SURVEY. THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND LAND SURVEYING OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LARRY W. MEDRANO
N.M.P.S. No. 11993
09/27/2022
DATE



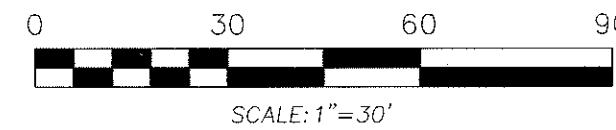
COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	GEIOD: ABQ GEIOD		LAND GRANT TOWN OF ALAMEDA GRANT				PROPERTY OWNER BRANDENREED PROPERTIES LLC C/O DANNY BRANDENBURG		CREW/TECH: SP	DATE OF SURVEY 02/22/2022
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00" YES	MATCHES DRAWING UNITS	SECTION 2	TOWNSHIP 11 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME PARADISE PLAZA	ADDRESS NOT ASSIGNED	DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	UPC 101106638341510104			PSI JOB NO. 228062P	SHEET NUMBER 1 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003288846 GROUND TO GRID: 0.9996712235											
DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID											
ELEVATION TRANSLATION: ±0.00'											
ELEVATIONS VALID: NO											

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

Plat of
Tracts 4-A & 4-B
Paradise Plaza
Town of Alameda Grant, Projected
Section 2, Township 11 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
July 2022

RECORDING STAMP



A.G.R.S. MONUMENT "B-A11"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,534,834.957 US SURVEY FEET
E=1,507,071.174 US SURVEY FEET
PUBLISHED EL=5283.03 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999671590
DELTA ALPHA ANGLE=-0°15'26.89"

A.G.R.S. MONUMENT "B-A11"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,533,206.142 US SURVEY FEET
E=1,506,571.019 US SURVEY FEET
PUBLISHED EL=5301.647 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999670857
DELTA ALPHA ANGLE=-0°15'30.20"

Legend

N 90°00'00" E MEASURED BEARINGS AND DISTANCES	
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Usher Boulevard, N.W.
(156' PUBLIC ROW)

R=30.00'
L=48.26'
Δ=92°10'38"
CH=N 23°07'19" W
43.22'
(R=30.00)
(L=48.42)
(Δ=92°28'31")
(CH=N 23°09'16" W)
(43.33)

R=5807.58'
L=298.36'
Δ=2°56'37"
CH=N 21°35'44" E
298.33'
(R=5807.58)
(L=298.30)
(Δ=2°56'35")
(CH=N 21°36'40" E)
(298.27)

FOUND CENTERLINE MONUMENT
"PLS 11463"

FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "LS 6126"

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TRACT 4-B
AREA=1.3108 ACRES±
57,097 SQ. FT.±

EXISTING GROSS LOT BLANKET ACCESS & PUBLIC UTILITY EASEMENT
(12/19/2001, 2001C-336)

FORMER TRACT 4
PARADISE PLAZA
(12/07/2009, 2009C-170)

TRACT 4-A
AREA=0.5191 ACRES±
22,611 SQ. FT.±

Crown Road, N.W.
(60' PUBLIC ROW)

Pinnacle Peak Court, N.W.
(47' PUBLIC ROW)

LOT 9
PINNACLE PEAK TOWNHOMES
(11/28/2006, 2006C-365)

FOUND CHISELED "X"

FOUND CENTERLINE MONUMENT
"PLS 11463"

FOUND CENTERLINE MONUMENT
"PLS 11463"


FOUND CENTERLINE MONUMENT
"PLS 11463"

FOUND CENTERLINE MONUMENT
"PLS 11463"

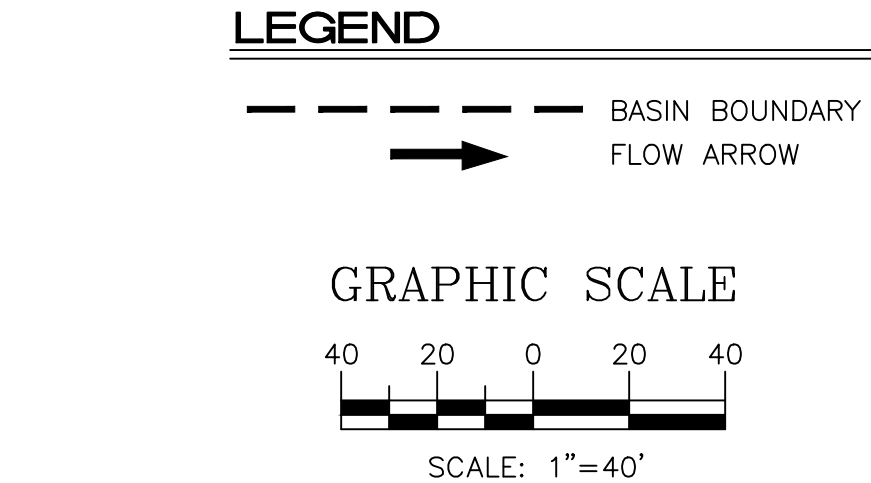
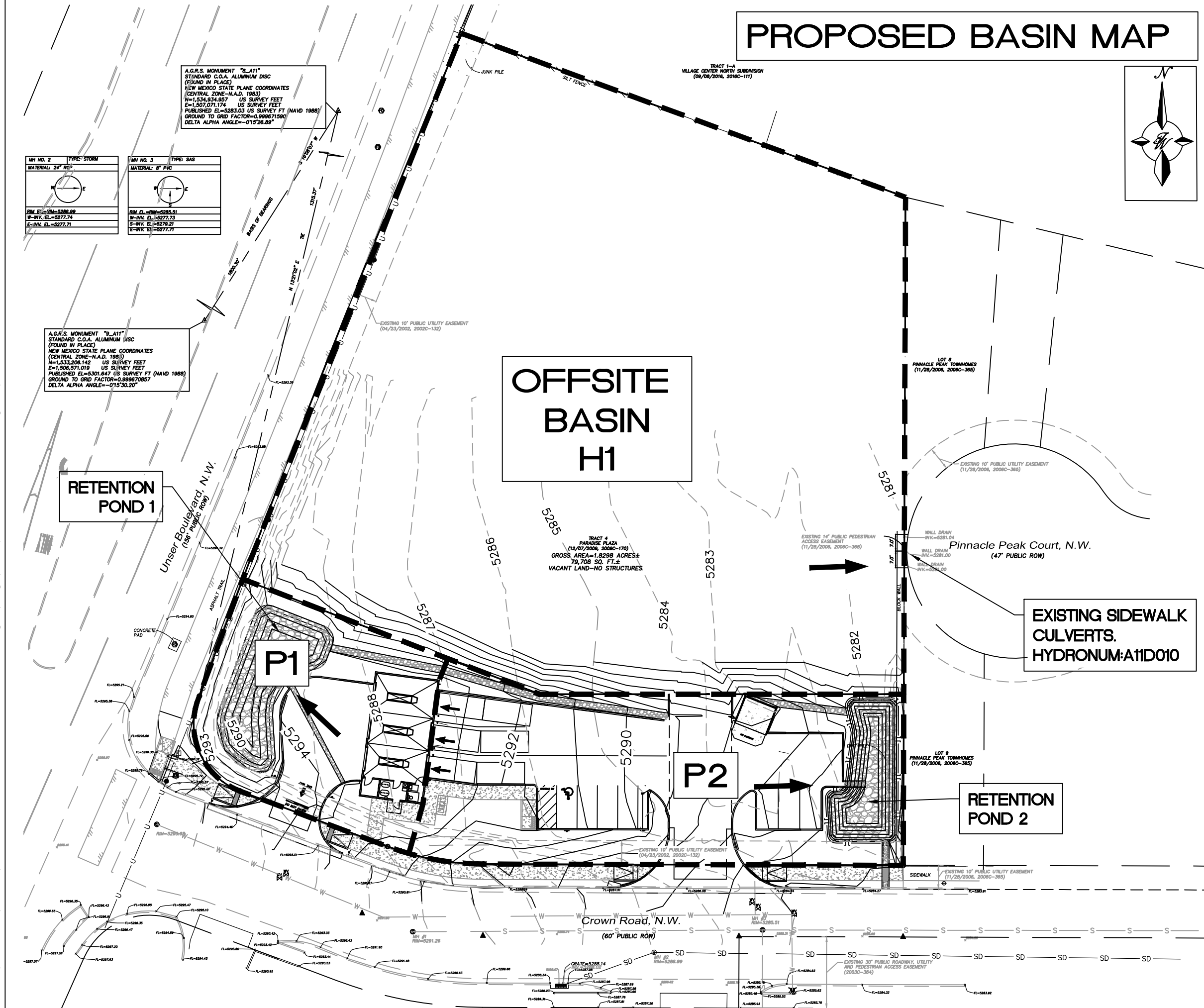
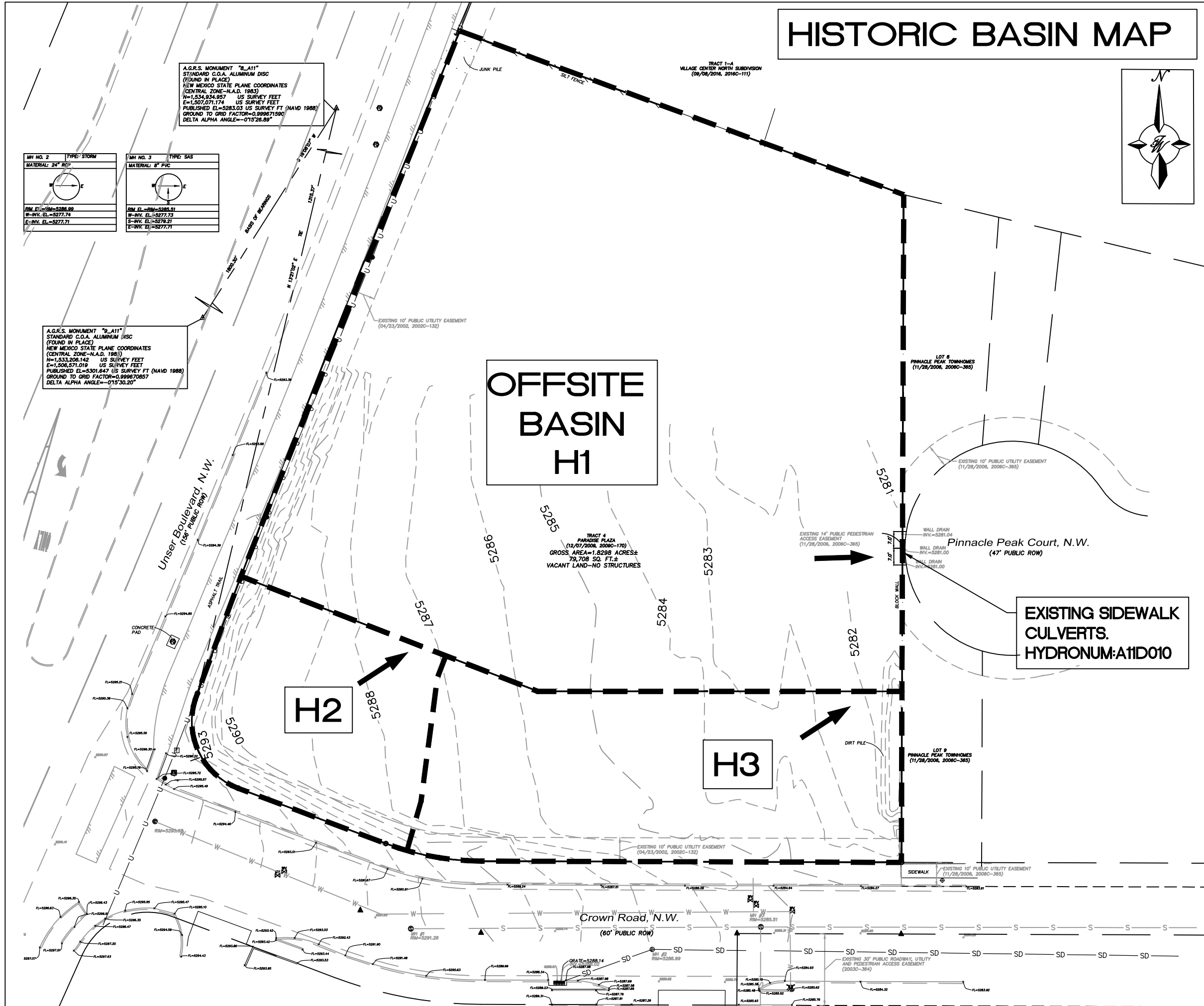
FOUND CENTERLINE MONUMENT
"PLS 11463"

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"PLS 11463"

FOUND CENTERLINE MONUMENT
"PLS 11463"

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION			
STATE PLANE ZONE: NM-C		GRID / GROUND COORDINATES: GRID		GEIOD: ABQ GEIOD		LAND GRANT TOWN OF ALAMEDA GRANT		PROPERTY OWNER BRANDENREED PROPERTIES LLC C/O DANNY BRANDENBURG		CREW/TECH: SP	DATE OF SURVEY 02/22/2022		
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 2	TOWNSHIP 11 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME PARADISE PLAZA	ADDRESS NOT ASSIGNED		
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0		CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	UPC 101106638341510104				
COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003288846 GROUND TO GRID: 0.9996712235		DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID	ELEVATION TRANSLATION: ±0.00'	ELEVATIONS VALID: NO							
<div><div></div><div><div>OFFICE LOCATION: 5200 San Mateo Boulevard, NE Albuquerque, NM 87113</div><div>505.856.5700 PHONE 505.856.7900 FAX</div></div></div>												DRAWN BY: JK	CHECKED BY: LM
										PSI JOB NO. 228062P	SHEET NUMBER 2 OF 2		

\\TNAS\Z_Drive\2022\202207 Unser Drive-Thru Oil Change.dwg_EPC\202207_BASIN.dwg Sep 30, 2022 - 10:19am



DPM CH6 Weighted E Method

Precipitation Zone 1

TAKE 5 OIL CHANGE

NE Corner of Unser Blvd & Crown Rd, Albuquerque, NM.

TWLC

Date

6/7/2022

Existing Conditions

Basin Descriptions													100-Year, 10-Day		
Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs
H1	4	56,866	1.31	0.00204	100%	1.305	0%	0.000	0%	0.000	0%	0.000	0.550	0.060	2.01
H2	4	8,005	0.18	0.00029	100%	0.184	0%	0.000	0%	0.000	0%	0.000	0.550	0.008	0.28
H3	4	14,587	0.33	0.00052	100%	0.335	0%	0.000	0%	0.000	0%	0.000	0.550	0.015	0.52
Total		79,458	1.82	0.00285		1.824	0.000		0.000		0.000		0.084	2.809	

Proposed Conditions

Basin Descriptions												100-Year, 10-Day			
Basin	Tract	Area	Area	Area	Treatment A	Treatment B		Treatment C		Treatment D		Weighted E	Volume	Flow	
ID		(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(in)	(ac-ft)	cfs	
H1	4	56,866	1.31	0.00204	90%	1.175	0%	0.000	10%	0.131	0%	0.000	0.590	0.064	2.18
P1	4	8,005	0.18	0.00029	0%	0.000	0%	0.000	57%	0.105	43%	0.079	1.505	0.034	0.63
P2	4	14,587	0.33	0.00052	0%	0.000	0%	0.000	42%	0.141	58%	0.194	1.698	0.075	1.20
Total		79,458	1.82	0.00285		1.175		0.000		0.376		0.273		0.174	4.014

Pond Discharge-Weir Calculations

POND 2 VOLUME CALCULATIONS			
ELEVATION (ft)	AREA (sf)	VOLUME (cf)	CUMULATIVE VOLUME (cf)
5280	288	0	0
5281	465	376.5	377
5282	661	563	940
5283	876	768.5	1708
5284	1108	992	2700
5284.5	1229	584.25	3284
5285	1355	646	3930

POND 2 STORAGE				
ACTUAL ELEV. (FT)	H (FT)	VOLUME (CF)	Q (CFS)	VOLUME (AC-FT)
5280	0.00	0	0.00	0.0000
5281	0.00	377	0.00	0.0086
5282	0.00	940	0.00	0.0216
5283	0.00	1708	0.00	0.0392
5284	0.00	2700	0.00	0.0620
5284.5	0.00	3284	0.00	0.0754
5285	0.50	3930	1.91	0.0902

Pond 2 Weir Equation	
Q =	CLH ^{3/2} (3/2)
C =	2.7
L (FT) =	2
H (FT) =	Head
Q (CFS) =	Flow



Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted E * Total Area

Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

Retention Volume = Weighted E * Total Area + Impervious Area * (10 day - 6 hr) Precip

6 Hr Excess Precipitation, E (in.)

Zone 1	100-Year	10-Year
Ea	0.55	0.08
Eb	0.73	0.22
Ec	0.95	0.44
Ed	2.24	1.24

Peak Discharge (cfs/acre)

Zone 1	100-Year	10-Year
Qa	1.54	0.3
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

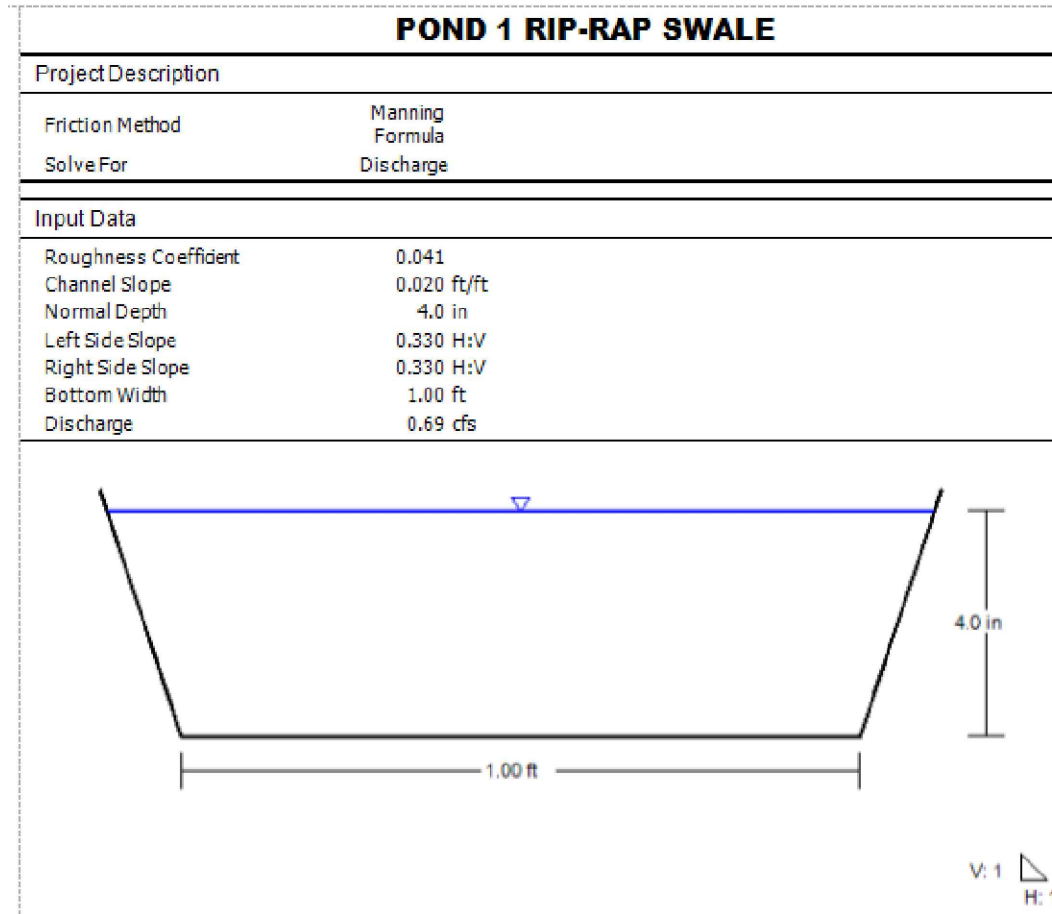
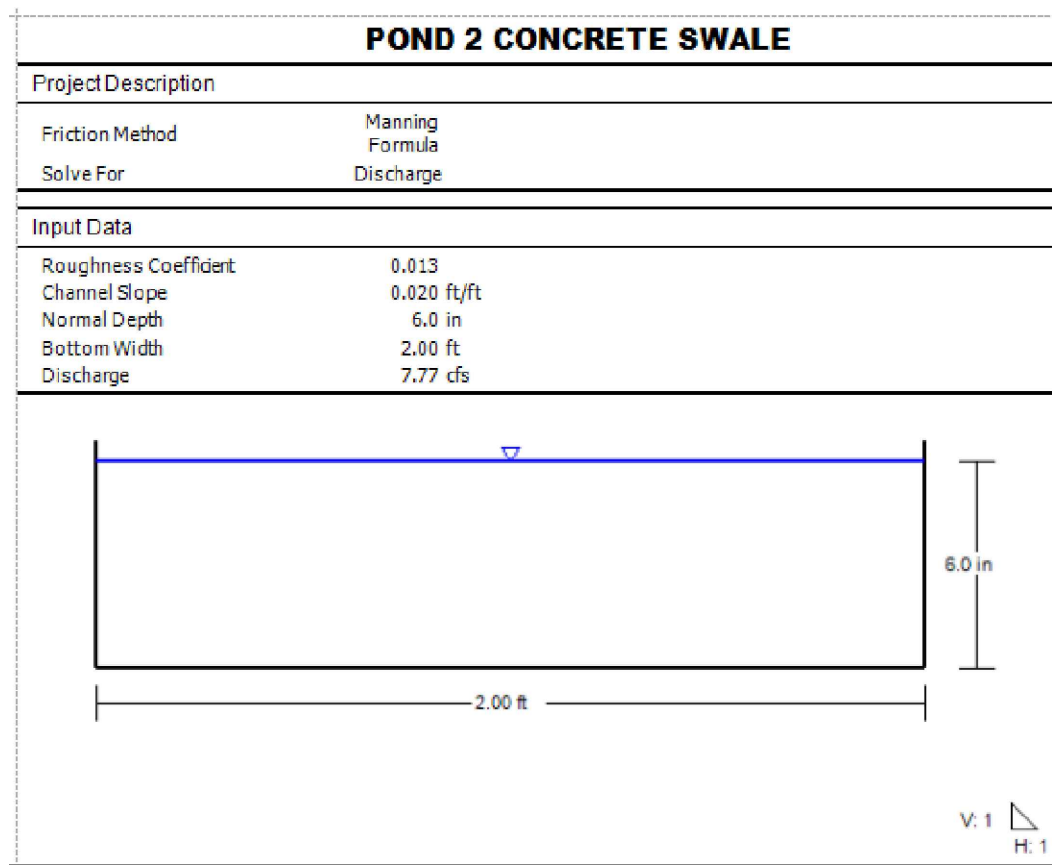
EXISTING CONDITIONS

THE SUBJECT SITE IS CURRENTLY VACANT WITH GROWING VEGETATION. BASED ON THE TOPOGRAPHY, RUNOFF SURFACE FLOWS NORTH-EAST AND DISCHARGES INTO THREE SIDEWALK CULVERTS LOCATED ON THE WEST SIDE OF PINNACLE PEAK COURT, NW.

PROPOSED CONDITIONS

THE DEVELOPED FLOWS WILL SURFACE FLOW INTO TWO RETENTION PONDS ONE LOCATED ON THE EAST AND THE OTHER TO THE WEST OF THE TAKE 5 OIL CHANGE. ROUGHLY ONE-THIRD OF THE SITE WILL DRAIN TO RETENTION POND 1 AND THE OTHER TWO-THIRDS WILL DRAIN TO RETENTION POND 2. THE RETENTION PONDS ARE DESIGNED TO RETAIN THE 100 YEAR - 10 DAY STORM EVENT.

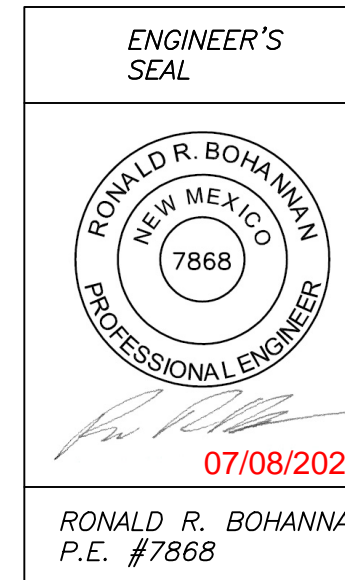

ANY FLOWS BEYOND THAT WILL BE CONVEYED INTO A SURFACE STORM DRAIN SYSTEM, WHICH OUTFALLS INTO THE CROWN RD ROW.

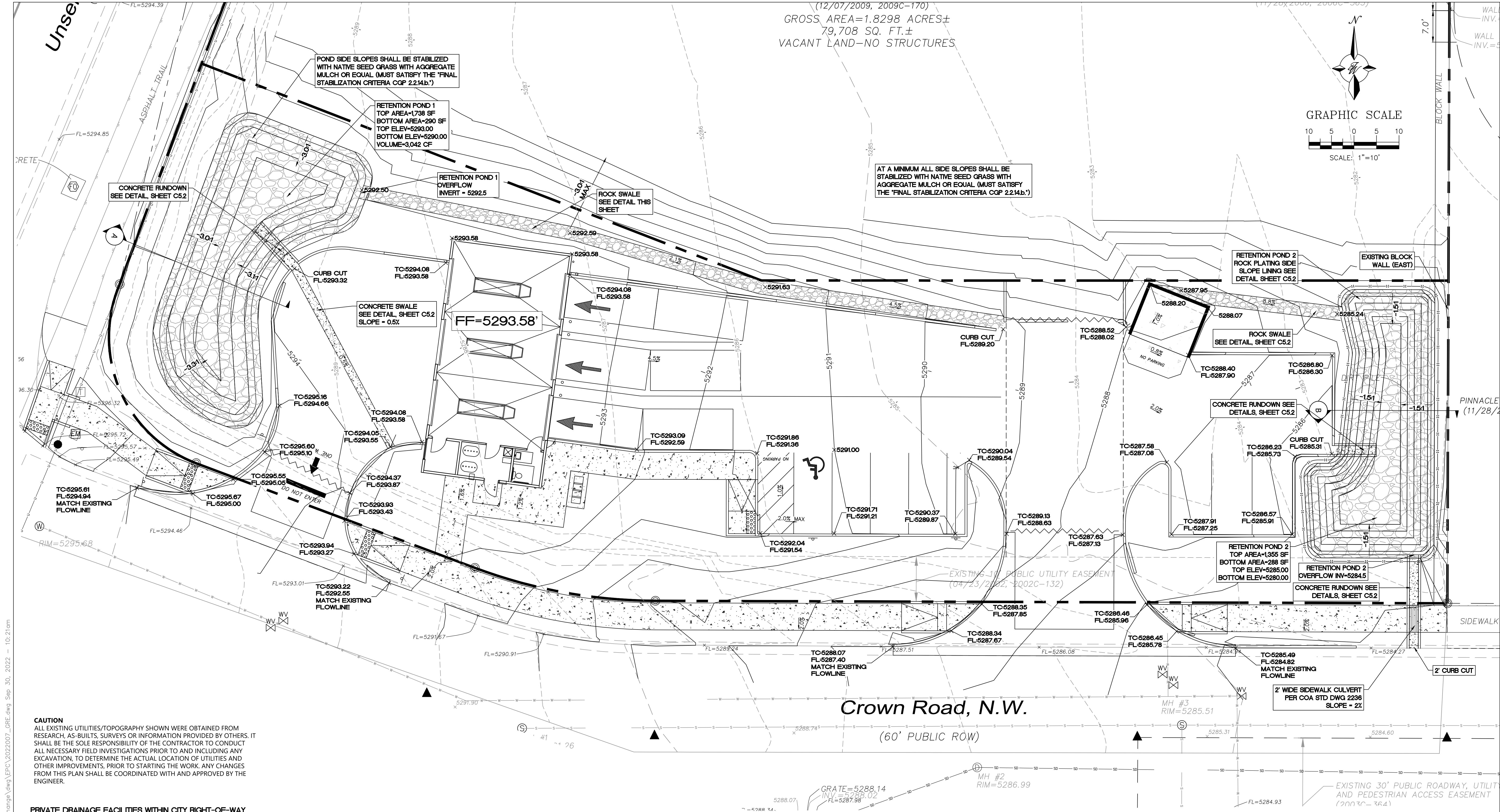


RETENTION POND 1 VOLUME	
Top Area	1,460 Sq. Ft.
Bottom Area	290 Sq. Ft.
Depth of Pond	2.5 Ft.
Provided Volume	2,188 Cubic Ft.
Required Volume	1,470 Cubic Ft.
Required Volume	0.034 Ac Ft.

RETENTION POND 2 VOLUME	
Top Area	1,229 Sq. Ft.
Bottom Area	288 Sq. Ft.
Depth of Pond	4.5 Ft.
Provided Volume	3,284 Cubic Ft.
Required Volume	3,283 Cubic Ft.
Required Volume	0.075 Ac Ft.



	TAKE 5 OIL CHANGE ALBUQUERQUE, N.M.		DRAWN BY RMG
	BASIN MAP		DATE 07/08/2022
	 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2022007_BASIN
	SHEET # C4		JOB # 2022007



CAUTION
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT **NEW MEXICO ONE CALL, DIAL "811"** (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

LEGEND

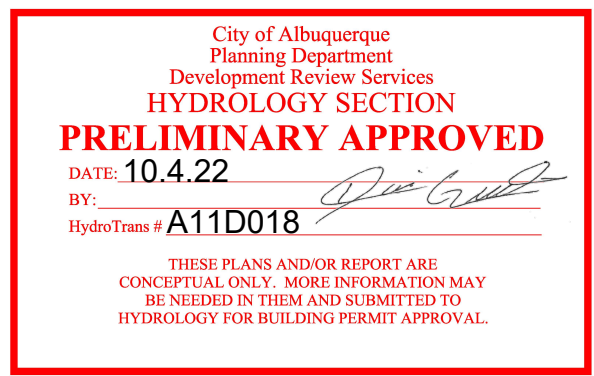
	CURB & GUTTER		SPOT ELEVATION
	BOUNDARY LINE		FLOW ARROW
	EASEMENT		EXISTING CONCRETE SIDEWALK
	CENTERLINE		EXISTING CURB & GUTTER
	RIGHT-OF-WAY		EXISTING BOUNDARY LINE
	BUILDING		EXISTING CONTOUR MAJOR
	PROPOSED SIDEWALK		EXISTING CONTOUR MINOR
	RETAINING WALL		EXISTING SPOT ELEVATION
	CONTOUR MAJOR		GRADE BREAK
	CONTOUR MINOR		

SPOT ELEVATION LEGEND

TC= TOP OF CURB
FL= FLOW LINE
FF= FINISHED FLOOR

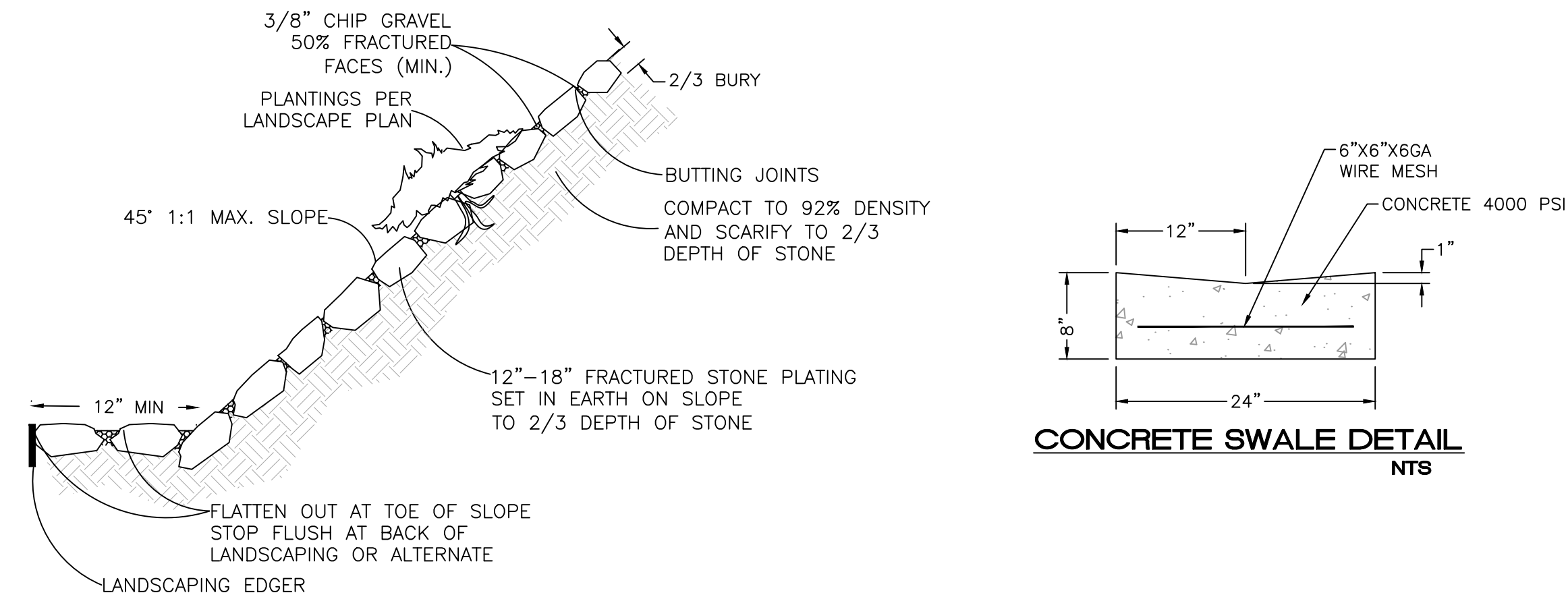
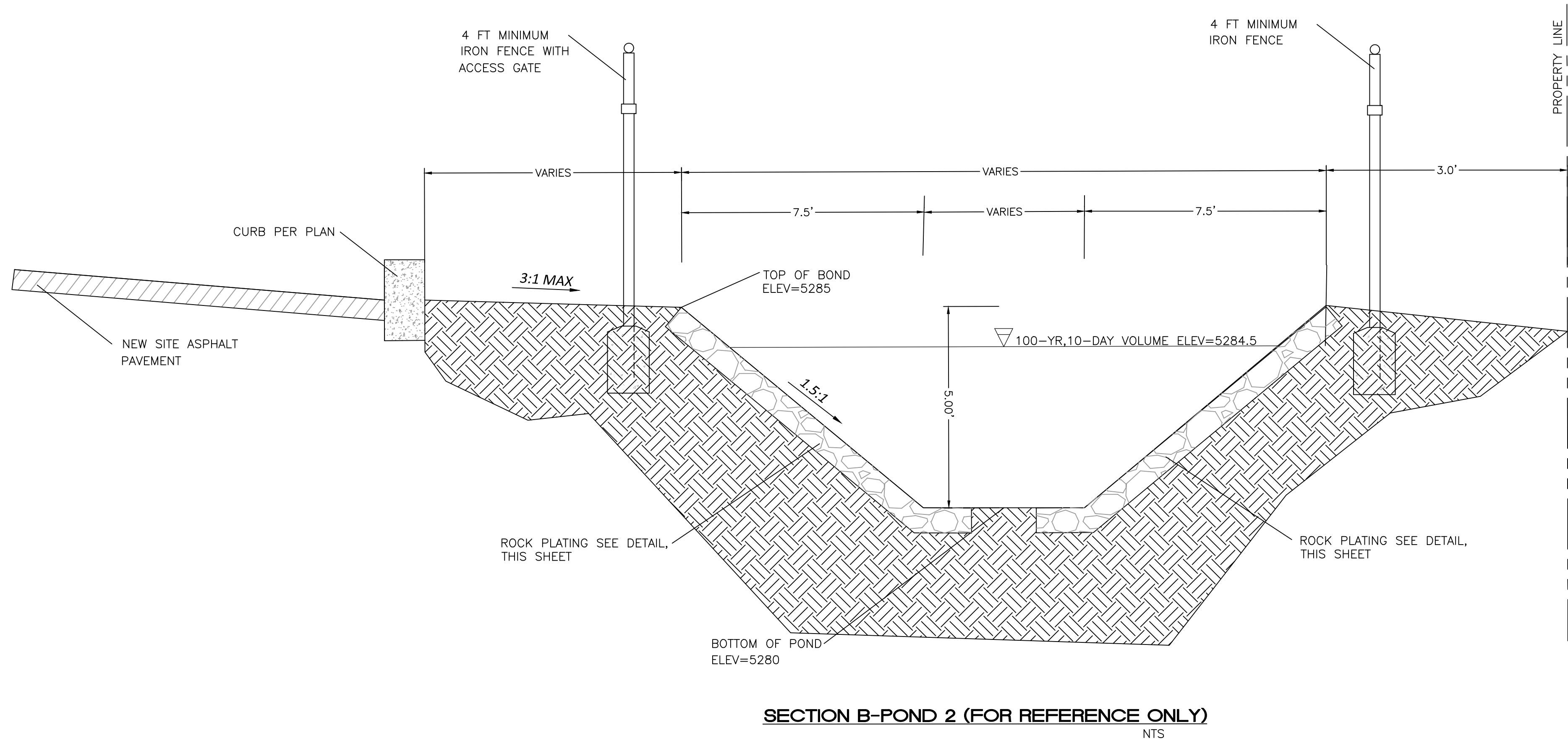
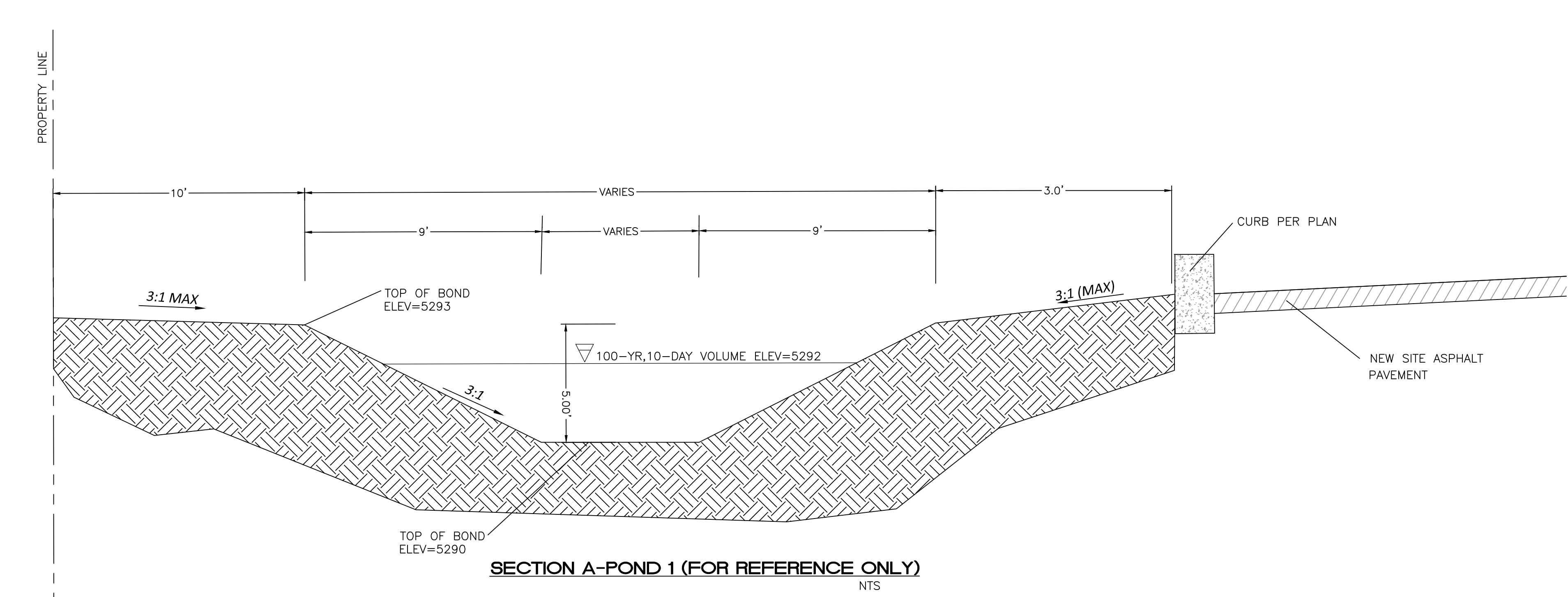
SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

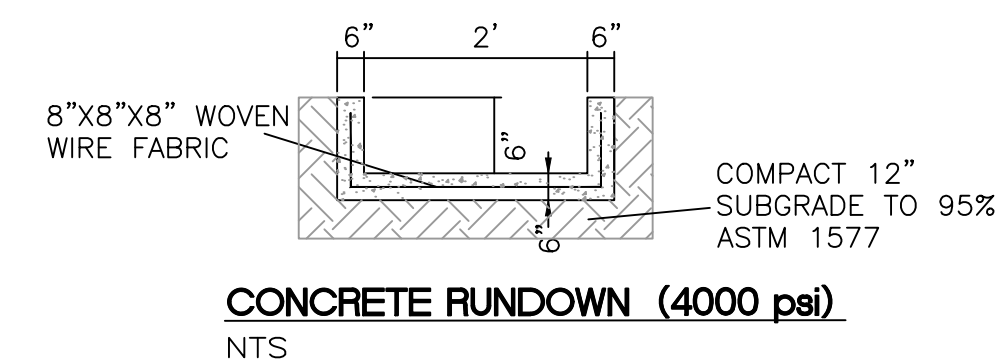
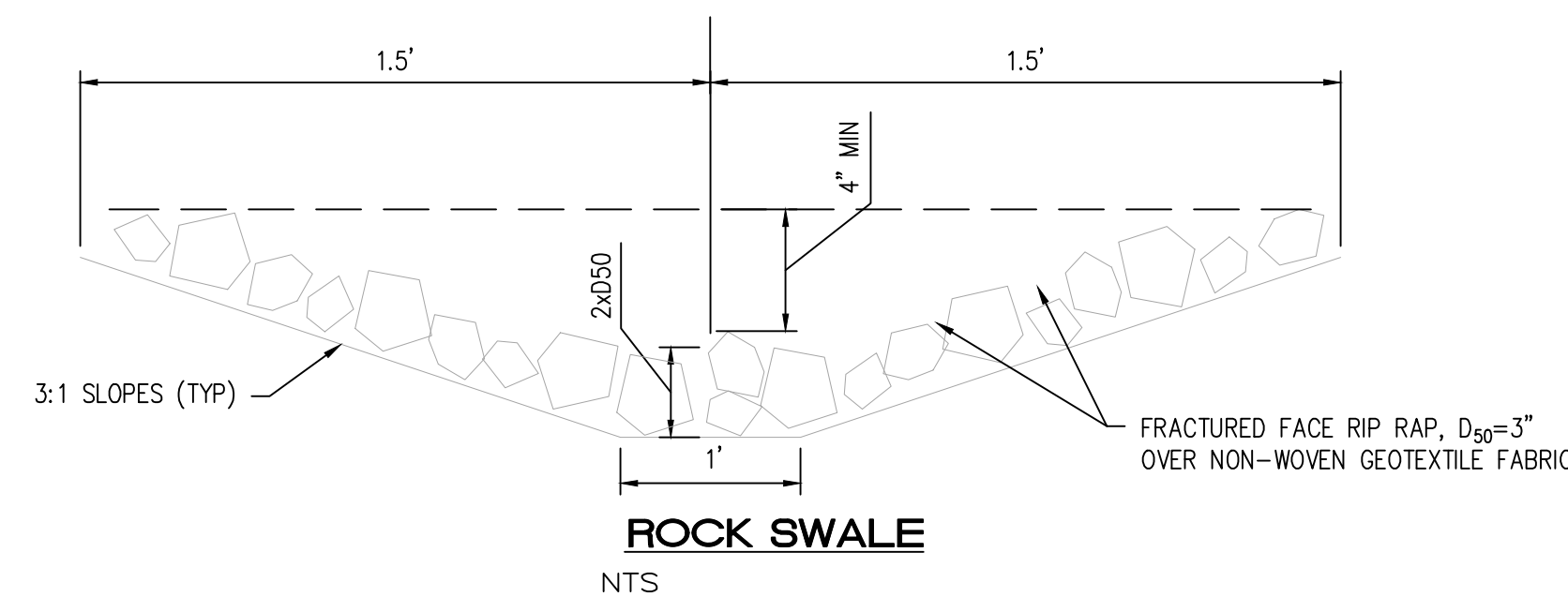


	ENGINEER'S SEAL	TAKE 5 OIL CHANGE	DRAWN BY
		ALBUQUERQUE, N.M.	RMG
		GRADING & DRAINAGE	DATE
		PLAN	07/08/2022
		TERRA WEST, LLC	2022007_GRE
		5571 MIDWAY PARK PLACE NE	SHEET #
		ALBUQUERQUE, NM 87109	C5.1
		(505) 858-3100	JOB #
		www.tierawestllc.com	2022007

\\TNAS\Z_Drive\2022\2022007_Unser Drive-Thru Oil Change\dwg\EPC\2022007_GRE.dwg Sep 30, 2022 - 10:22am



ROCK PLATING DETAIL
NTS



<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN</div><div>NEW MEXICO</div><div>7868</div><div>PROFESSIONAL ENGINEER</div></div> <div>07/08/2022</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	TAKE 5 OIL CHANGE ALBUQUERQUE, N.M.	DRAWN BY RMG
	GRADING & DRAINAGE DETAILS	DATE 07/08/2022
	<div><div>TERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE</div><div>ALBUQUERQUE, NM 87109</div><div>(505) 858-3100</div><div>www.tierwestllc.com</div></div>	2022007_GRE
		SHEET # C5.2
		JOB # 2022007