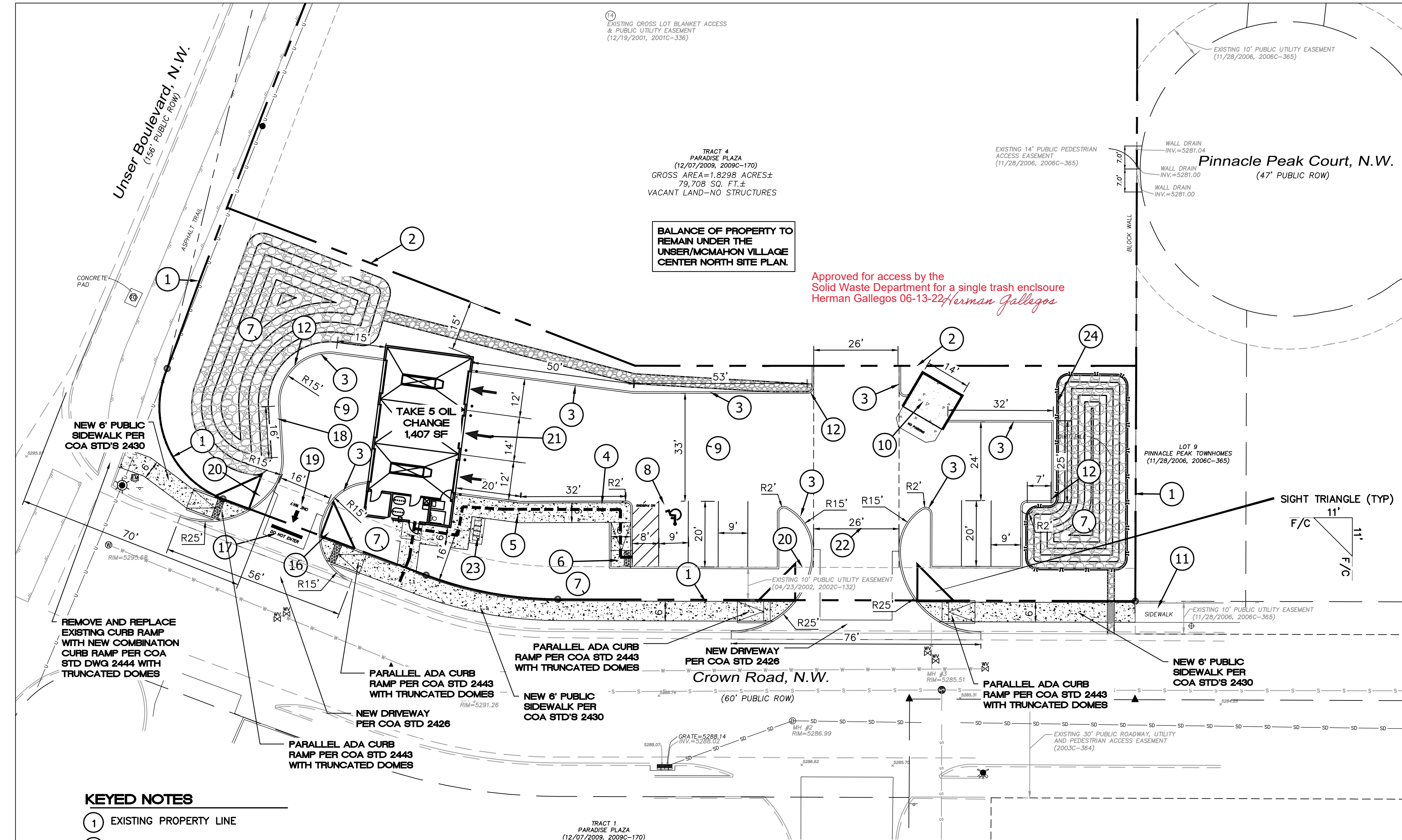


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KEYED NOTES

- ① EXISTING PROPERTY LINE
- ② PROPOSED PROPERTY LINE
- ③ HEADER CURB (SEE DETAIL, SHEET C2.1)
- ④ TURN DOWN CURB (SEE DETAIL, SHEET C2.1)
- ⑤ SIDEWALK PER COA STD 2430 (SEE DETAIL, SHEET C2.1)
- ⑥ DETAIL B - PARALLEL CURB RAMP PER COA STD #2443 (SEE DETAIL, SHEET C2.1)
- ⑦ LANDSCAPE AREA
- ⑧ ADA PARKING ONLY WITH SIGN (SEE DETAIL, SHEET C2.1)
- ⑨ NEW ASPHALT PAVING (SEE DETAIL SHEET C2.1)
- ⑩ REFUSE ENCLOSURE (SEE DETAIL SHEET C2.2)
- ⑪ EXISTING SIDEWALK
- ⑫ CURB NOTCH (SEE DETAIL, SHEET C2.1)
- ⑬ ADA PUBLIC ACCESSIBLE PATHWAY - - - - -
- ⑭ ADA PARKING ACCESSIBLE PATHWAY - - - - -
- ⑮ NOT USED
- ⑯ "DO NOT ENTER" SIGN (SEE DETAIL SHEET C2.2)
- ⑰ "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C2.2)
- ⑱ "ONE WAY" R6-1R SIGNAGE (SEE DETAIL, SHEET C2.2)
- ⑲ "ONE WAY" STRIPING (SEE DETAIL, SHEET C2.2)
- ⑳ "STOP" SIGN (SEE DETAIL, SHEET C2.2)
- ㉑ TRAFFIC FLOW ARROW (SEE DETAILS SHEET C2.2)
- ㉒ PROPOSED 26' INGRESS/EGRESS EASEMENT TO BE GRANTED DURING PLATTING ACTION.
- ㉓ BIKE RACKS (SEE DETAIL SHEET C2.1)
- ㉔ 42" (MINIMUM) WROUGHT IRON FENCE WITH MAINTENANCE GATE TO BE INSTALLED AROUND PERIMETER OF POND.

NOTES

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
4. ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS
6. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA.
7. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC.
8. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
9. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
10. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.

INDEX TO DRAWINGS

- | | |
|---------|-----------------------------------|
| C1. | SITE PLAN-EPC |
| C2.1 | CONSTRUCTION DETAILS |
| C2.2 | CONSTRUCTION DETAILS |
| LS-100 | LANDSCAPE PLAN |
| LS-101 | IRRIGATION PLAN |
| LS-102 | LANDSCAPE DETAILS |
| C4. | CONCEPT BASIN MAP |
| C5. | CONCEPT GRADING AND DRAINAGE PLAN |
| C6. | MASTER UTILITY PLAN |
| A2.101 | STRUCTURE ELEVATIONS |
| SIGNAGE | FRONT ELEVATION |
| SIGNAGE | REAR ELEVATION |
| SIGNAGE | SIDE A ELEVATION |
| SIGNAGE | SIDE B ELEVATION |
| SHEET 1 | GOVERNING SITE PLAN |
| SHEET 2 | GOVERNING SITE PLAN |
| SHEET 3 | GOVERNING SITE PLAN |

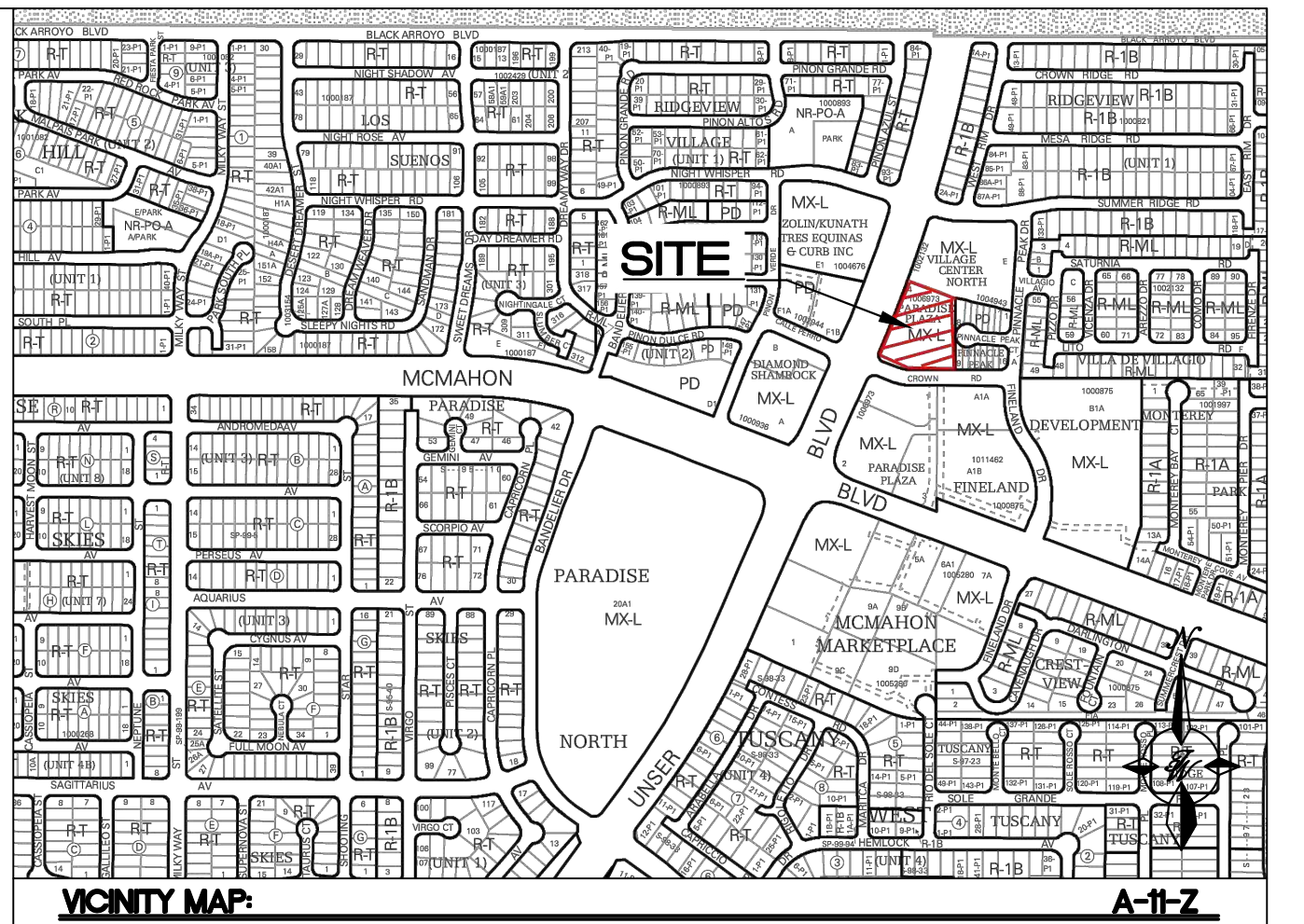
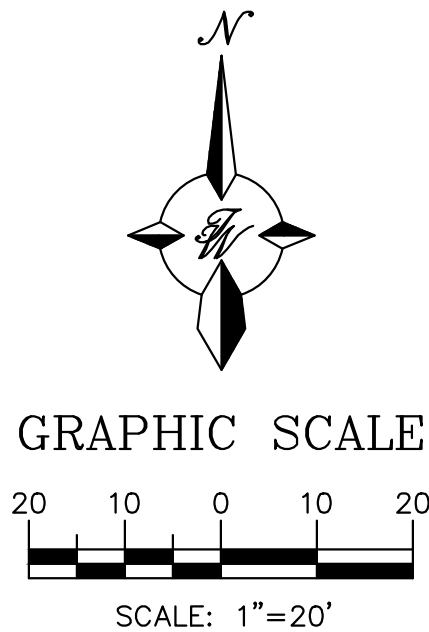
SITE DATA

TAKE 5 OIL CHANGE

IDO ZONING: MX-L
PROPOSED USAGE: LIGHT VEHICLE REPAIR
LOT AREA: 22,591 SF (0.52 ACRE)
BUILDING AREA: 1,407 SF
PARKING: SPACES REQUIRED: 2
(1 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED: 8
(INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED: 1
HC PARKING: SPACES PROVIDED: 1
(1 VAN ACCESSIBLE)
BICYCLE PARKING REQUIRED: 3 SPACES (3 SPACES PER SITE)
BICYCLE PARKING PROVIDED: 3 SPACES
LANDSCAPE AREA REQUIRED: 3,175 SF
LANDSCAPE AREA PROVIDED: 12,688 SF

LEGEND

- | | |
|--|------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | BUILDING |
| | SIDEWALK |
| | SCREEN WALL |
| | RETAINING WALL |
| | STREET LIGHTS |
| | GUARD RAIL |
| | STRIPING |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | EXISTING LANE |
| | EXISTING STRIPING |



VICINITY MAP:

A-11-Z

LEGAL DESCRIPTION:

TR 4 PLAT OF TRS 1, 2, 3 + 4 PARADISE PLAZA CONT 1.8131 AC

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i> Solid Waste Management	06-13-22 Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

ENGINEER'S SEAL	TAKE 5 OIL CHANGE ALBUQUERQUE, N.M.	DRAWN BY RMG
	SITE PLAN - EPC	DATE 06/08/2022
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022007_SPE SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2022007