

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 30, 2023

Craig Calvert
Modulus Achitect INC
8220 San Pedro Dr. NE
Albuquerque, NW 87113

Re: Unser IHOP & Paris Baguette
10850 Unser Blve. NW
Traffic Circulation Layout
Architect's Stamp 10-02-23 (A11-D018A)

Dear Mr. Calvert,

The TCL submittal received 11-13-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

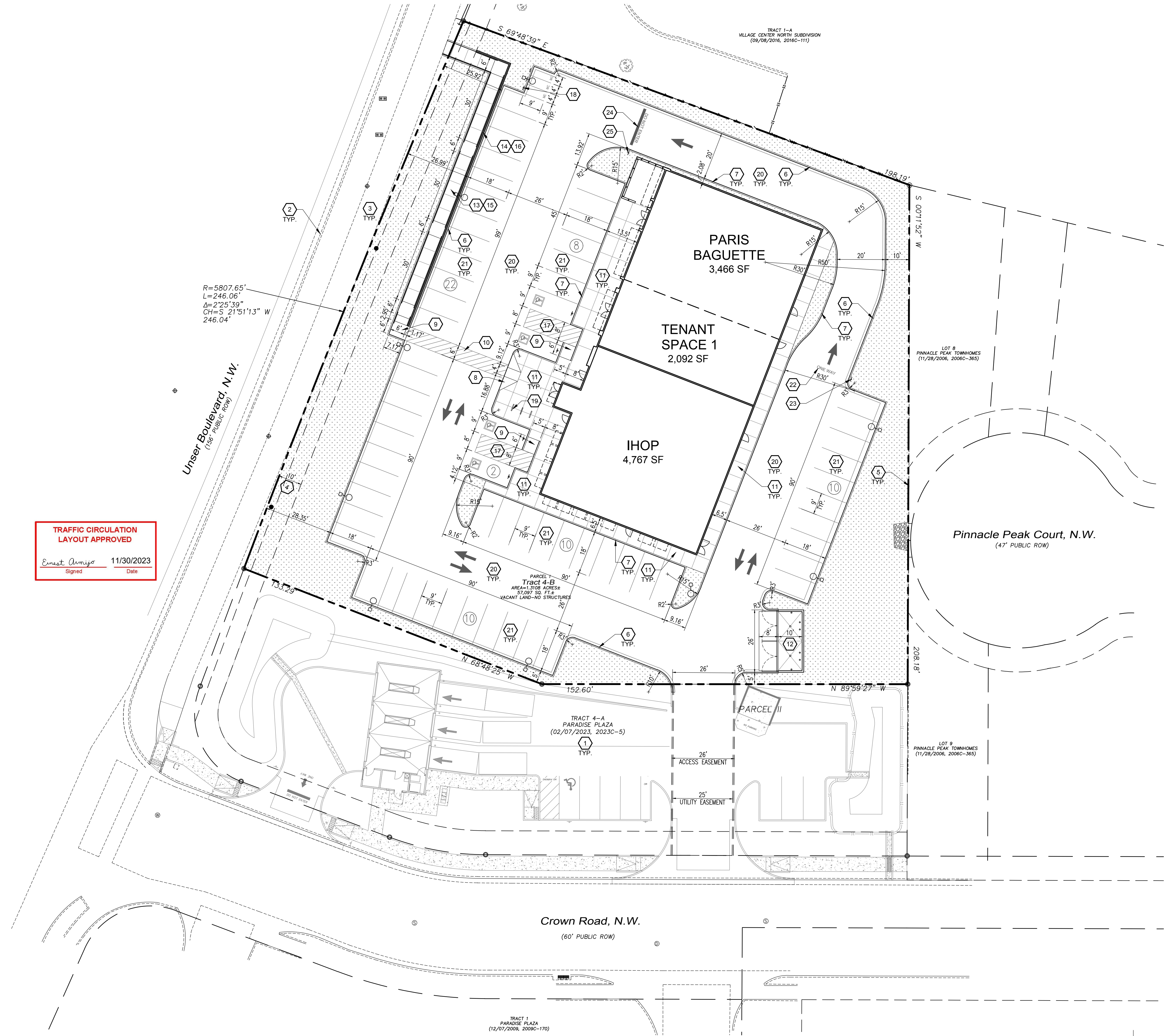
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

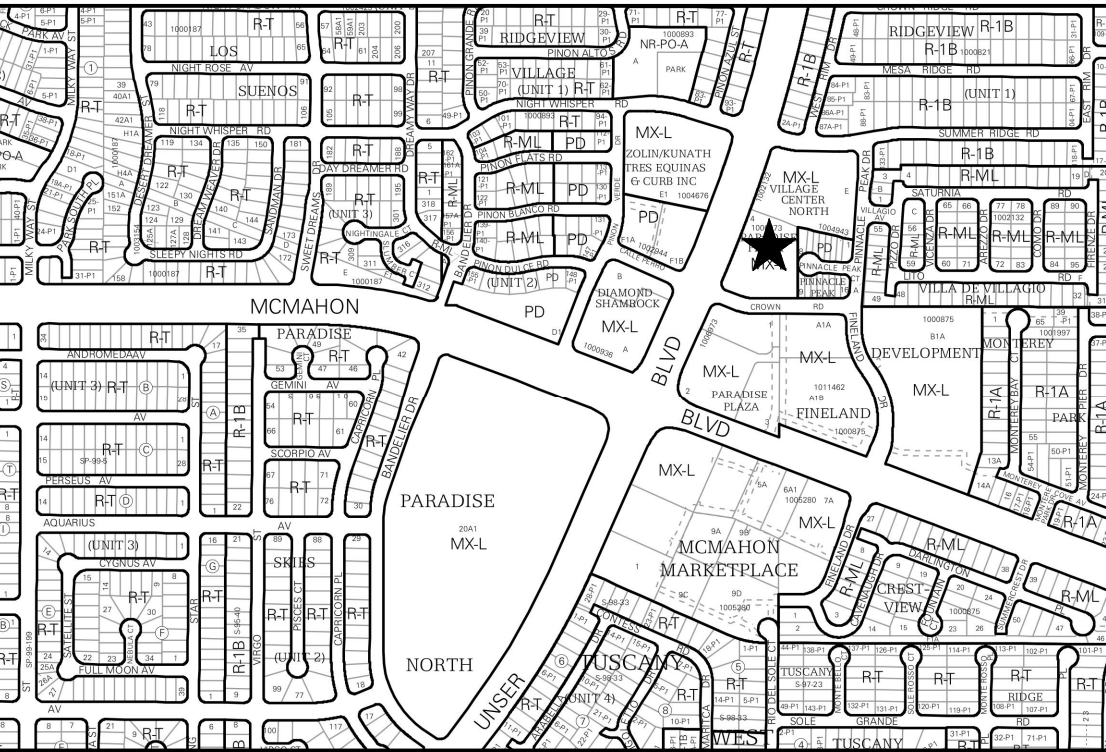
Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



VICINITY MAP:



SITE DATA:

PROJECT ADDRESS:	NORTHEAST CORNER OF UNSER BLVD & CROWN RD NW
LEGAL DESCRIPTION:	TRACT 4-B, PARADISE PLAZA
PROPERTY SIZE:	1.31 ACRES
CURRENT ZONING:	MX-L
PROPOSED USE:	RESTAURANTS & TENANT SPACE
BUILDING SIZE:	10,325 SF

PARKING DATA:

BUILDING DATA			
TOTAL BUILDING AREA: 10,325 SF COMMERCIAL USE			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
OFF-STREET PARKING SPACES (COMM.)	1 PER 200 GFA	52	62
ACCESSIBLE PARKING SPACES	51-100 SPACES	4	4
MOTORCYCLE PARKING	51-100 SPACES	3	3
BICYCLE PARKING SPACES	1 PER 20 SPACES	3	3

GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
- LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES:

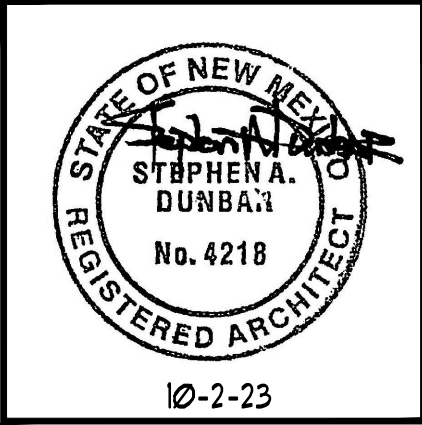
- DEVELOPMENT SHOWN ON TRACT 4-A FOR REFERENCE ONLY, WORK TO BE PERFORMED UNDER SEPARATE PERMIT.
- EXISTING CONCRETE CURB & GUTTER REMAIN, ALL BROKEN OR CRACKED CURB & GUTTER TO BE REPLACED PER COA STD DETAIL 2015A.
- EXISTING ASPHALT TRAIL TO REMAIN, ALL BROKEN OR CRACKED ASPHALT TRAIL TO BE RELACED PER COA STANDARDS.
- EXISTING 10' PUBLIC UTILITY EASEMENT TO REMAIN.
- EXISTING CMU SCREEN WALL TO REMAIN.
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501.
- NEW CONCRETE HEADER CURB, SEE DETAIL 1/AS501.
- NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501.
- NEW PARALLEL CURB RAMP, SEE DETAIL 18/AS501.
- NEW STRIPED CROSSWALK, SEE DETAIL 6/AS501 (SIM.).
- NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501.
- NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502.
- NEW CONCRETE RAMP, SEE DETAIL 3/AS501 (SIM.).
- NEW RETAINING WALL, REFER TO CIVIL FOR DETAILS.
- NEW PAINTED 1 1/2" DIA. STEEL PIPE HAND RAIL @ 34" ABOVE RAMP SURFACE, EXTEND 1' BEYOND LANDINGS, SEE DETAIL 17/AS501.
- NEW PAINTED 1 1/2" DIA. STEEL GUARD RAIL @ 42" ABOVE TOP OF RETAINING WALL, SEE DETAIL 16/AS501.
- NEW ACCESSIBLE PARKING, SEE DETAIL 9/AS501.
- NEW MOTORCYCLE PARKING SIGN, TYPICAL OF 3 - SEE DETAIL 11/AS501.
- NEW BIKE RACK, TYPICAL OF 3 - SEE DETAIL 5/AS501.
- NEW HEAVY DUTY ASPHALT PAVING FOR DRIVE AISLES AND SERVICE ROAD, SEE DETAIL 14/AS501.
- NEW LIGHT DUTY ASPHALT PAVING FOR PARKING AREAS, SEE DETAIL 13/AS501.
- NEW "ONE WAY" PAVEMENT MARKING, SEE DETAIL 7/AS501.
- NEW "ONE WAY" SIGN, SEE DETAIL 20/AS501.
- NEW "DO NOT ENTER" PAVEMENT MARKING, SEE DETAIL 19/AS501.
- NEW "DO NOT ENTER" SIGN, SEE DETAIL 21/AS501.

GRAPHIC LEGEND:

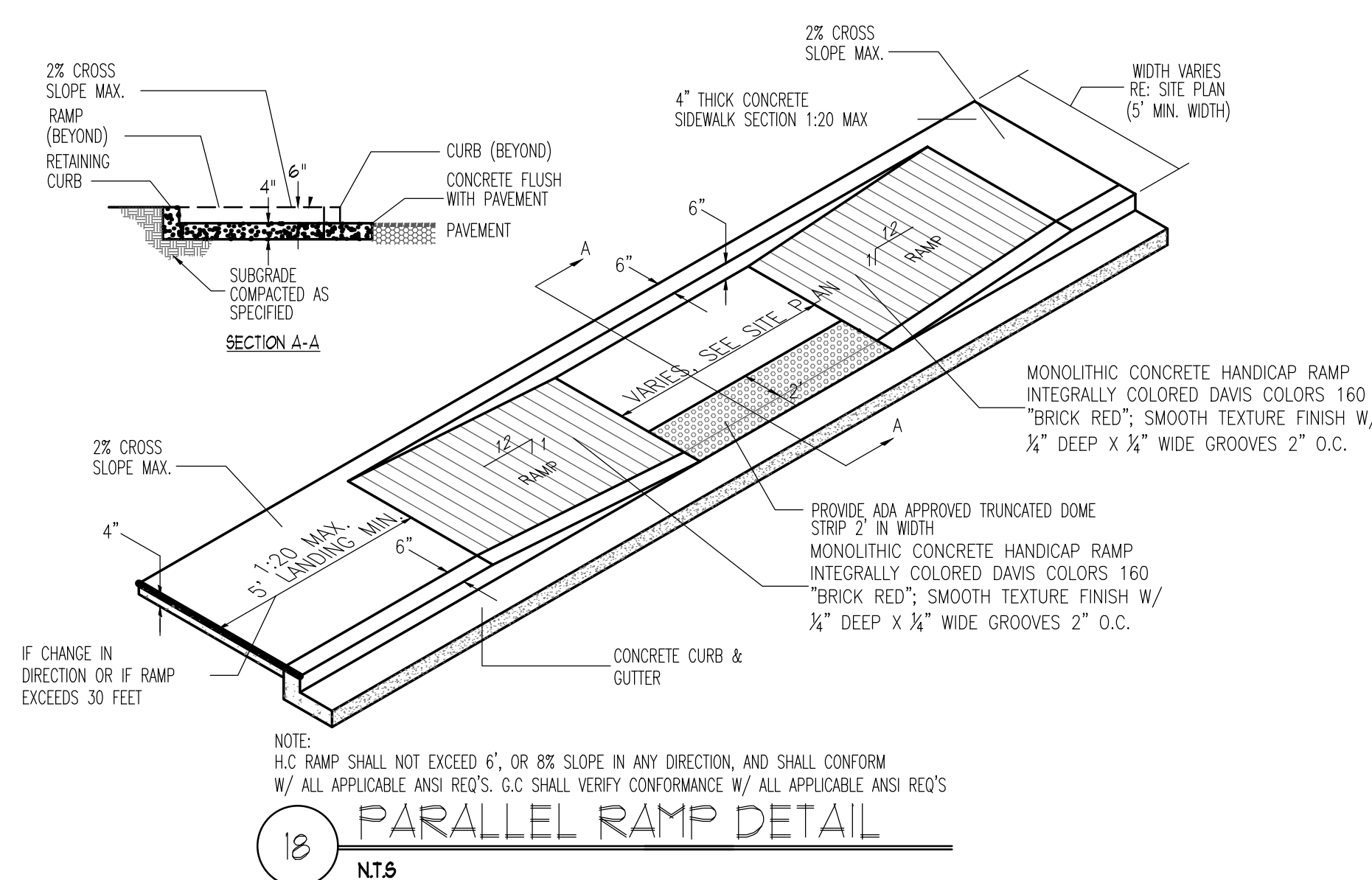
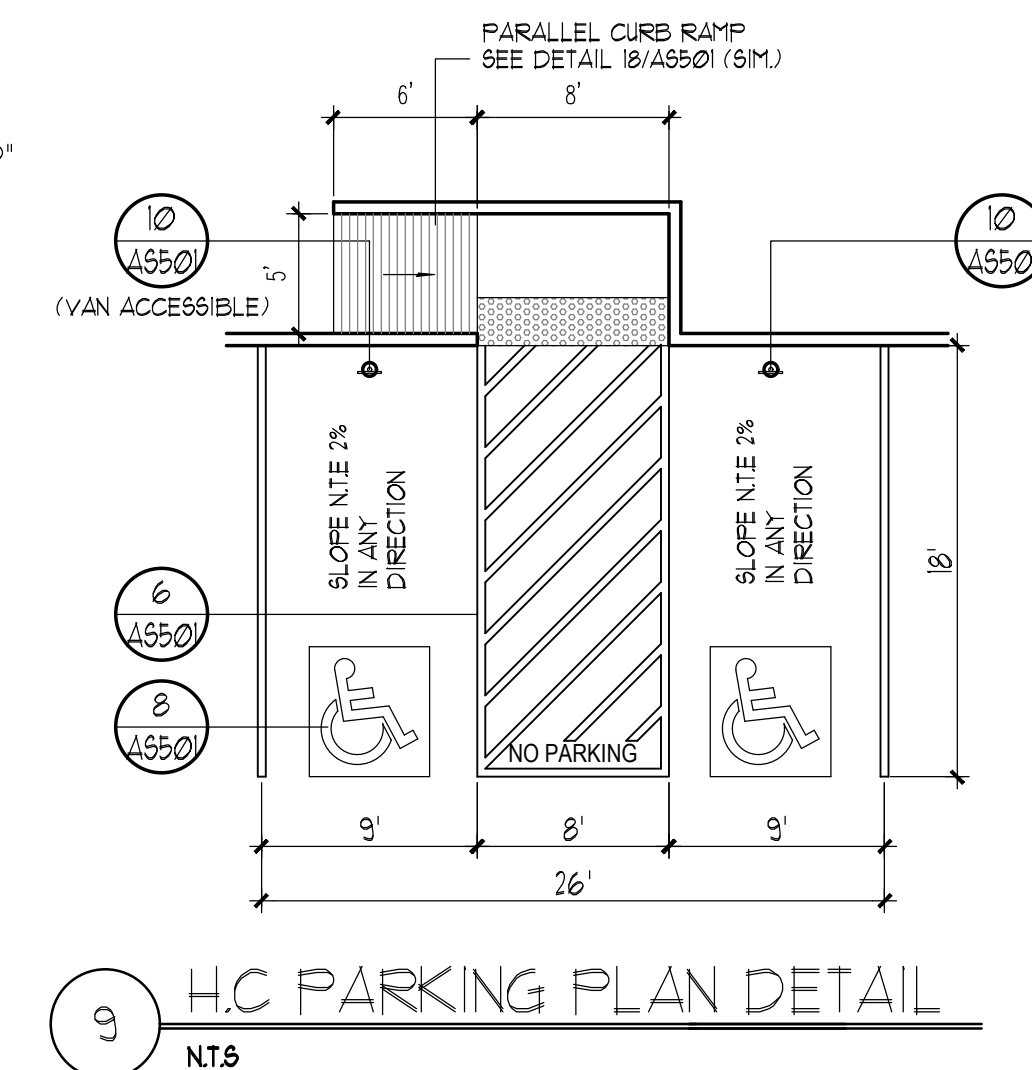
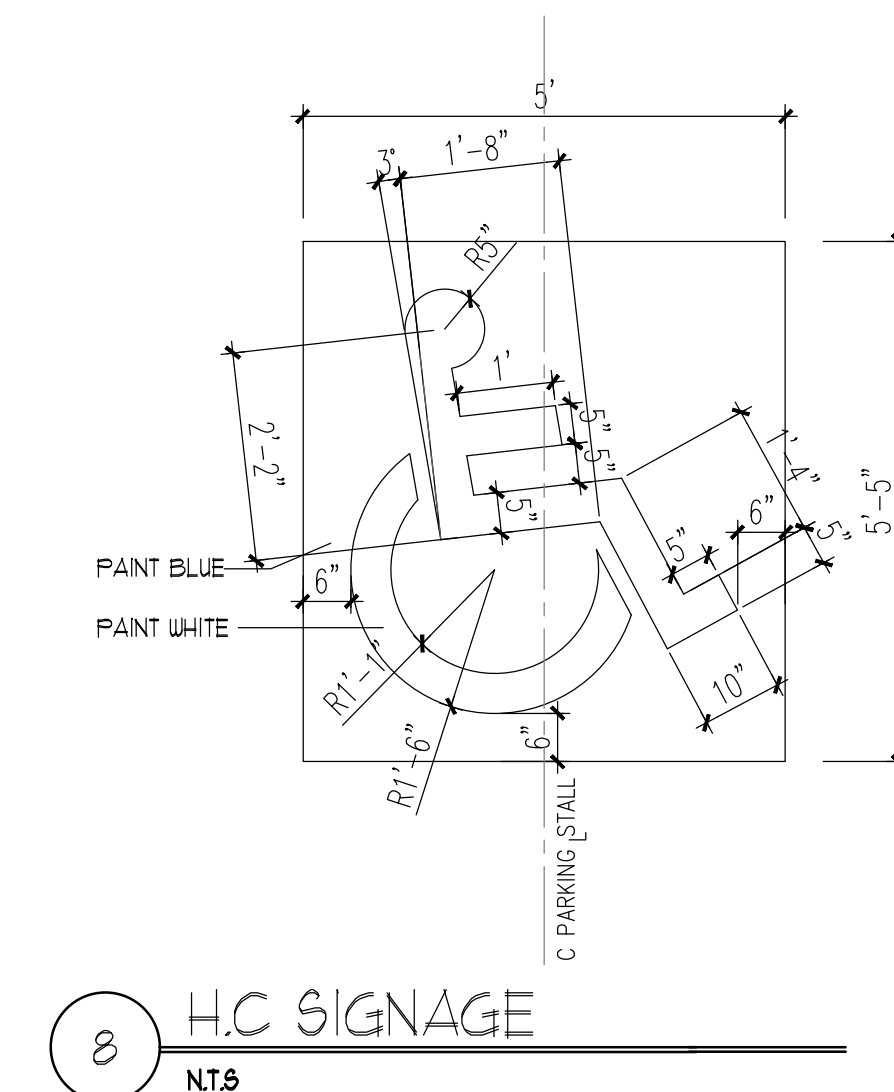
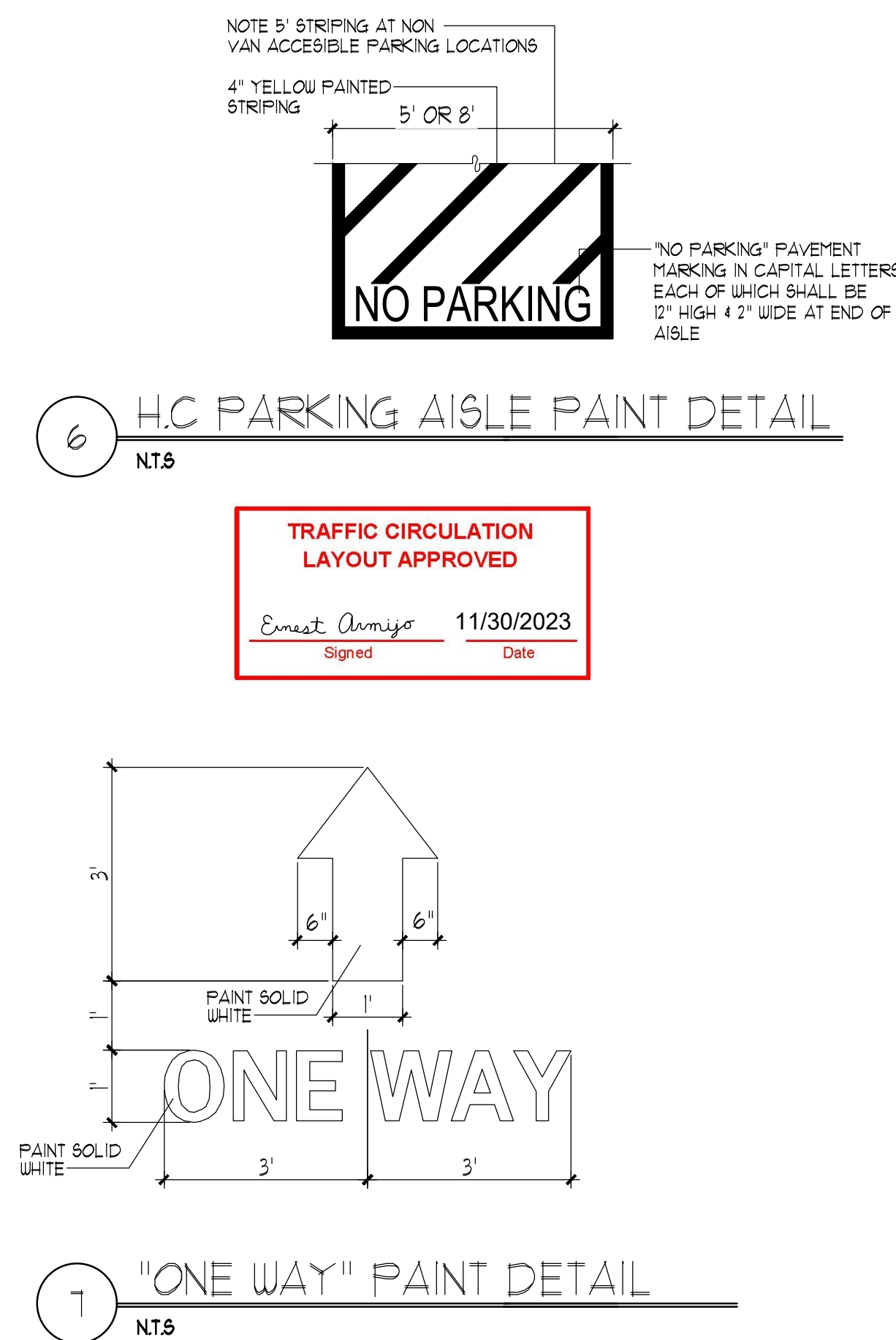
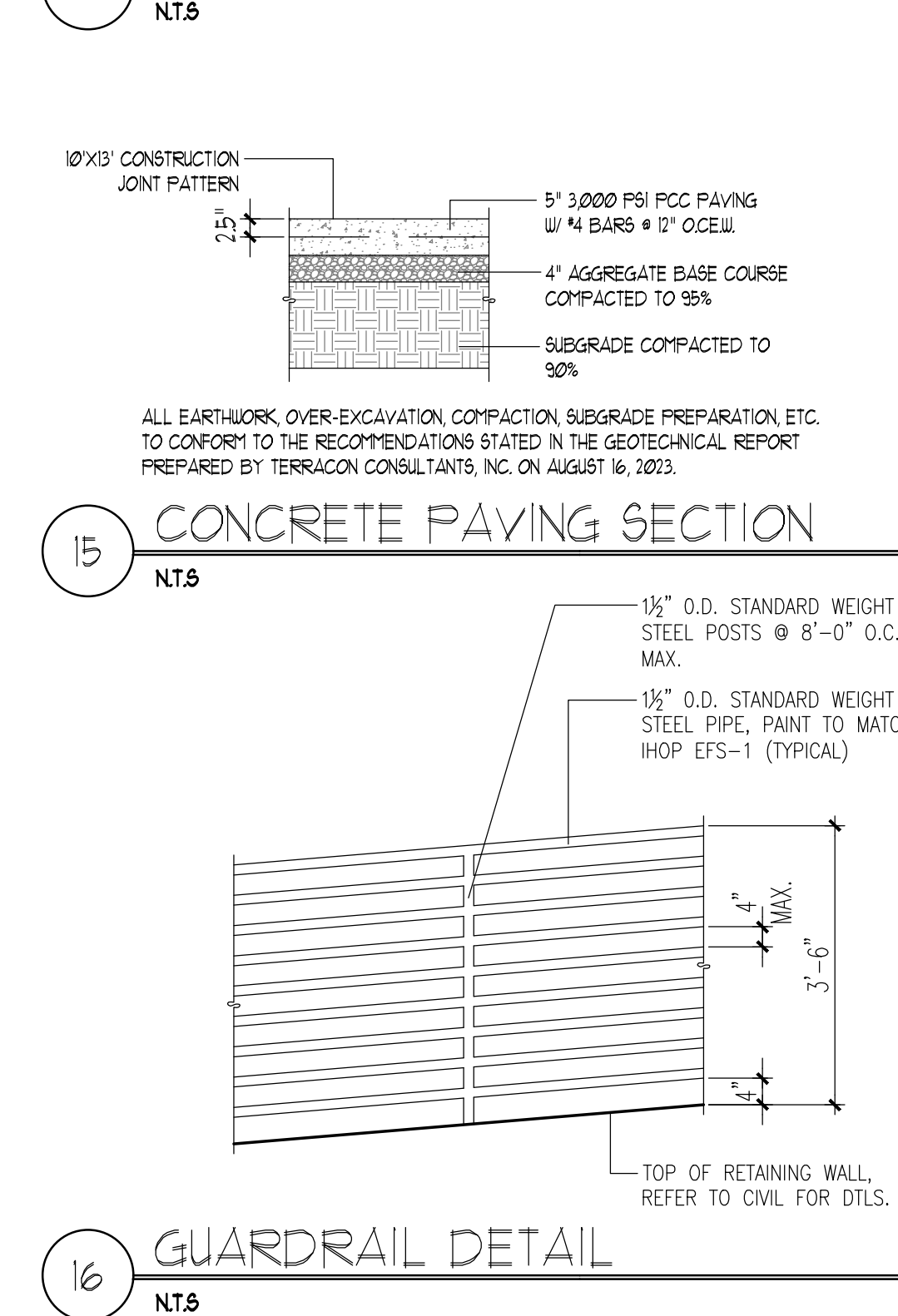
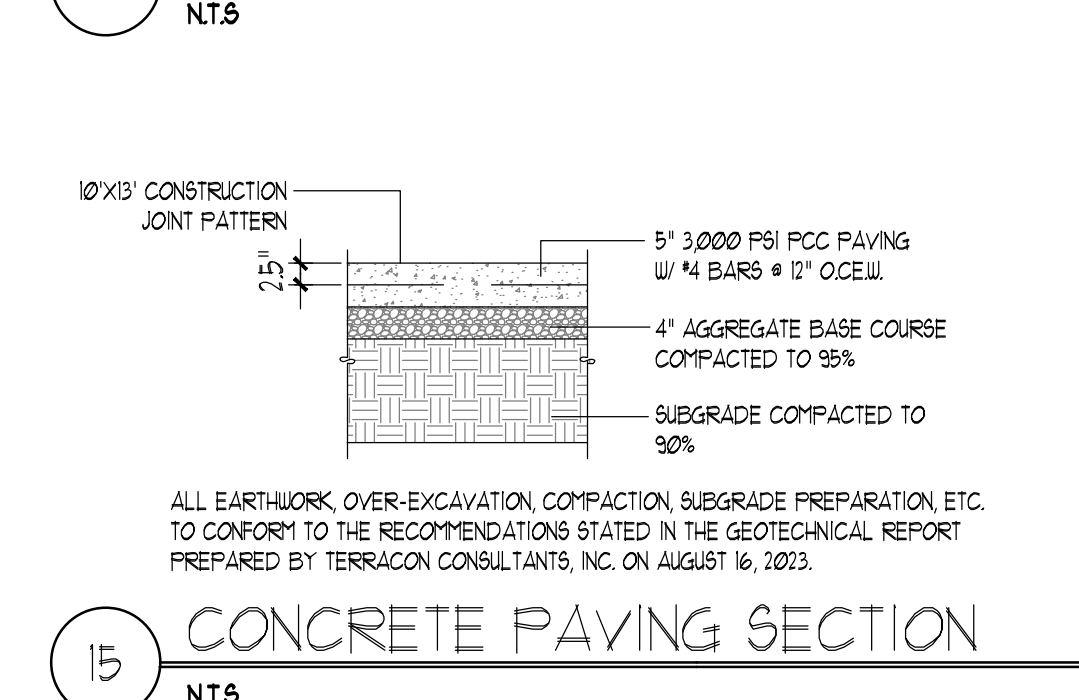
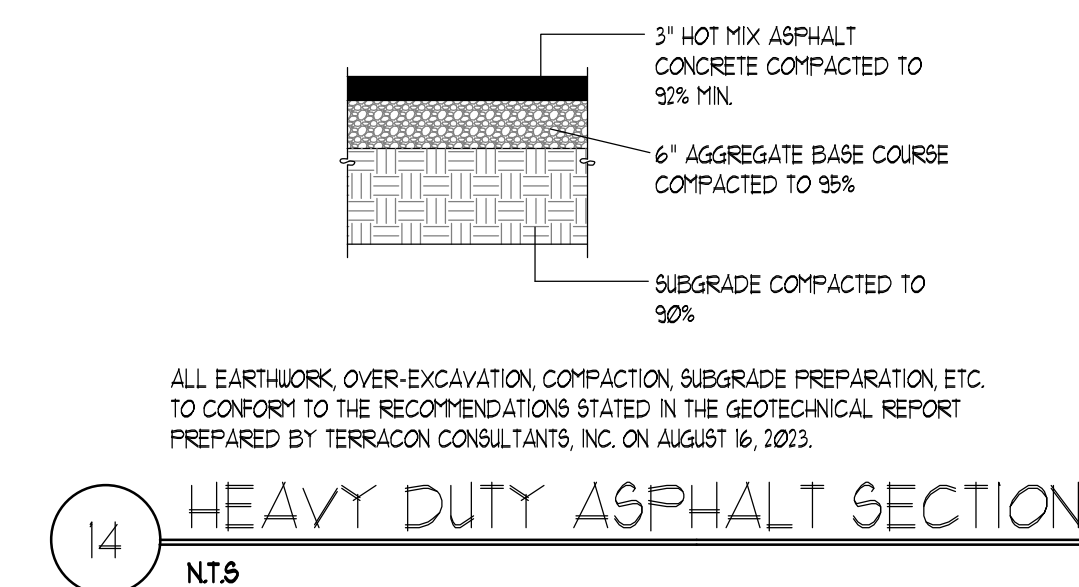
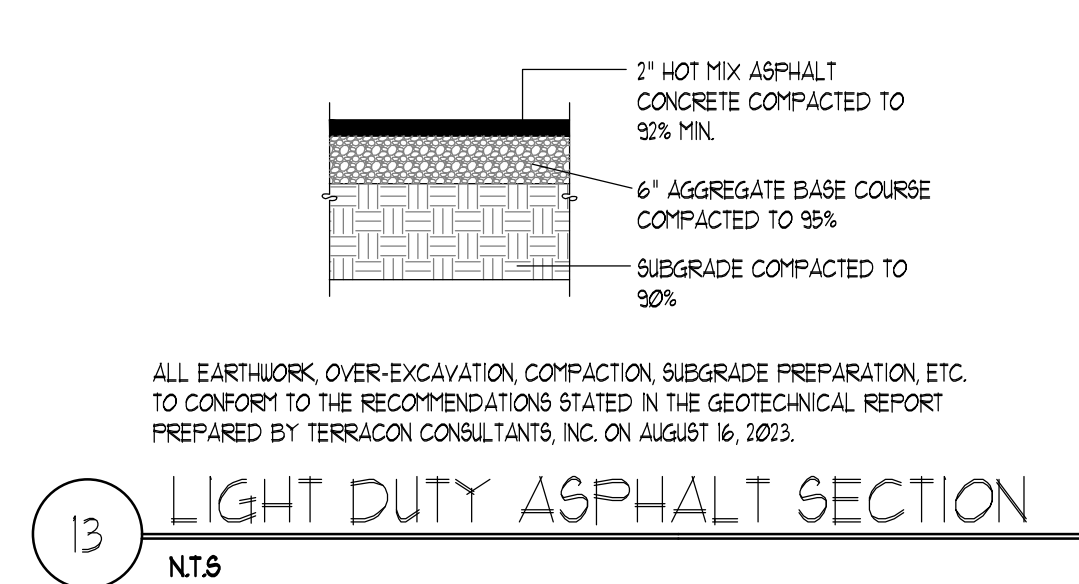
---	PROPERTY LINE
- - - - -	EASEMENT
=====	EXISTING CONCRETE CURB & GUTTER TO REMAIN
-----	EXISTING PARKING LOT STRIPING TO REMAIN
-----	EXISTING CONCRETE PAVING/SIDEWALK TO REMAIN
=====	EXISTING CONCRETE/CMU WALL TO REMAIN
=====	NEW CONCRETE CURB & GUTTER
=====	NEW CONCRETE PAVING/SIDEWALK
=====	NEW PARKING LOT STRIPING
=====	NEW CONCRETE/CMU WALL, REFER TO CIVIL FOR DETAILS
[Pattern]	INDICATES NEW LANDSCAPE AREAS, REFER TO LANDSCAPE PLAN
[Symbol]	NEW LIGHT POLE, REFER TO ELECTRICAL SITE PLAN - MAX. HEIGHT NOT TO EXCEED 20' FROM FINISH GRADE.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

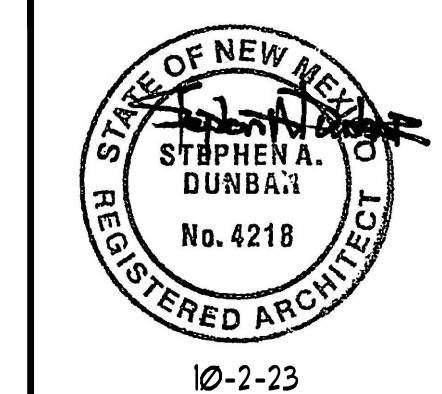
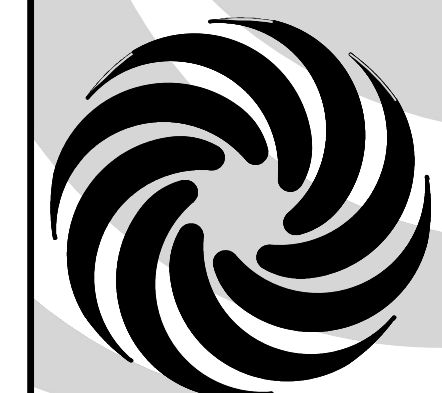


PROJECT TITLE IHOP, PARIS BAGUETTE & TENANT SPACE NORTHEAST CORNER OF UNSER BLVD & CROWN RD. ALBUQUERQUE, NT 87114	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --
SHEET TITLE SITE PLAN	SHEET NO. AS101



REV	DATE	BY	REVISION
1			
2			
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7			

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE		JOB NO.		DRAWN BY:	
IHOP, PARIS BAGUETT & TENANT SPACE NORTHEAST CORNER OF UNGER BLVD & CROWN RD. ALEXANDRIA, NY 87114		--		CDC	
PROJECT MANAGER		SHEET TITLE			
STEPHEN DUNBAR, AIA		SITE DETAILS			
DATE:		sheet:			
10/02/2023		AS501			
SCALE:		nt-			
AS NOTED					