

NO.	DATE	REVISION	CHECKED BY	DATE
1	12.15.08	UPDATE PER COMMENTS	JFS	12.2.2008
2	1.5.09	UPDATE PER COMMENTS	JFS	
3	1.16.09	UPDATE PER COMMENTS	JFS	
4	3.10.09	DRB FINAL SET	JFS	

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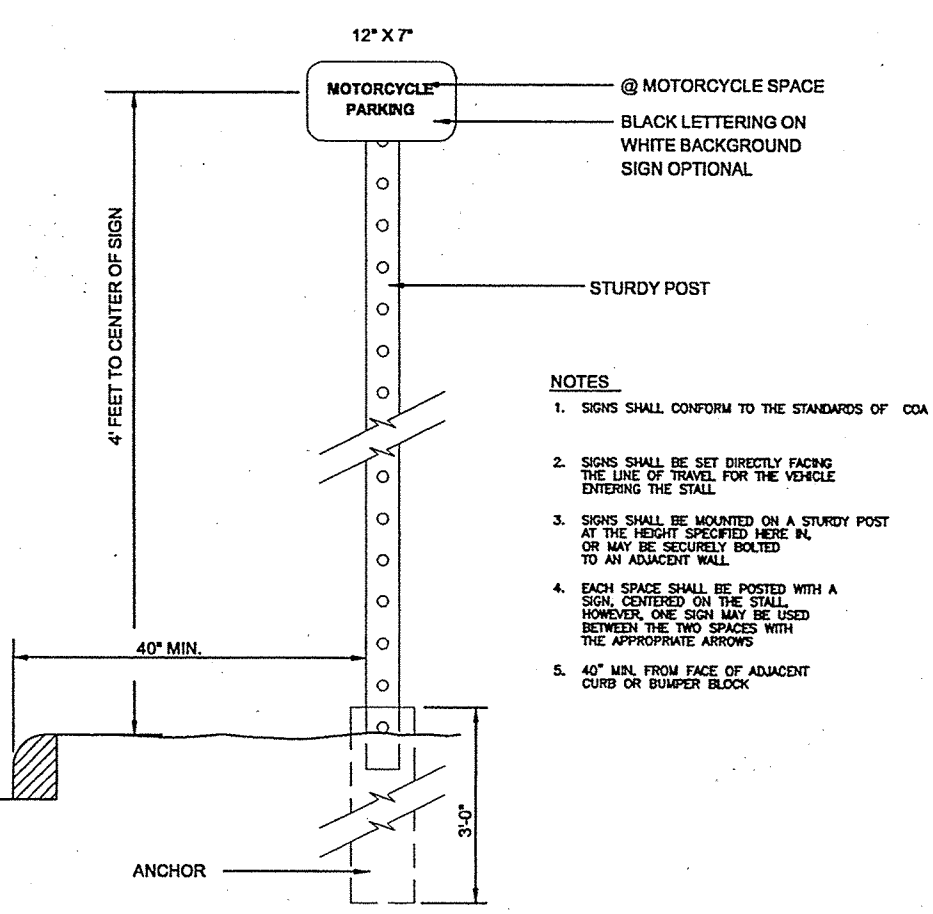
SIMONS ARCHITECTURE

STATE OF NEW MEXICO
 Joseph F. Simons Jr.
 No. 2480
 3-10-09
 REGISTERED ARCHITECT

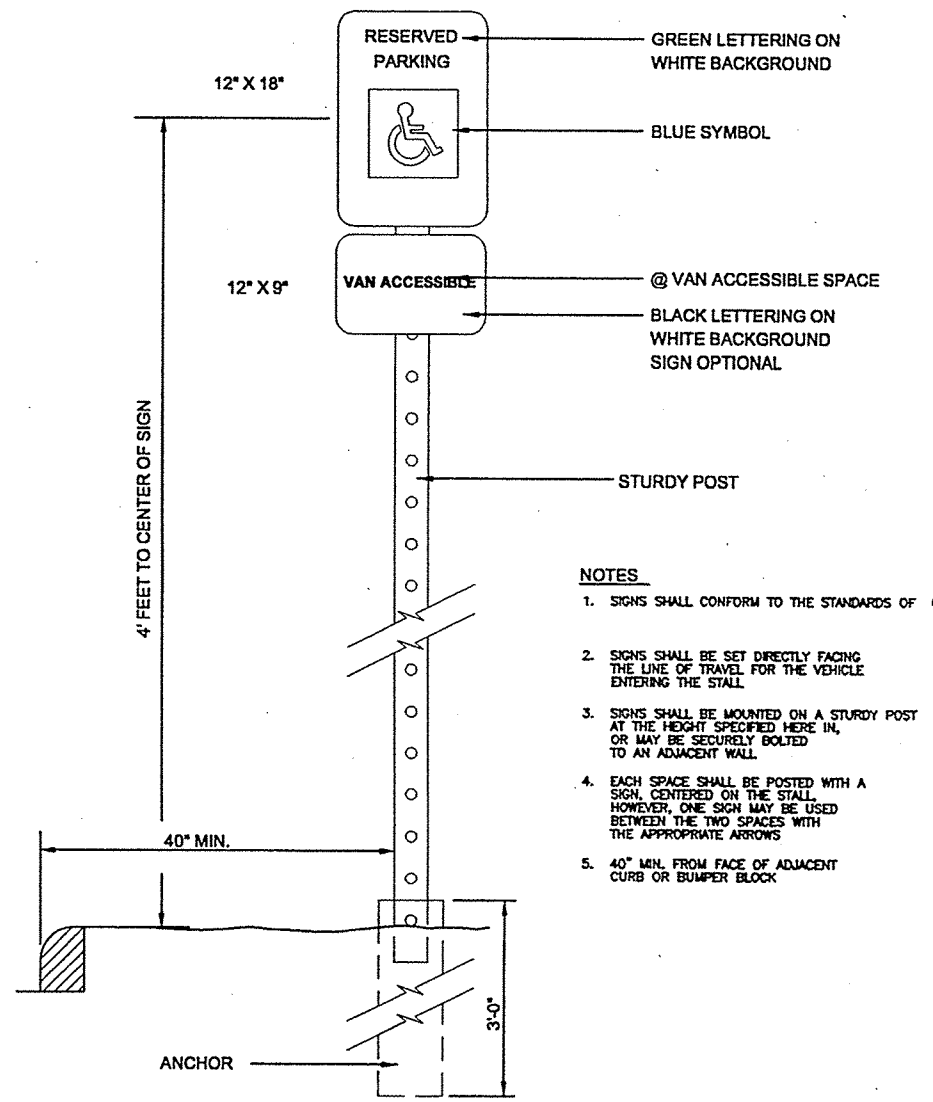
ROC-40
 Tract 1B-5, SWC Golf Course & McMahon
 Albuquerque, New Mexico

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

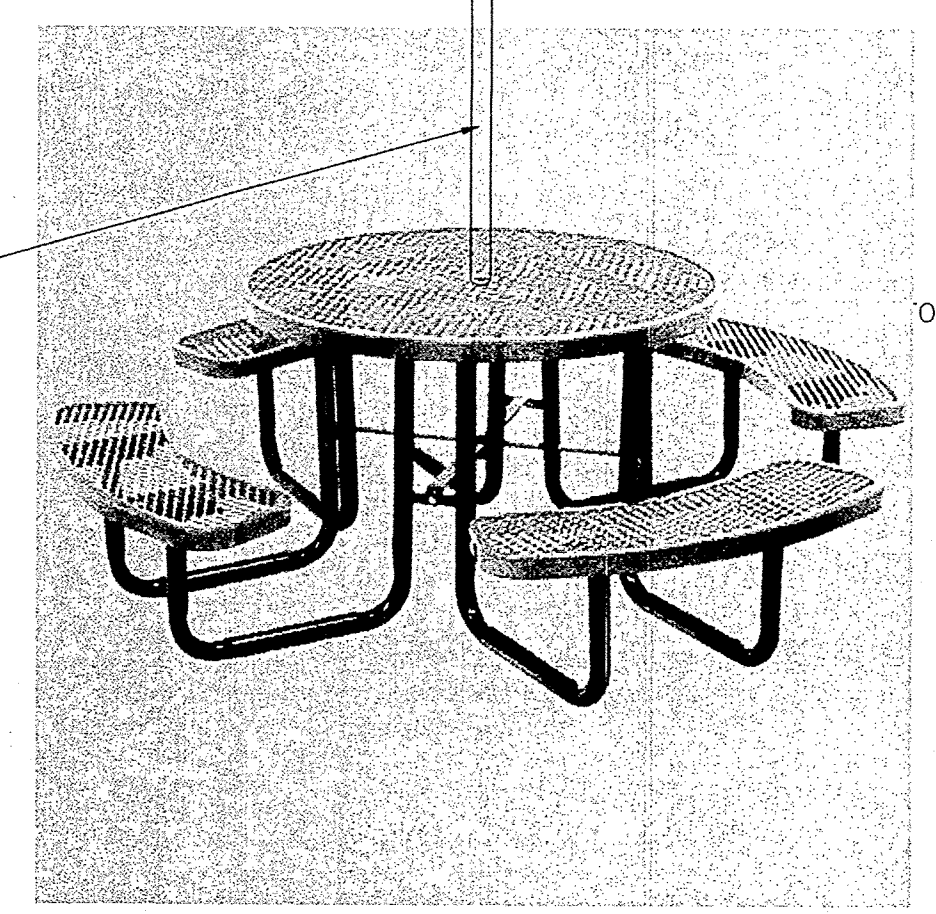
C-1



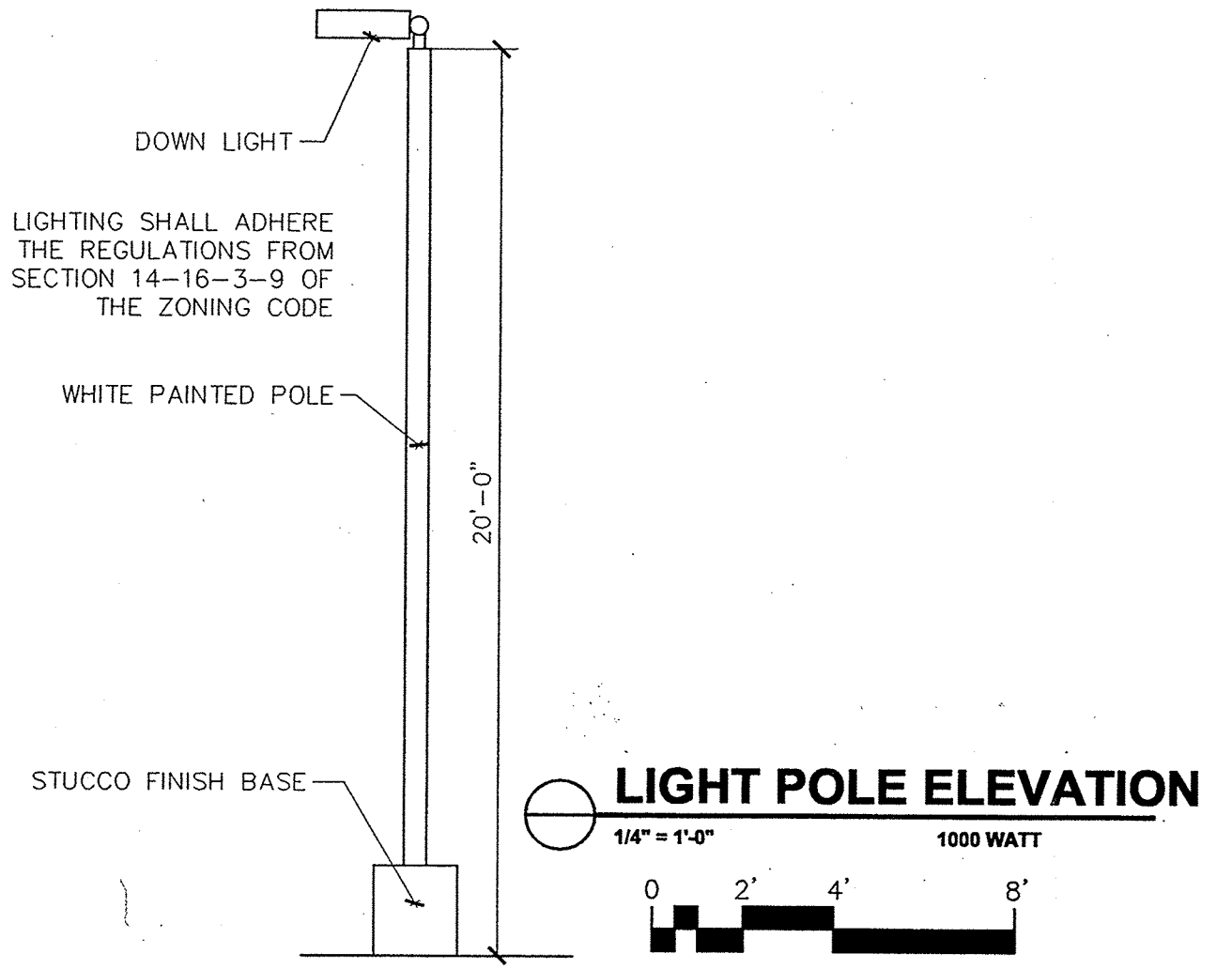
MOTORCYCLE PARKING SIGN
 1" = 1'-0"



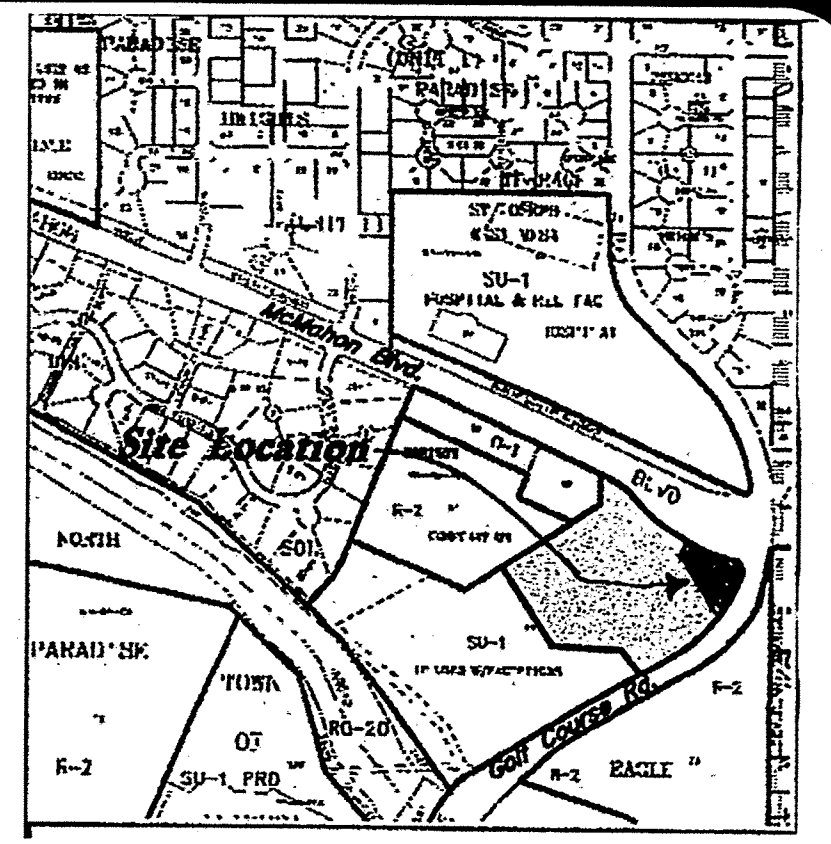
H.C. SIGN DETAIL
 1" = 1'-0"



OUTDOOR TABLE AND CHAIRS



LIGHT POLE ELEVATION
 1/4" = 1'-0" 1000 WATT



VICINITY MAP
 1" = 750'

LEGAL DESCRIPTION

TRACT 1B-5
 PARADISE NORTH SUBDIVISION
 SW CORNER OF GOLF COURSE AND MCMAHON
 ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY

TOTAL STANDARD PARKING PROVIDED =	8 SPACES
TOTAL H.C. PARKING REQUIRED =	2 SPACES
TOTAL H.C. PARKING PROVIDED =	2 SPACES
TOTAL SHARED PARKING PROVIDED =	4 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED =	1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED =	1 SPACE
TOTAL PARKING PROVIDED =	14 SPACES
TOTAL PARKING REQUIRED =	10 SPACES

SITE DATA

ZONING: C2
 ZONE ATLAS: A12
 SITE SIZE: 29,107 SQ. FT. (.688 AC.)
 BUILDING SIZE / % OF SITE: 2,248 SQ. FT. / 7.7%

1 BICYCLE RACK PER 20 PARKING SPACES
 (1 BICYCLE RACK - 5 SPACES)

BIKE SPACES REQUIRED = 2 RACKS
 BIKE SPACES PROVIDED = 2 RACKS

DRB DATA

GOLF COURSE MARKETPLACE
 EPC #04EPC-01349 PROJECT #1001685
 EPC #04EPC-01590 PROJECT #1001685
 APPROVED 10.19.2005

GENERAL PARKING NOTES

TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
 TYPICAL COMPACT CAR SPACES: 8'-0" X 15'-0"
 TYPICAL HANDICAP SPACES: 8'-0" X 18'-0"
 WITH A 8' WIDE ACCESS AISLE
 ALL SPACES ARE STANDARD SIZE UNLESS NOTED OTHERWISE

PARKING CALCULATIONS

SEATING AREA: 690 S.F. / 15 = 46 OCCUPANTS
 OCCUPANT LOAD: 46 OCCUPANTS / 4
 PARKING CALCULATIONS: TRANSIT REDUCTION OF 10% - 1 SPACE
 10 SPACES REQUIRED

GENERAL NOTES

1. BECAUSE OF THE SCALE OF THIS DRAWING THE UTILITIES SITE PLAN IS ON A SEPARATE SHEET.
2. NOT USED.
3. THERE ARE NO TURN / DECELERATION LANES THAT SERVE THIS SITE. ALL ACCESS TO THIS SITE IS INTERNAL TO THE SHOPPING CENTER.
4. BUS STOP SERVES ROUTE #92 TAYLOR RANCH EXPRESS ROUTE 157 - MONTANO / UPTOWN / KIRKLAND

PROJECT NUMBER: 1001685

Application Number: 09DRB-70073

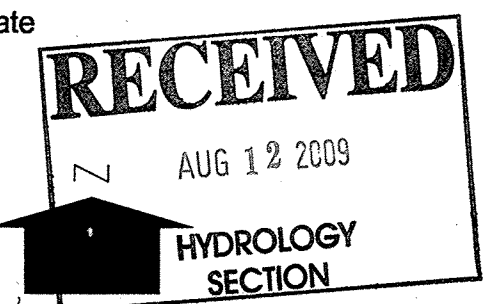
This plan is consistent with specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 13, 2009, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

[Signature]
 Traffic Engineering, Transportation Division
 ABCWUA
[Signature]
 Parks and Recreation Department
[Signature]
 City Engineer
 N/A
 Environmental Health Department
[Signature]
 Solid Waste Management
[Signature]
 DRB Chairperson, Planning Department

03-11-09
 Date
 3-11-09
 Date
 3/11/09
 Date
 3/11/09
 Date
 3-11-09
 Date



0 20' 40' 80'
 SCALE 1" = 20'-0"

