CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

September 12, 2023

Jesse Sullivan, P.E.
Matrix Design Group, Inc.
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920

RE: Circle K – Golf Course Rd. NW
Conceptual Grading & Drainage Plans
Engineer's Stamp Date: 08/24/23
Hydrology File: A12D008B1

Dear Mr. Sullivan:

Based upon the information provided in your submittal received 09/01/2023, the Conceptual Grading & Drainage Plans are preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO BUILDING PERMIT:

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: Circle K - Golf Course & Westside Building Permit #: TBD Hydrology File #: TBD

DRB#: N/A EPC#: _____ Work Order#: _____

Legal Description: Tract D-1, Paradise Heights, Unit 1, Albuquerque, Bernalillo County, New Mexico, as show on the Plat of Tracts D-1, E-1 and Amafca Black Arroyo Channel Row, Paradise Heights, Unit 1, Albuqerque, New Mexico

City Address: 10850 Golf Course Rd NW, Albuquerque, NM 87114

Applicant: Land Development Consultants Contact: Sofia Hernandez

Address: 950 S Cherry St., Suite 510, Denver, CO 80246

Phone#: 303-717-3305 Fax#: N/A E-mail: sofia@ldcaz.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes X No

DEPARTMENT:

xxxxx HYDROLOGY/ DRAINAGE

____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION

____ PAD CERTIFICATION

XXX CONCEPTUAL G & D PLAN

____ GRADING PLAN

____ DRAINAGE MASTER PLAN

____ DRAINAGE REPORT

____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC

____ ELEVATION CERTIFICATE

____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)

____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____

____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL

____ SITE PLAN FOR SUB'D APPROVAL

____ SITE PLAN FOR BLDG. PERMIT APPROVAL

____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE

____ FOUNDATION PERMIT APPROVAL

____ GRADING PERMIT APPROVAL

____ SO-19 APPROVAL

____ PAVING PERMIT APPROVAL

____ GRADING/ PAD CERTIFICATION

____ WORK ORDER APPROVAL

____ CLOMR/LOMR

____ FLOODPLAIN DEVELOPMENT PERMIT

____ OTHER (SPECIFY) _____

DATE SUBMITTED: 09-01-23 By: Betsy Rice

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:_____

FEE PAID:_____

CONCEPTUAL GRADING & DRAINAGE PLAN
CIRCLE K
10850 GOLF COURSE RD NW
ALBUQUERQUE, NM 87114

FLOOD ZONE INFORMATION

IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE 'X' AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 35001C0108G DATED 09/26/2008.

BENCHMARK

NGS BENCHMARK FOR A 3" BRASS CAP MARKED REEVES 2 FOUND AT THE EAST EDGE OF A CONCRETE DRAINAGE CHANNEL STRUCTURE, THENCE N.49°35'26"W., 27,249.60 FEET TO A P.K. NAIL CAP 5110 FOR THE TRUE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF TRACT D-1, PARADISE HEIGHTS, UNIT I, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGAL DESCRIPTION

TRACT D-1, PARADISE HEIGHTS, UNIT I, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON THE PLAT OF TRACTS D-1, E-1 AND AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT I, ALBUQUERQUE, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 2, 2009, IN PLAT BOOK 2009C, PAGE 83, AS DOCUMENT NO. 2009061460; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN NGS BENCHMARK FOR A 3" BRASS CAP MARKED REEVES 2 FOUND AT THE EAST EDGE OF A CONCRETE DRAINAGE CHANNEL STRUCTURE, THENCE N.49°35'26"W., 27,249.60 FEET TO A P.K. NAIL CAP 5110 FOR THE TRUE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF THIS TRACT;

THENCE N.89°42'15"W., 294.69 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A CORNER OF THIS TRACT;

THENCE AROUND THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 458.00 FEET, AN ARC LENGTH OF 283.04 FEET, THROUGH A CENTRAL ANGLE OF 35°24'30" AND WHOSE LONG CHORD BEARS S.88°22'12"W. • A DISTANCE OF 278.56 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT AT THE EAST RIGHT-OF-WAY OF GOLF COURSE ROAD NW; WHENCE A BENCHMARK ACS 9-A11 BEARS, S.80°59'05"W .• 6,507.39 FEET;

THENCE ALONG THE SAID ROAD THE FOLLOWING NINE COURSES AND DISTANCES;

N.19°20'02"W., 26.91 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR CORNER OF THIS TRACT;

THENCE S.70°39'58"W,, 5.12 FEET TO A CORNER OF THIS TRACT TO A POINT OF TANGENCY;

THENCE AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 38.68 FEET, THROUGH A CENTRAL ANGLE OF 88°38'53" AND WHOSE LONG CHORD BEARS N.65°00'36"W., A DISTANCE OF 34.94 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A POINT OF CONTINUOUS CURVE;

THENCE AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 825.00 FEET, AN ARC LENGTH OF 250.27 FEET, THROUGH A CENTRAL ANGLE OF 17°22'52" AND WHOSE LONG CHORD BEARS N.11°59'43"W., A DISTANCE OF 249.31 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A POIN OF CONTINUOUS CURVE;

THENCE AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 140.00 FEET, AN ARC LENGTH OF 37.24 FEET, THROUGH A CENTRAL ANGLE OF 15'14'26" AND WHOSE LONG CHORD BEARS N.04°18'56"E., A DISTANCE OF 37.13 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A POINT OF REVERSE CURVE;

THENCE AROUND THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 310.00 FEET, AN ARC LENGTH OF 63.05 FEET, THROUGH A CENTRAL ANGLE OF 11·39'11" AND WHOSE LONG CHORD BEARS N.06'06'34"E., A DISTANCE OF 62.94 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A POINT OF TANGENCY;

THENCE N.00'17'07"E., 90.00 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A CORNER OF THIS TRACT;

THENCE N.03'30'QQ"E., 26.03 FEET FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 45.38 FEET, THROUGH A CENTRAL ANGLE OF 86'40'10" AND WHOSE LONG CHORD BEARS N.46'50'19"E., A DISTANCE OF 41 .18 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR THE POINT OF TANGENCY AT THE SOUTH RIGHT-OF-WAY OF WESTSIDE BLVD. NW; WHENCE A BENCHMARK ACS 8-A11 BEARS, N.88' 12'30"W., 5874.12 FEET;

THENCE ALONG THE SAID RIGHT-OF-WAY THE FOLLOWING NINE COURSES AND DISTANCES;

S.89'49'36"E., 76.65 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A POINT OF NON-TANGENCY:

THENCE AROUND THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 160.00 FEET, AN ARC LENGTH OF 43.96 FEET, THROUGH A CENTRAL ANGLE OF 15'44'31" AND WHOSE LONG CHORD BEARS S.81'57'20"E., A DISTANCE OF 43.82 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR THE POINT OF TANGENCY;

THENCE S.89'49'36"E., 173.36 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR THE POINT OF TANGENCY;

THENCE AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 31.42 FEET, THROUGH A CENTRAL ANGLE OF 90'00'00" AND WHOSE LONG CHORD BEARS S.44°49'36"E., A DISTANCE OF 28.28 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR THE POINT OF NON-TANGENCY;

THENCE S.89°49'36"E., 43.25 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR THE POINT OF NON-TANGENCY;

THENCE AROUND THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.12 FEET, THROUGH A CENTRAL ANGLE OF 90'00'00" AND WHOSE LONG CHORD BEARS N.45'10'24"E., A DISTANCE OF 42.43 FEET TO A CHISELED X FOUND FOR THE POINT OF TANGENCY;

THENCE S.89'49'36"E., 122.51 FEET TO A CHISELED X FOUND FOR A CORNER OF THIS TRACT;

THENCE N.88'04'18"E., 109.08 FEET TO A 5/8" IRON ROD WITH CAP 5110 FOUND FOR A CORNER OF THIS TRACT;

THENCE N.89'46'36"E., 13.20 FEET TO THE NORTHEAST CORNER OF THIS TRACT;

THENCE S.00'17'07"W., 525.86 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 7.67 ACRES OF LAND, MORE OR LESS.

SOILS

THE ON-SITE SOILS INCLUDE BLUEPOINT-KOKAN ASSOCIATION (BKD) AND BLUEPOINT LOAMING FIND SAND (BCC) PER THE NATIONAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY. BKD IS RATED HYDROLOGIC GROUP A AND BCC IS RATED HYDROLOGIC GROUP A. REFERENCE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC., DATED JANUARY 25, 2021, PROJECT NUMBER 661205250 FOR ADDITIONAL INFORMATION REGARDING SITE SOILS.

PROJECT DESCRIPTION

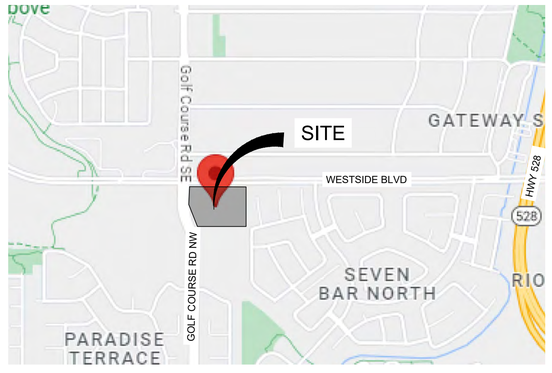
THE 2.03-ACRE SITE WILL CONSIST OF A CIRCLE K CONVENIENCE STORE, GAS PUMPS, PAVED DRIVE AISLES, AND PAVED PARKING.

GENERAL COVER SHEET NOTES

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
   TOPOGRAPHY/BOUNDARY:
   PRECISION LAND SURVEYORS
   4419 KINGSTON ROAD
   LAS CRUCES, NM 88012
   575-640-0474
B. MATRIX DESIGN GROUP AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
C. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
D. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, UNDERGROUND STORAGE TANKS, PAVING AND ANY OTHER EXISTING IMPROVEMENTS AS SHOWN ON DEMOLITIONS PLANS. REFER SITE WORK SPECIFICATIONS.
E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
F. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
G. WARRANTY/DISCLAIMER: THE DESIGN REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
H. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH THE GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION
I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
J. RESIDENT ENGINEERS SERVICES: UPON WRITTEN REQUEST, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS, THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH MATRIX DESIGN GROUP. IT WILL BE THE CONSTRUCTION CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRE-CONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.
K. PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
L. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
M. CALCULATIONS AND QUANTITIES SHOWN ON THE PLANS ARE FOR ENGINEERS ESTIMATES ONLY, FOR THE SOLE PURPOSES OF DETERMINING PLAN CHECK AND PERMIT FEES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING HIS / HER OWN QUANTITIES FOR BIDDING AND CONSTRUCTING.
N. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS, AND PRECISE BUILDING DIMENSIONS.

811 Know what's below. Call before you dig.

INDEX OF SHEETS



VICINITY MAP
N.T.S.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 09/12/23
BY: Renée C. Brissette
HydroTrans # A12D008B1
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

CONSULTANTS:

Matrix
Excellence by Design
2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX : (719) 575-0208

LAND DEVELOPMENT CONSULTANTS, LLC
950 S. CHERRY STREET, SUITE 512
DENVER, CO 80246

OWNER/DEVELOPER:

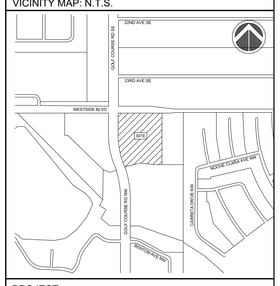
CIRCLE K
ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111

SEAL

JESSE SULLIVAN
NEW MEXICO
27224
08/24/23
PROFESSIONAL ENGINEER

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.

VICINITY MAP: N.T.S.



PROJECT:

CIRCLE K STORES
CONCEPTUAL GRADING & DRAINAGE PLAN
10850 GOLF COURSE RD NW
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO:	XX.XXX.XXXX
DRAWN BY:	KGI
CHECKED BY:	RPD
	NMS

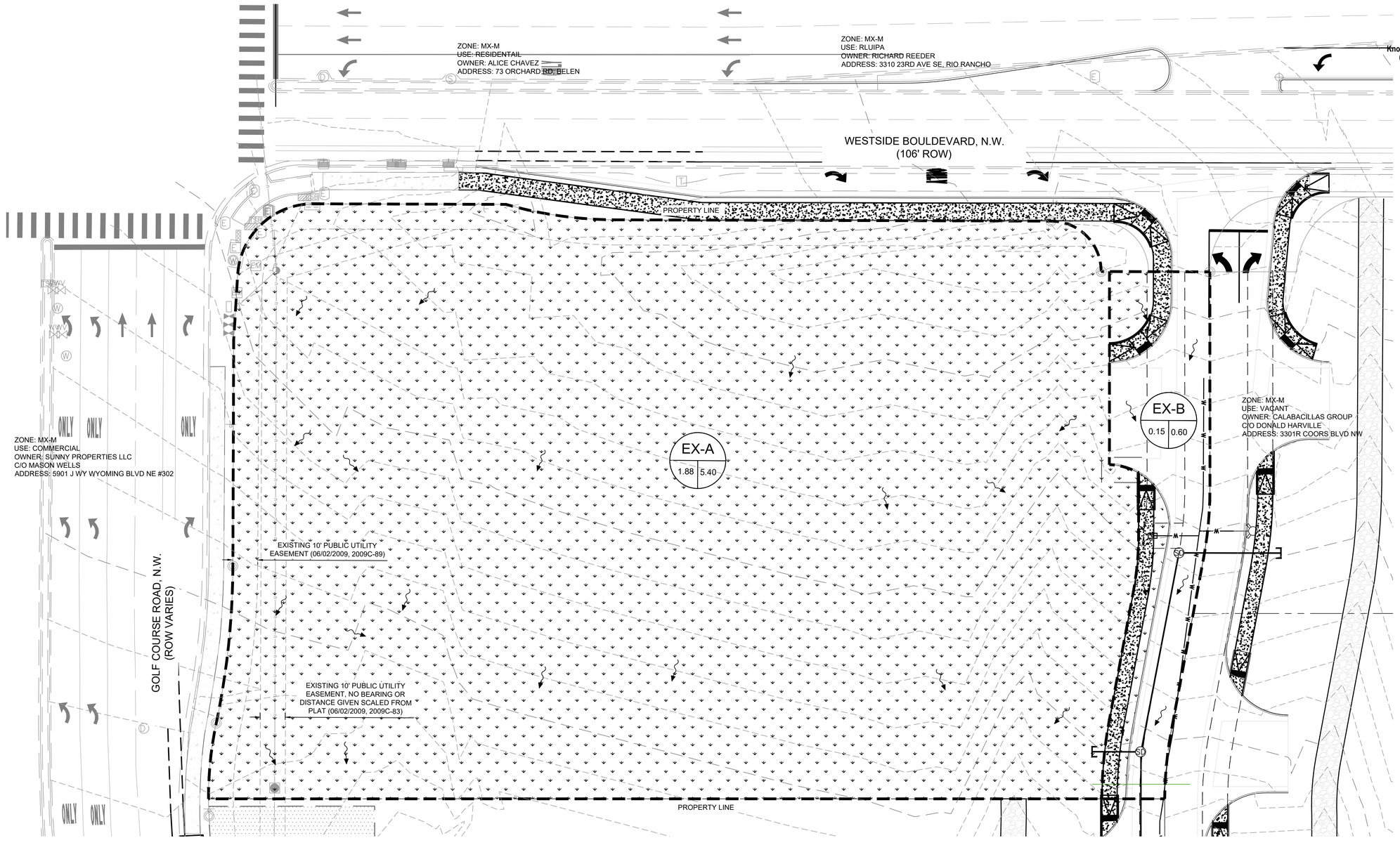
SHEET TITLE:

TITLE SHEET

TS01

SHEET 1 OF 4

DATE: AUGUST 2023



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EXISTING CONDITIONS NARRATIVE

THE EXISTING SITE IS PREDOMINATELY SANDY SOIL, MODERATELY VEGETATED WITH VARIOUS SHRUBS AND GRASSES. GENERAL EXISTING TOPOGRAPHY OF THE SITE, AND WITHIN 100 FEET OF THE PROPERTY LINE, SLOPES TO THE SOUTH AT ABOUT 3-6%.

THIS SITE HAS BEEN ANALYZED IN THE APPROVED GOLF COURSE & WESTSIDE COMMERCIAL DEVELOPMENT DRAINAGE REPORT, DATED 03/29/23, HYDROLOGY FILE A12D008B2. AS INDICATED IN THAT REPORT, THE MAJORITY OF THE SITE (BASIN EX-A) DRAINS TO THE SOUTH PROPERTY LINE AND ONTO THE ADJACENT PROPERTY VIA OVERLAND FLOW. BASIN EX-A IN THIS MAP CORRESPONDS TO BASIN D1.A IN THE APPROVED DRAINAGE REPORT. A SMALL PORTION OF THIS SITE (BASIN EX-B) REPRESENTS THE AREA WITHIN THE PROPERTY BOUNDARY THAT IS THE WEST HALF OF THE NORTH-SOUTH ROADWAY AND DRAINS SOUTH TO THE PROPERTY LINE VIA CURB AND GUTTER. BASIN EX-B IS A PORTION OF BASIN D2 IN THE APPROVED DRAINAGE REPORT.

EXISTING CONDITIONS RUNOFF SUMMARY (RATIONAL METHOD)

Basin	Area [ac]			100-yr, 6-hr Excess Precipitation, E*		100-yr Peak Discharge [cfs/ac]**			Peak	
ID	Land Treat. C	Land Treat. D	Total	Land Treat. C	Land Treat. D	E [in]	Land Treat. C	Land Treat. D	Discharge	Notes
EX-A	1.88	0.00	1.88	0.95	2.24	0.95	2.87	4.12	5.40	Flows overland south to property line.
EX-B	0.02	0.14	0.15	0.95	2.24	2.11	2.87	4.12	0.60	Flows via curb and gutter south to property lin
Total	**1.90**	**0.14**	**2.03**			**3.06**			**5.99**	

*Values per DPM Table 6.2.13.
**Values per DPM Table 6.2.14.

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N

GRAPHIC SCALE
20' 0' 20' 40'
(IN FEET)
1 inch = 20 ft.

GRADING LEGEND

- 4000 / 4001 — EXISTING CONTOURS
- PERVIOUS AREA
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION

BASIN ID (A) — BASIN AREA [AC] (0.82) — 100-YR RUNOFF [CFS] (2.15)

CONSULTANTS:

Matrix
Excellence by Design
2435 RESEARCH PARKWAY, SUITE
300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX : (719) 575-0208

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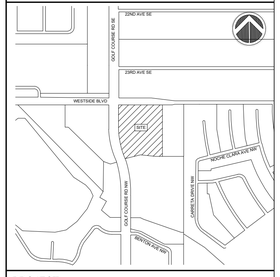

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DRAWN BY:	KGI
CHECKED BY:	RPD
	NMS

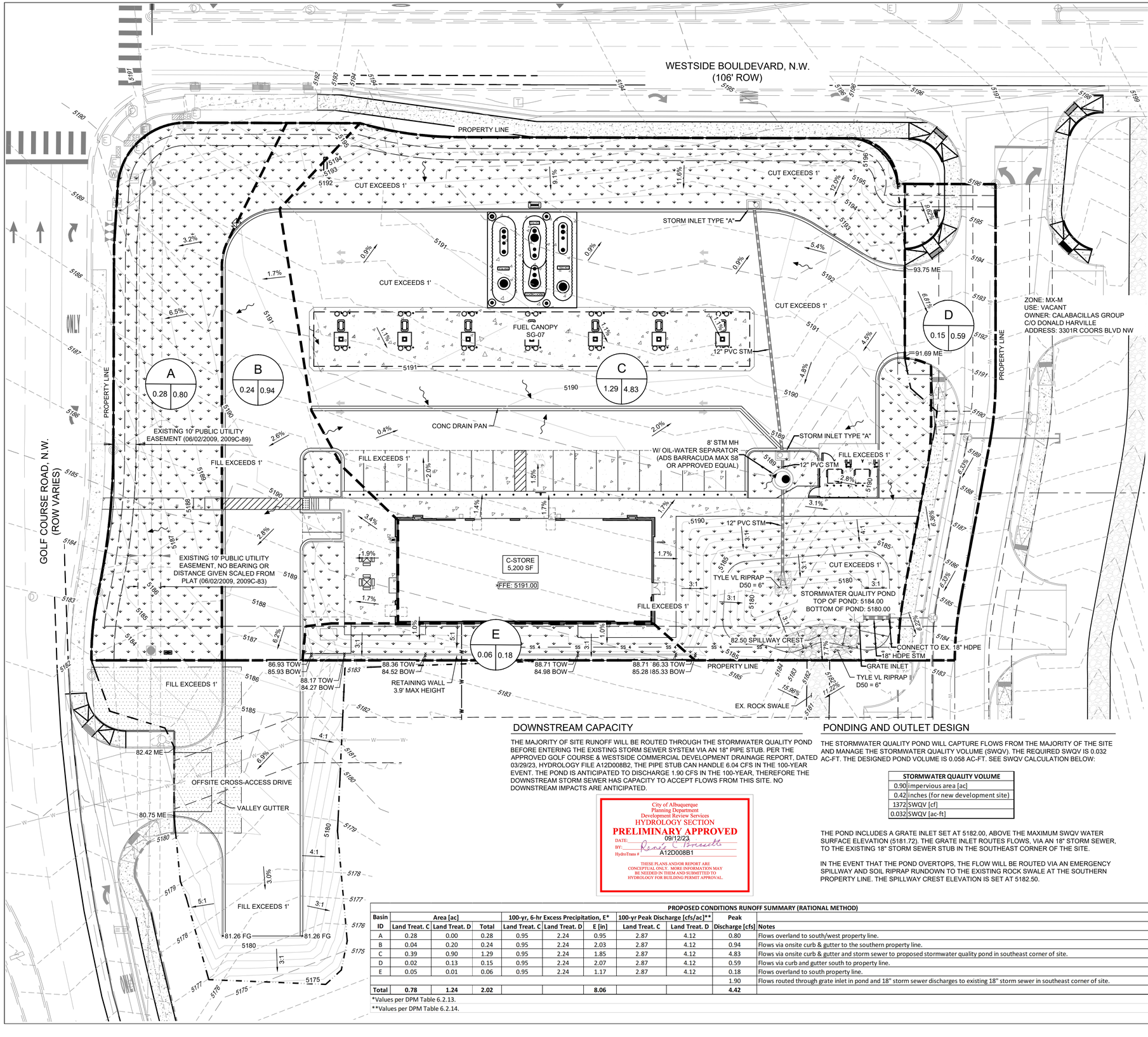
SHEET TITLE:

EXISTING CONDITIONS

GR01

SHEET 2 OF 4

DATE: AUGUST 2023



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PROPOSED CONDITIONS NARRATIVE

THE PROPOSED SITE WILL TYPICALLY DRAIN FROM NORTH TO SOUTH. THE MAJORITY OF SITE RUNOFF (FROM BASIN C) WILL BE ROUTED, VIA CONCRETE PANS AND STORM SEWER, TO THE PROPOSED STORMWATER QUALITY POND IN THE SOUTHEAST PORTION OF THE SITE.

RUNOFF FROM BASIN A (Q100 = 0.80 CFS) WILL FLOW SOUTH/SOUTHWEST TO GOLF COURSE ROAD N.W. WHERE IT WILL FLOW SOUTH ALONG THE EXISTING CURB & GUTTER, FOLLOWING EXISTING DRAINAGE PATTERNS. THE CALUCATED RUNOFF IS INSIGNIFICANT, SO NO DOWNSTREAM IMPACTS ARE ANTICIPATED.

RUNOFF FROM BASIN B (Q100 = 0.94 CFS) WILL FLOW SOUTH VIA CURB & GUTTER ON THE WEST SIDE OF THE SITE TO THE SOUTH PROPERTY LINE, WHERE IT ENTERS THE ADJACENT PROPERTY TO THE SOUTH.

RUNOFF FROM BASIN C (Q100 = 4.83 CFS, POND DISCHARGE Q100 = 1.90 CFS) IS ROUTED VIA CONCRETE PANS, CURB & GUTTER, AND STORM SEWER TO THE STORMWATER QUALITY POND LOCATED IN THE SOUTHEAST PORTION OF THE SITE. THE POND PROVIDES THE STORMWATER QUALITY VOLUME (SWQV) AND INCLUDES A GRATE INLET SET AT AN ELEVATION ABOVE THE SWQV WATER SURFACE ELEVATION. THE GRATE INLET WILL DISCHARGE RUNOFF (Q100 = 1.90 CFS) VIA AN 18" STORM SEWER THAT CONNECTS TO THE EXISTING 18" STORM SEWER STUB IN THE SOUTHEAST CORNER OF THE SITE. THE APPROVED DRAINAGE REPORT FOR THIS DEVELOPMENT ANTICIPATED A Q100 OF 6.04 CFS, SO THE DOWNSTREAM STORM SEWER HAS ADEQUATE CAPACITY TO ACCEPT FLOWS FROM THIS SITE.

RUNOFF FROM BASIN D (Q100 = 0.59 CFS) FLOWS SOUTH VIA CURB & GUTTER IN THE NORTH-SOUTH ROADWAY TO THE SOUTHERN PROPERTY BOUNDARY. BASIN D CORRESPONDS TO A PORTION OF BASIN D2 IN THE APPROVED DRAINAGE REPORT. THE RUNOFF FROM BASIN D2 DISCHARGES INTO A DETENTION POND DOWNSTREAM DESIGNED BY OTHERS.

RUNOFF FROM BASIN E (Q100 = 0.18 CFS) FLOWS SOUTH OVERLAND TO THE SOUTHERN PROPERTY LINE, WHERE IT ENTERS THE ADJACENT SITE TO THE SOUTH.

DOWNSTREAM CAPACITY

THE MAJORITY OF SITE RUNOFF WILL BE ROUTED THROUGH THE STORMWATER QUALITY POND BEFORE ENTERING THE EXISTING STORM SEWER SYSTEM VIA AN 18" PIPE STUB. PER THE APPROVED GOLF COURSE & WESTSIDE COMMERCIAL DEVELOPMENT DRAINAGE REPORT, DATED 03/29/23, HYDROLOGY FILE A12D008B2, THE PIPE STUB CAN HANDLE 6.04 CFS IN THE 100-YEAR EVENT. THE POND IS ANTICIPATED TO DISCHARGE 1.90 CFS IN THE 100-YEAR, THEREFORE THE DOWNSTREAM STORM SEWER HAS CAPACITY TO ACCEPT FLOWS FROM THIS SITE. NO DOWNSTREAM IMPACTS ARE ANTICIPATED.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 09/12/23
BY: Renée Brissette
HydroTrans #: A12D008B1
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

PONDING AND OUTLET DESIGN

THE STORMWATER QUALITY POND WILL CAPTURE FLOWS FROM THE MAJORITY OF THE SITE AND MANAGE THE STORMWATER QUALITY VOLUME (SWQV). THE REQUIRED SWQV IS 0.032 AC-FT. THE DESIGNED POND VOLUME IS 0.058 AC-FT. SEE SWQV CALCULATION BELOW:

STORMWATER QUALITY VOLUME	
0.90	impervious area [ac]
0.42	inches (for new development site)
1372	SWQV [cf]
0.032	SWQV [ac-ft]

THE POND INCLUDES A GRATE INLET SET AT 5182.00, ABOVE THE MAXIMUM SWQV WATER SURFACE ELEVATION (5181.72). THE GRATE INLET ROUTES FLOWS, VIA AN 18" STORM SEWER, TO THE EXISTING 18" STORM SEWER STUB IN THE SOUTHEAST CORNER OF THE SITE.

IN THE EVENT THAT THE POND OVERTOPS, THE FLOW WILL BE ROUTED VIA AN EMERGENCY SPILLWAY AND SOIL RIPRAP RUNDOWN TO THE EXISTING ROCK SWALE AT THE SOUTHERN PROPERTY LINE. THE SPILLWAY CREST ELEVATION IS SET AT 5182.50.

PROPOSED CONDITIONS RUNOFF SUMMARY (RATIONAL METHOD)

Basin ID	Area [ac]			100-yr, 6-hr Excess Precipitation, E*			100-yr Peak Discharge [cfs/ac]**		Peak	
	Land Treat. C	Land Treat. D	Total	Land Treat. C	Land Treat. D	E [in]	Land Treat. C	Land Treat. D	Discharge [cfs]	Notes
A	0.28	0.00	0.28	0.95	2.24	0.95	2.87	4.12	0.80	Flows overland to south/west property line.
B	0.04	0.20	0.24	0.95	2.24	2.03	2.87	4.12	0.94	Flows via onsite curb & gutter to the southern property line.
C	0.39	0.90	1.29	0.95	2.24	1.85	2.87	4.12	4.83	Flows via onsite curb & gutter and storm sewer to proposed stormwater quality pond in southeast corner of site.
D	0.02	0.13	0.15	0.95	2.24	2.07	2.87	4.12	0.59	Flows via curb and gutter south to property line.
E	0.05	0.01	0.06	0.95	2.24	1.17	2.87	4.12	0.18	Flows overland to south property line.
									1.90	Flows routed through grate inlet in pond and 18" storm sewer discharges to existing 18" storm sewer in southeast corner of site.
Total	**0.78**	**1.24**	**2.02**			**8.06**			**4.42**	

*Values per DPM Table 6.2.13.
**Values per DPM Table 6.2.14.

GRADING LEGEND

- PROPOSED CONTOURS (4000 / 4001)
- EXISTING CONTOURS (4000 / 4001)
- CONCRETE CATCH CURB
- CONCRETE SPILL CURB
- LIMITS OF GRADING
- PERVIOUS AREA
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION
- XX.XX — PROPOSED SPOT ELEVATION
- 3.1% — PROPOSED SLOPE
- 15.98% — EXISTING SLOPE

FG = FINISHED GROUND
ME = MATCH EXISTING
FFE = FINISHED FLOOR ELEVATION
TOW = TOP OF WALL
BOW = BOTTOM OF WALL

BASIN ID (A) / BASIN AREA [AC] (0.92) / 100-YR RUNOFF [CFS] (2.15)

CONSULTANTS:

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Excellence by Design
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300 COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX : (719) 575-0208

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GREENWOOD VILLAGE, CO 80111

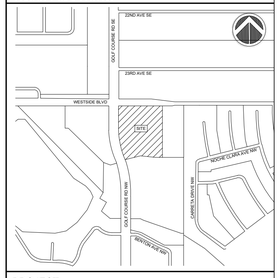
SEAL

JESSE SULLIVAN
NEW MEXICO
27224
08/24/23
PROFESSIONAL ENGINEER

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MOST RECENT PROJECT CONSTRUCTION DOCUMENTS. MATRIX DESIGN GROUP IS NOT RESPONSIBLE FOR CHANGES, ALTERATIONS, OR USE OF CONSTRUCTION DOCUMENTS PRIOR TO JURISDICTIONAL APPROVAL.

VICINITY MAP: N.T.S.



PROJECT:

CIRCLE K STORES
CONCEPTUAL GRADING & DRAINAGE PLAN
10850 GOLF COURSE RD NW
ALBUQUERQUE, NM 87114

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO:	XX.XXX.XXXX
DRAWN BY:	KGI
CHECKED BY:	RPD
	NMS

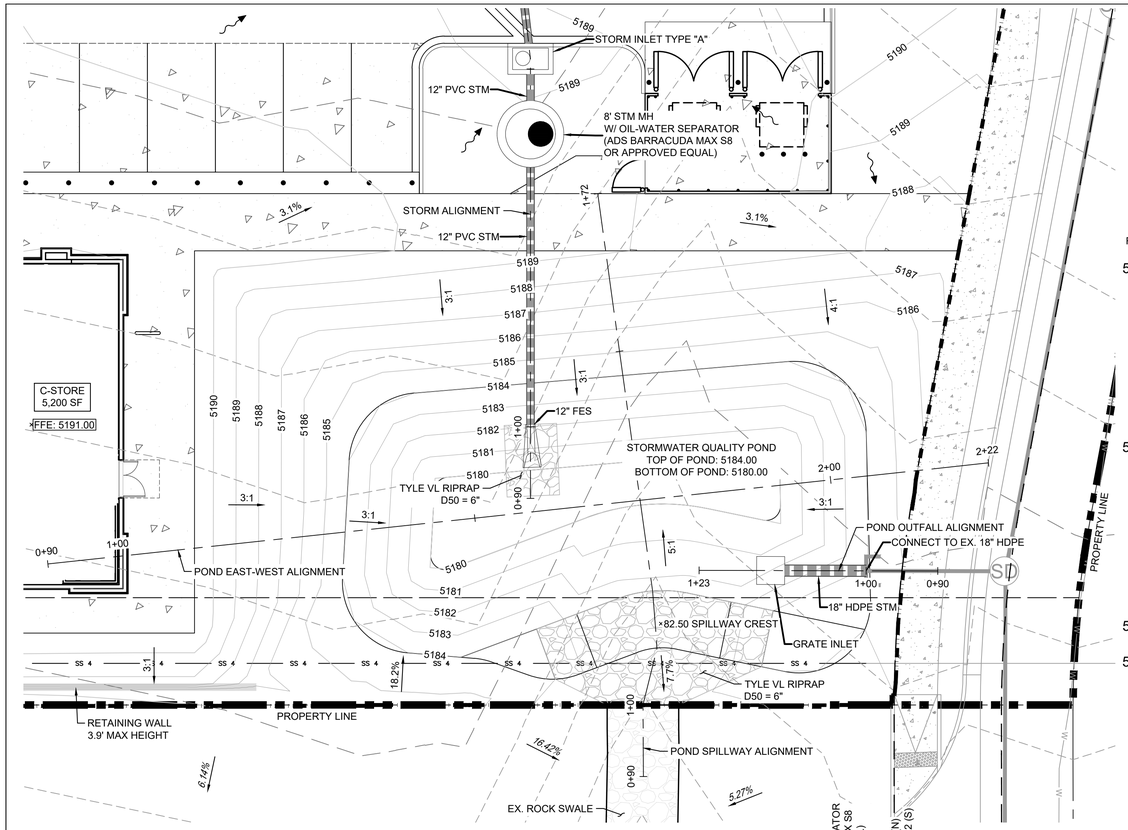
SHEET TITLE:

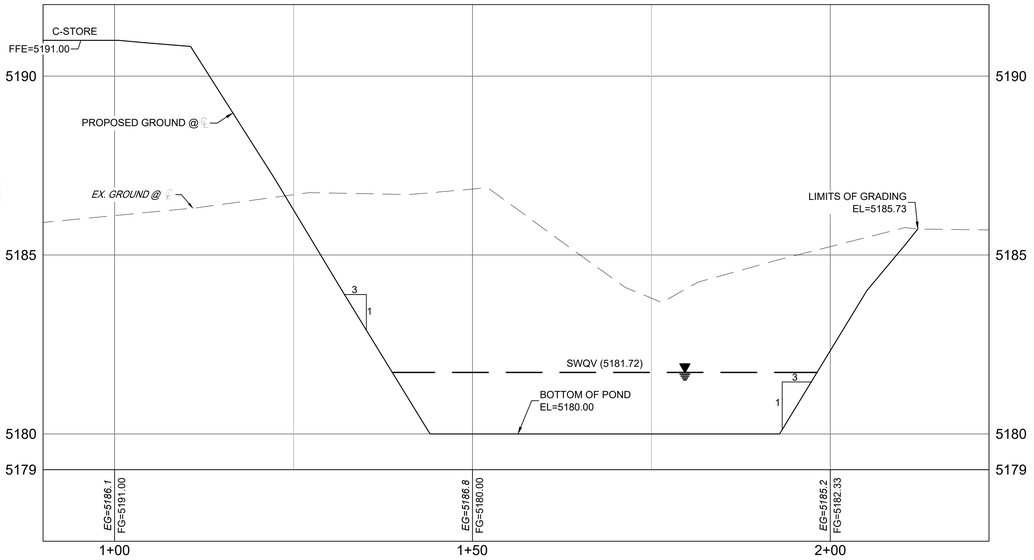
PROPOSED CONDITIONS

GR02

SHEET 3 OF 4

DATE: AUGUST 2023





POND EAST-WEST PROFILE
SCALE: (H) 1" = 10' (V) 1" = 2'
START STA: 0+90.00, END STA: 2+22.18

GRADING LEGEND

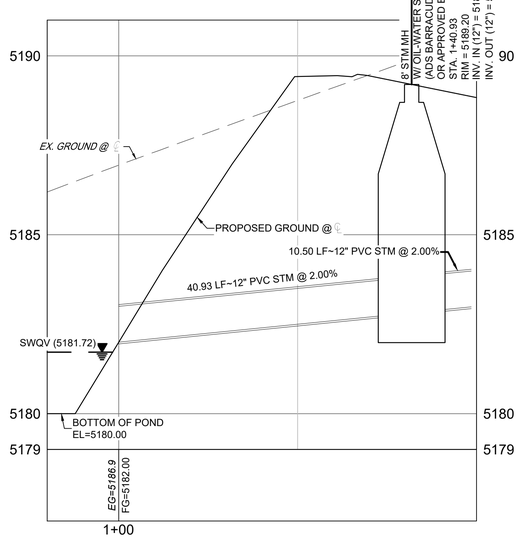
- PROPOSED CONTOURS (4000 / 4001)
- EXISTING CONTOURS (4000 / 4001)
- CONCRETE CATCH CURB
- CONCRETE SPILL CURB
- LIMITS OF GRADING
- FLOW DIRECTION
- XX.XX — PROPOSED SPOT ELEVATION
- 3.1% — PROPOSED SLOPE
- 15.86% — EXISTING SLOPE

N

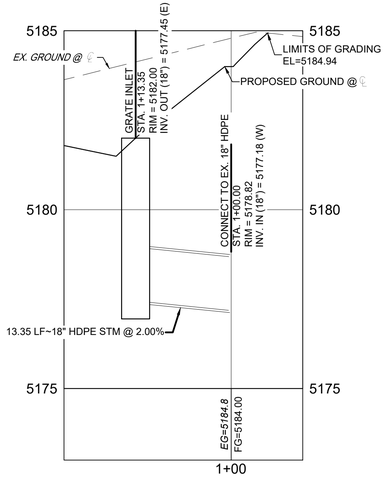
GRAPHIC SCALE

10' 0' 10' 20'

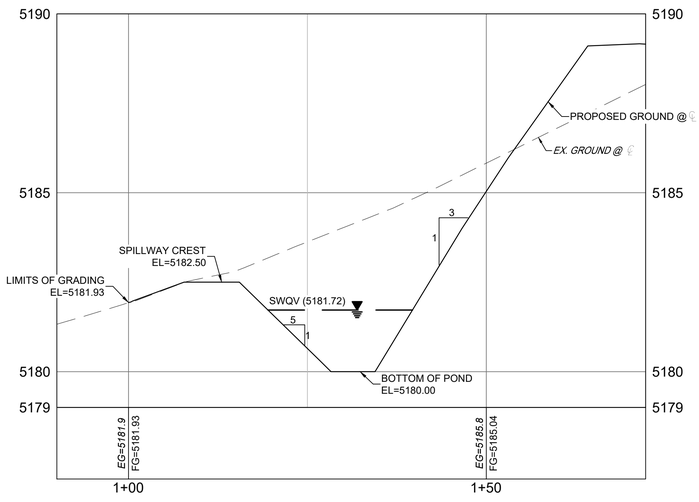
(IN FEET)
1 inch = 10 ft.



STORM PROFILE
SCALE: (H) 1" = 10' (V) 1" = 2'
START STA: 0+90.00, END STA: 1+50.00



POND OUTFALL PROFILE
SCALE: (H) 1" = 10' (V) 1" = 2'
START STA: 0+90.00, END STA: 1+23.35



POND SPILLWAY PROFILE
SCALE: (H) 1" = 10' (V) 1" = 2'
START STA: 0+90.00, END STA: 1+72.26

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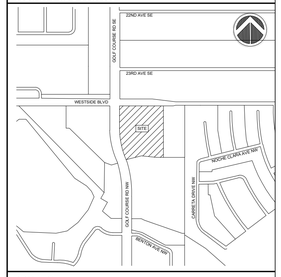

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REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:

PROJECT NO:	XX.XXX.XXXX
DRAWN BY:	KGI
CHECKED BY:	RPD
	NMS

SHEET TITLE:

STORMWATER QUALITY PLAN & PROFILE

GR03

SHEET 4 OF 4

DATE: AUGUST 2023