

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 8, 2024

Luis Noriega  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM, 87109

**RE: Human Bean Westside Drive  
10850 Golf Course NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 2/29/24  
Hydrology File: A12D008B3**

Dear Mr. Noriega:

Based upon the information provided in your submittal received 6/13/2024, the Grading & Drainage Plans are approved for Building Permit, and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: HUMAN BEAN WESTSIDE DR Hydrology File # \_\_\_\_\_  
Legal Description: TRACT D-1B REPLAT OF TRACTS D-1, E-1 AMAFCA BLACK ARROYO CHANNEL ROW PARADISE HEIGHTS UNIT 1  
City Address, UPC, OR Parcel: 10850 GOLF COURSE RD NW ABQ. NM

Applicant/Agent: TIERRA WEST LLC Contact: LUIS NORIEGA  
Address: 5571 MIDWAY PARK PL, NE ABQ, NM 87109 Phone: 505-858-3100  
Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** ☐ Plat (# of lots) \_\_\_\_\_ ☐ Single Family Home  
☒ All other Developments  
RE-SUBMITTAL: ☐ YES ☒ NO

**DEPARTMENT:** ☐ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

### TYPE OF SUBMITTAL:

<input type="checkbox"/>	Engineering / Architect Certification
<input type="checkbox"/>	Conceptual Grading & Drainage Plan
<input checked="" type="checkbox"/>	Grading & Drainage Plan, and/or Drainage Report
<input type="checkbox"/>	Drainage Report (Work Order)
<input type="checkbox"/>	Drainage Master Plan
<input type="checkbox"/>	Conditional Letter of Map Revision (CLOMR)
<input type="checkbox"/>	Letter of Map Revision (LOMR)
<input type="checkbox"/>	Floodplain Development Permit
<input type="checkbox"/>	Traffic Circulation Layout (TCL) – Administrative
<input type="checkbox"/>	Traffic Circulation Layout (TCL) – DFT Approval
<input type="checkbox"/>	Traffic Impact Study (TIS)
<input type="checkbox"/>	Street Light Layout
<input type="checkbox"/>	OTHER (SPECIFY) _____

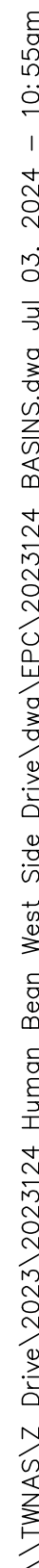
### TYPE OF APPROVAL SOUGHT:


<input type="checkbox"/>	Pad Certification
<input checked="" type="checkbox"/>	Building Permit
<input type="checkbox"/>	Grading Permit
<input type="checkbox"/>	Paving Permit
<input type="checkbox"/>	SO-19 Permit
<input type="checkbox"/>	Foundation Permit
<input type="checkbox"/>	Certificate of Occupancy - <input type="checkbox"/> Temp <input type="checkbox"/> Perm
<input type="checkbox"/>	Preliminary / Final Plat
<input type="checkbox"/>	Site Plan for Building Permit - DFT
<input type="checkbox"/>	Work Order (DRC)
<input type="checkbox"/>	Release of Financial Guarantee (ROFG)
<input type="checkbox"/>	CLOMR / LOMR
<input type="checkbox"/>	Conceptual TCL -DFT
<input type="checkbox"/>	OTHER (SPECIFY) _____

DATE SUBMITTED: 06/13/2024

REV. 04/03/24





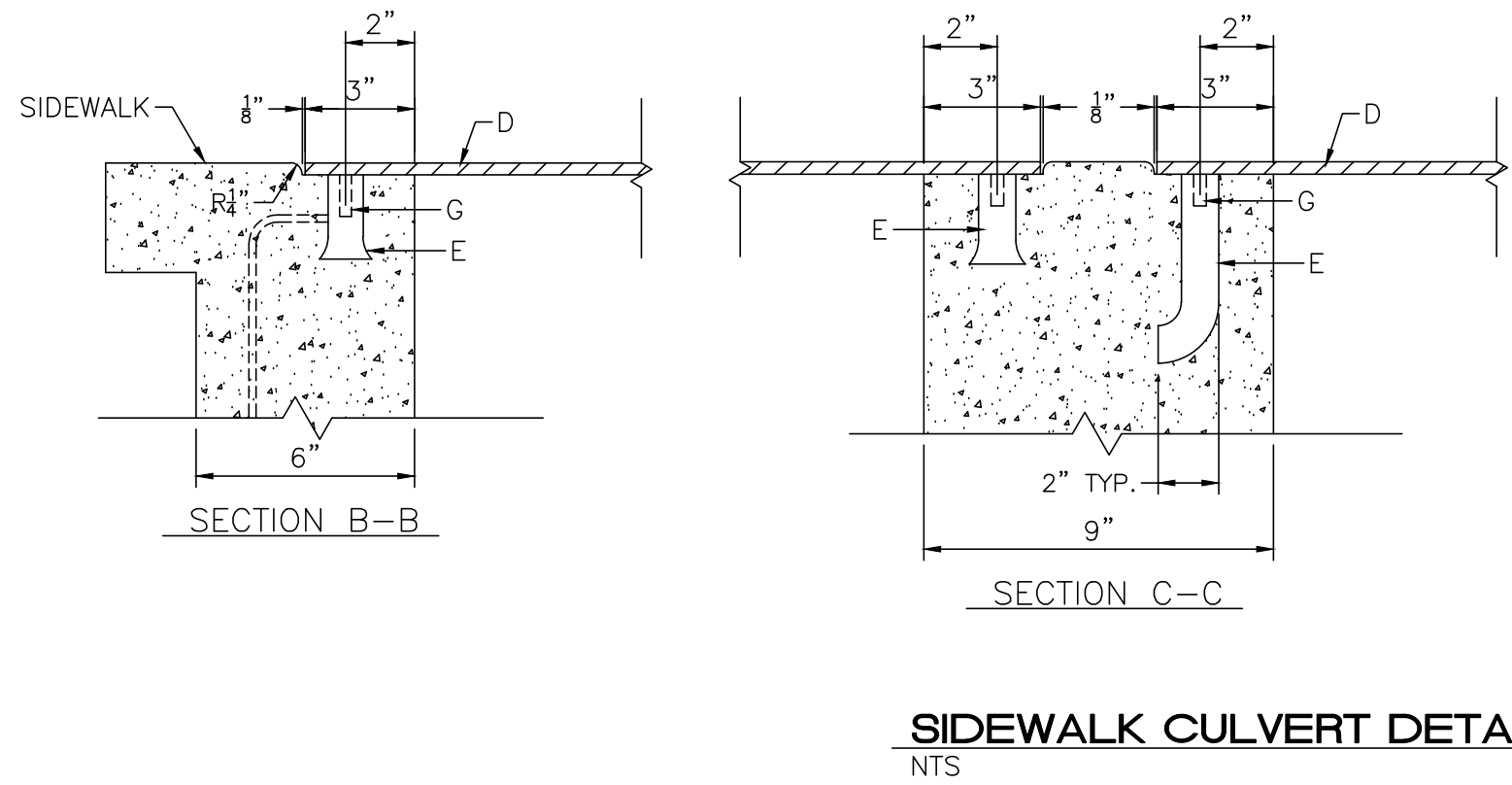
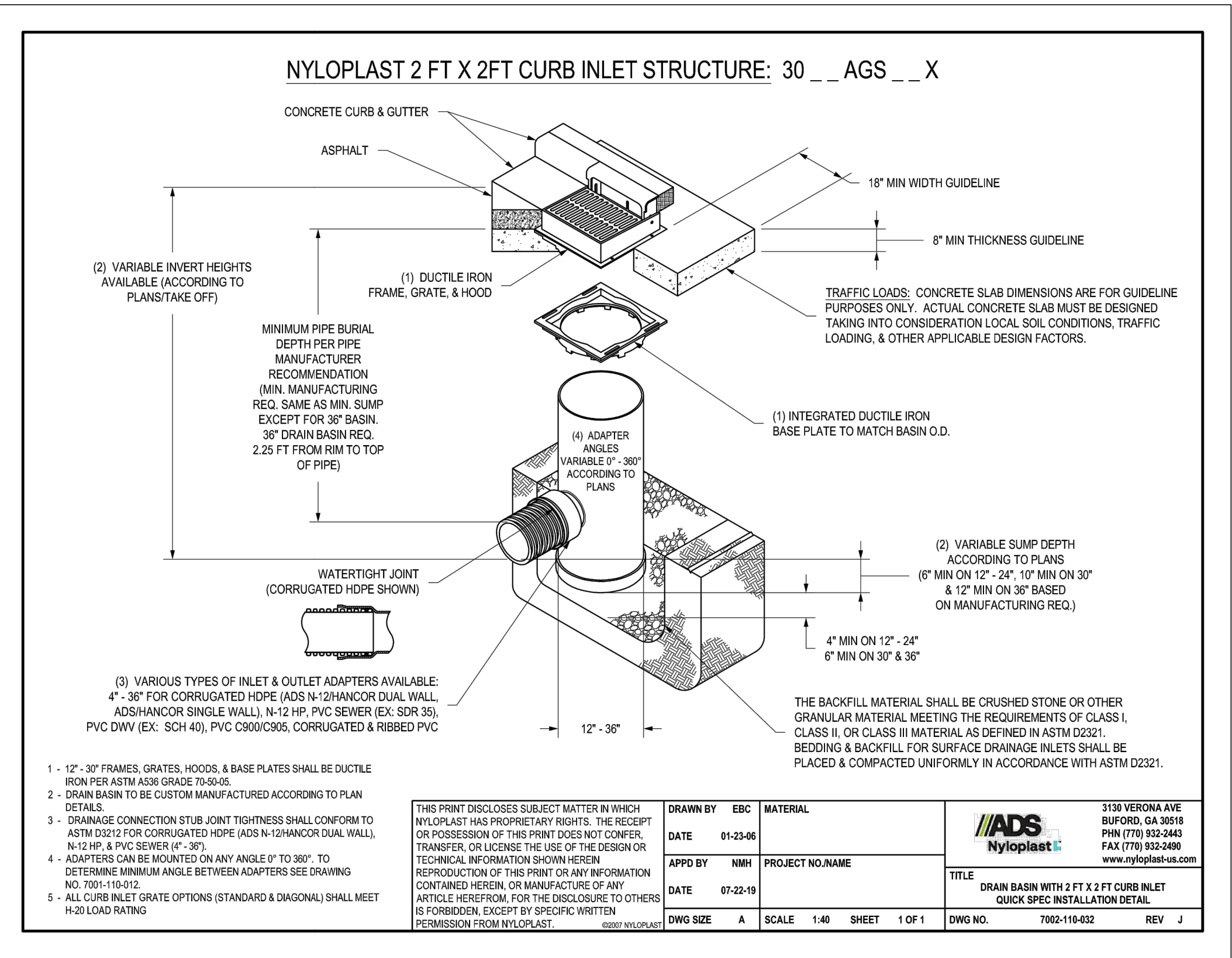
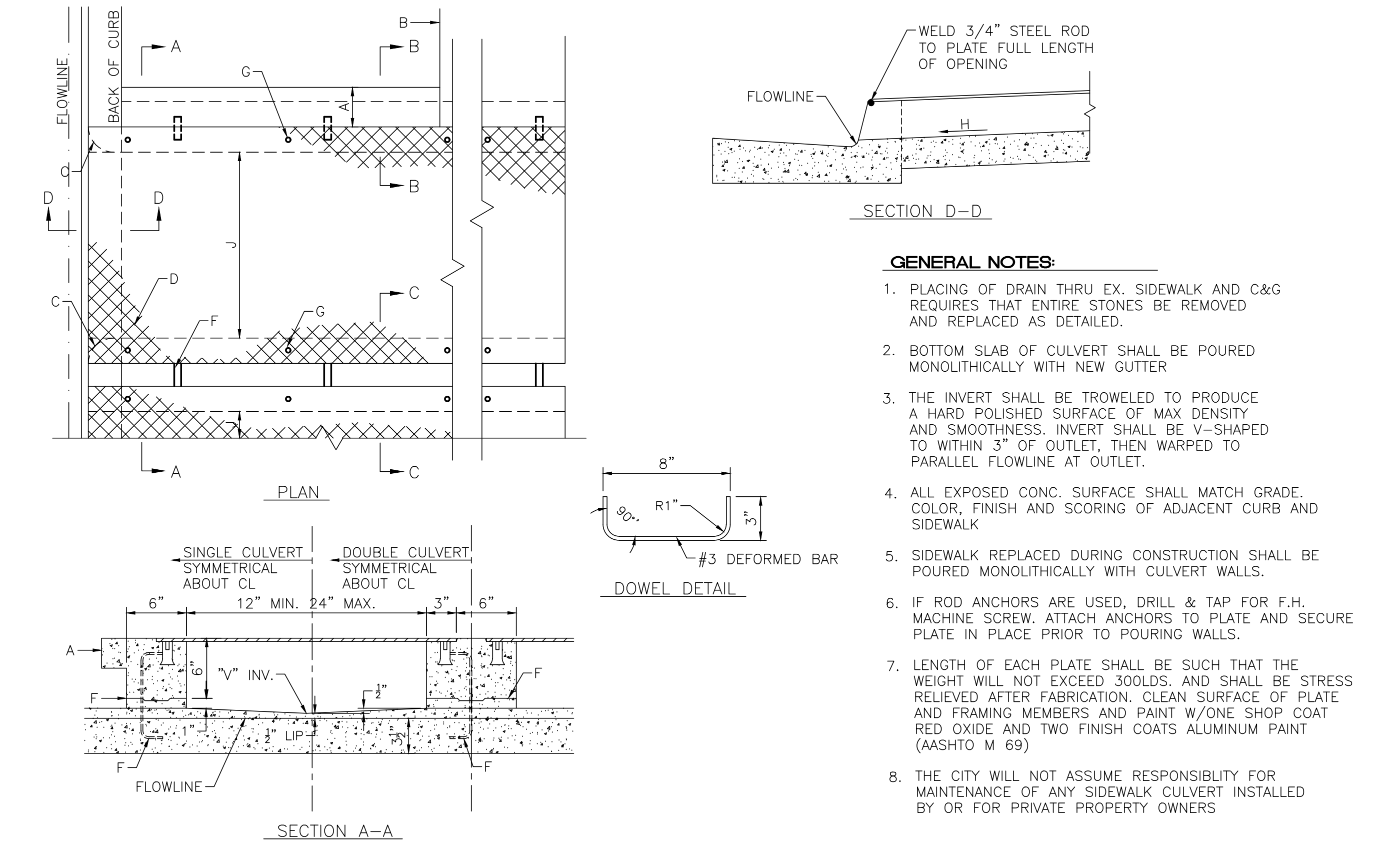
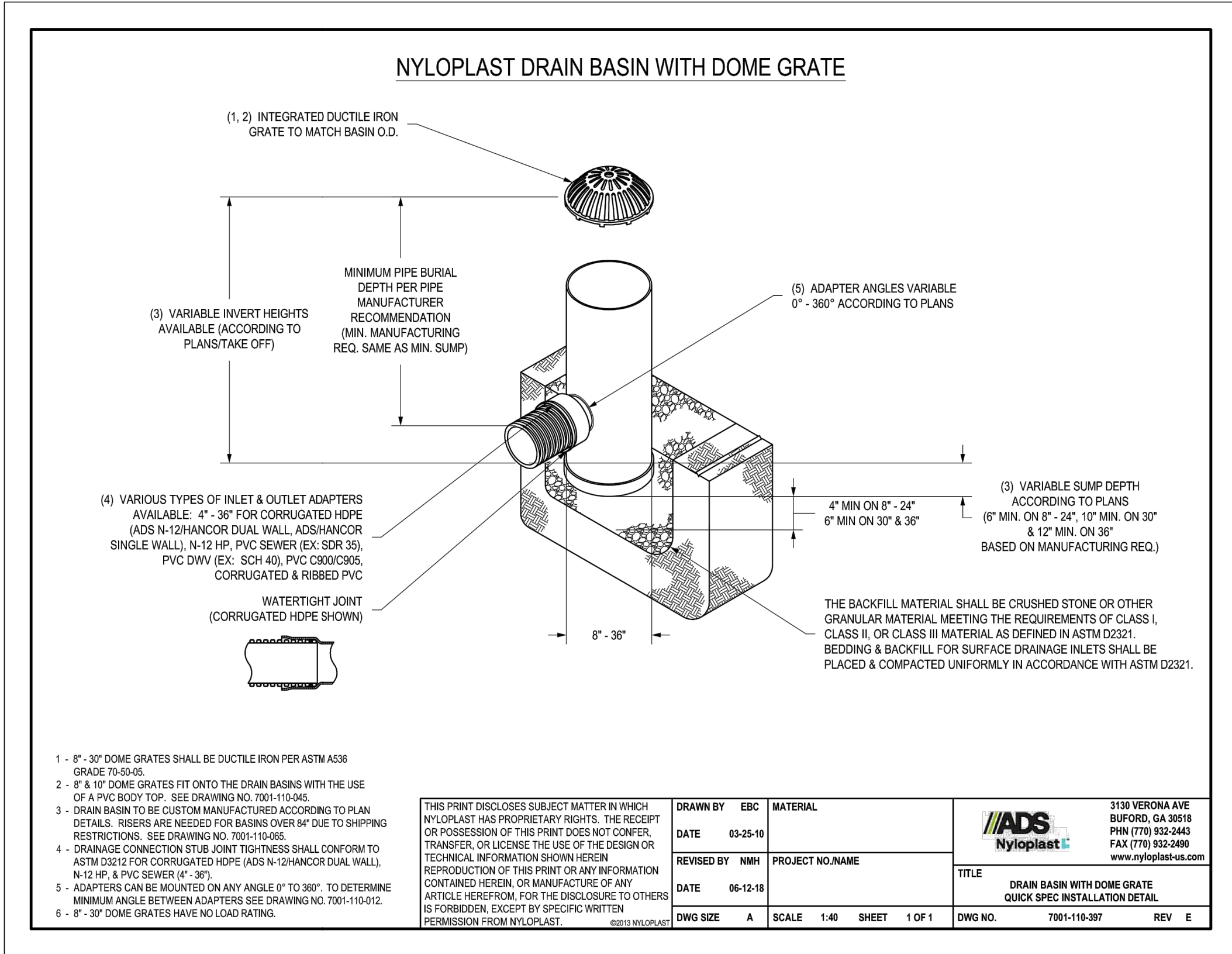
<p>ENGINEER'S SEAL</p> 	<p><b>HUMAN BEAN WESTSIDE ALBUQUERQUE, NM</b></p>	<p><b>DRAWN BY</b> BF</p>
<p>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</p>  <p>02/29/24</p>	<p><b>GRADING AND DRAINAGE BASIN MAP</b></p>	<p><b>DATE</b> 02/26/2024</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>	 <p><i><b>TIERRA WEST, LLC</b></i></p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p><b>SHEET #</b>  <b>GR-0</b></p>
		<p><b>JOB #</b> 2023124</p>







\\TNAS\Z\_Drive\2023\2023124 Human Bean West Side Drive.dwg [EPC\2023124\_CRB.dwg Jul 03, 2024 -- 10:56am



APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

ENGINEER'S SEAL			HUMAN BEAN WESTSIDE ALBUQUERQUE, NM		DRAWN BY BF
 RONALD R. BOHANNAN P.E. #7868			GRADING & DRAINAGE DETAILS		DATE 02/26/2024
			 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2023124_GRB
			SHEET # <b>GR-2</b>		JOB # 2023124