

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

March 29, 2024

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**RE: Wintergreen Apartments – Bldg. C & F**  
**10800 Golf Course Rd NW**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 03/29/24**  
**Engineer's Stamp Date: 08/26/21**  
**Hydrology File: A12D008D**

Dear Mr. Bohannon:

PO Box 1293

Based on the Certification received 03/28/2024 and site visit on 03/29/2024, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

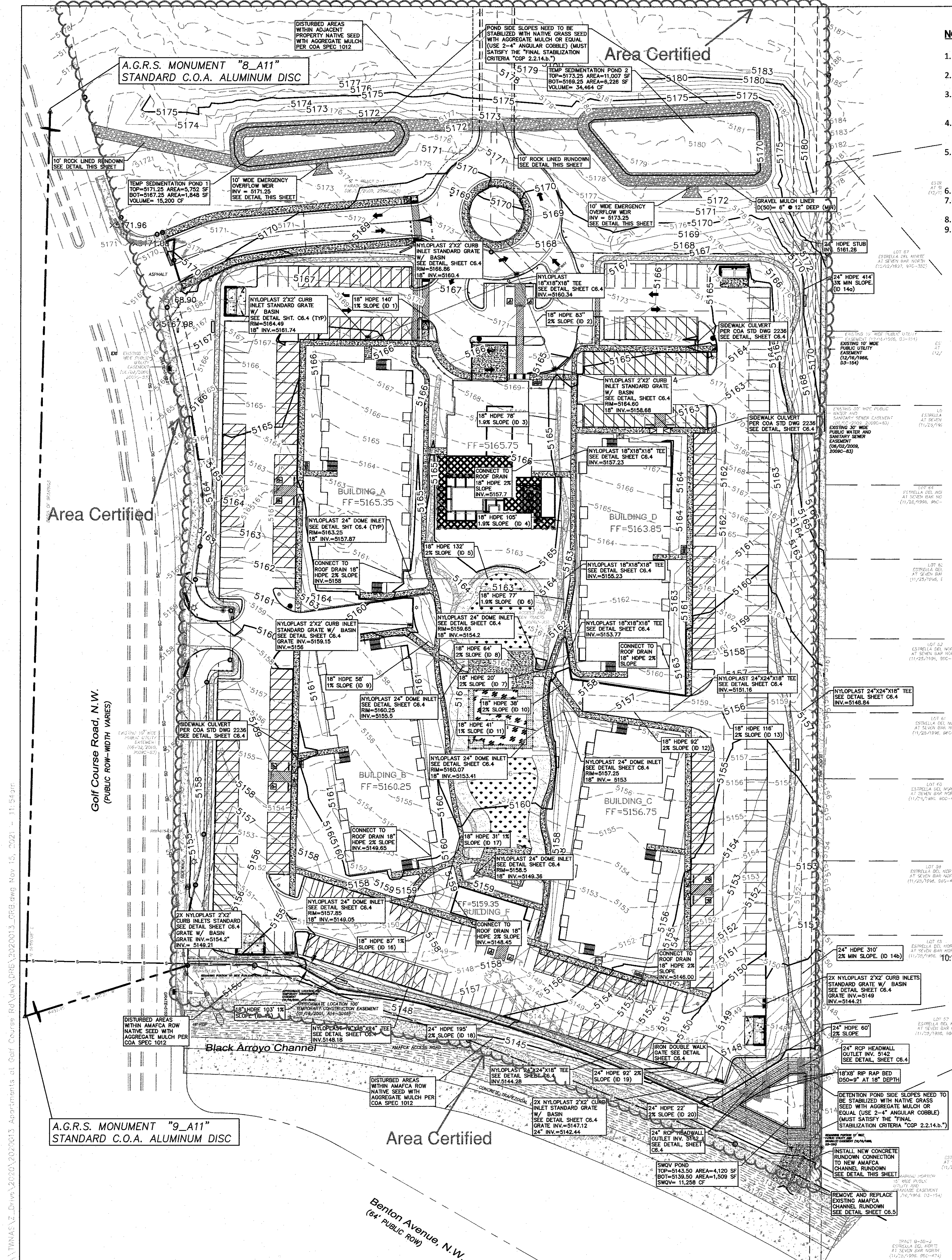
*Renée C. Brissette*

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





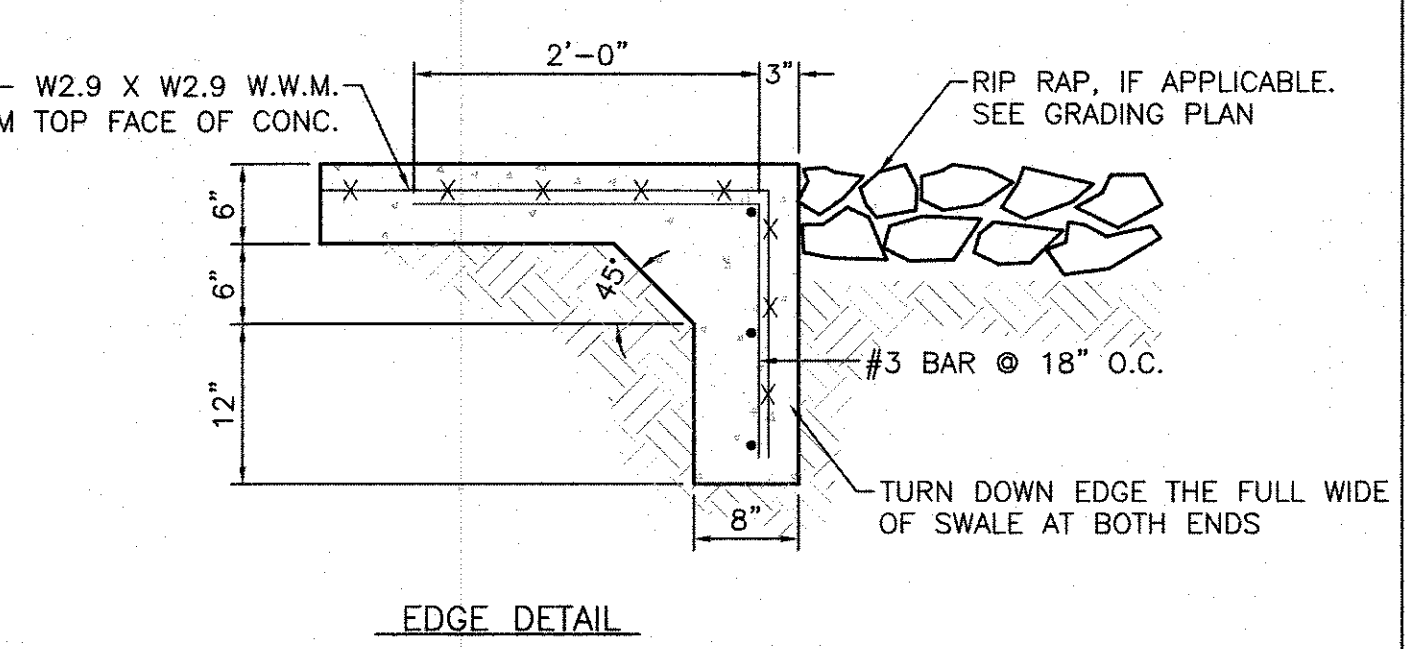
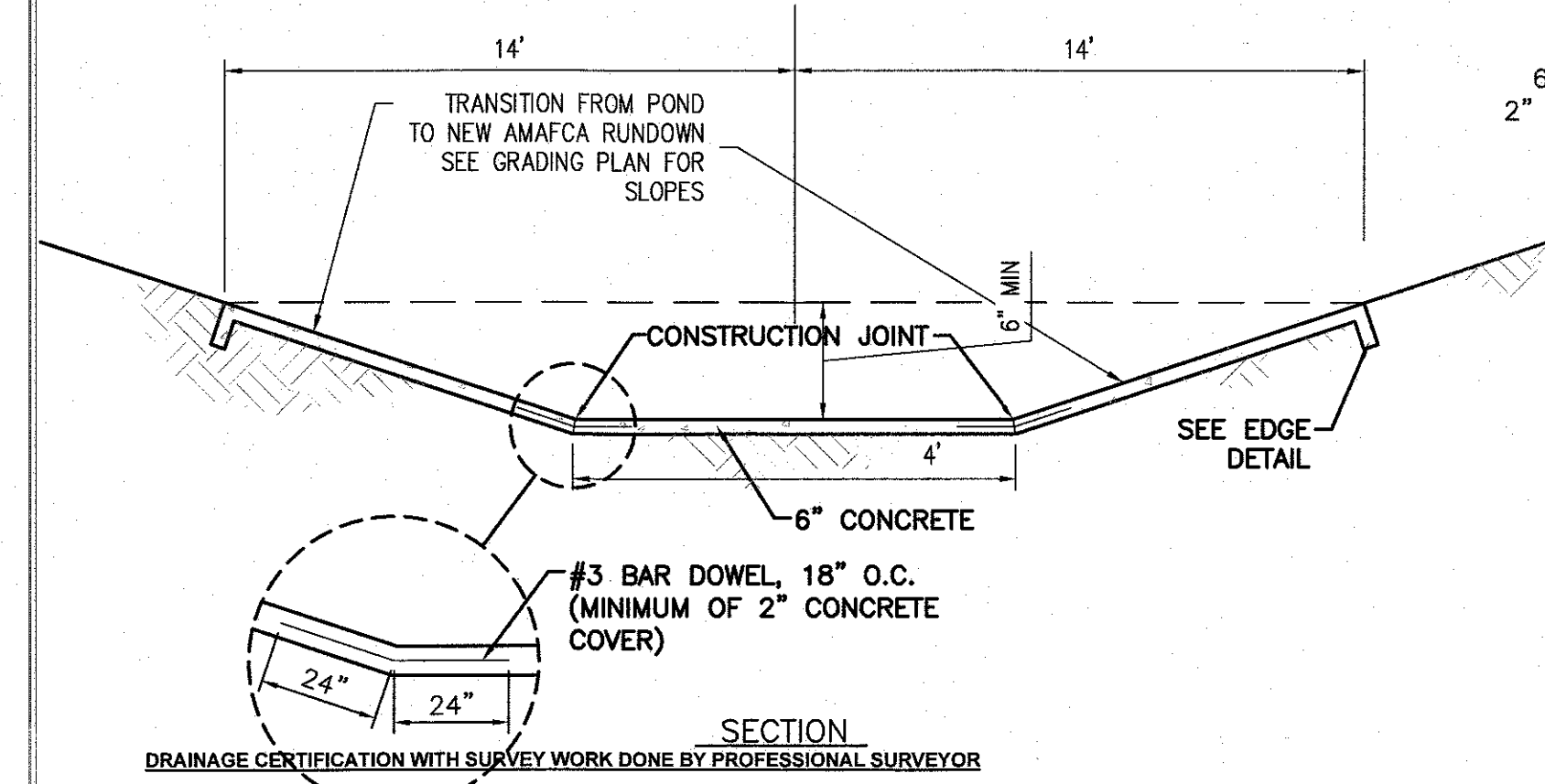
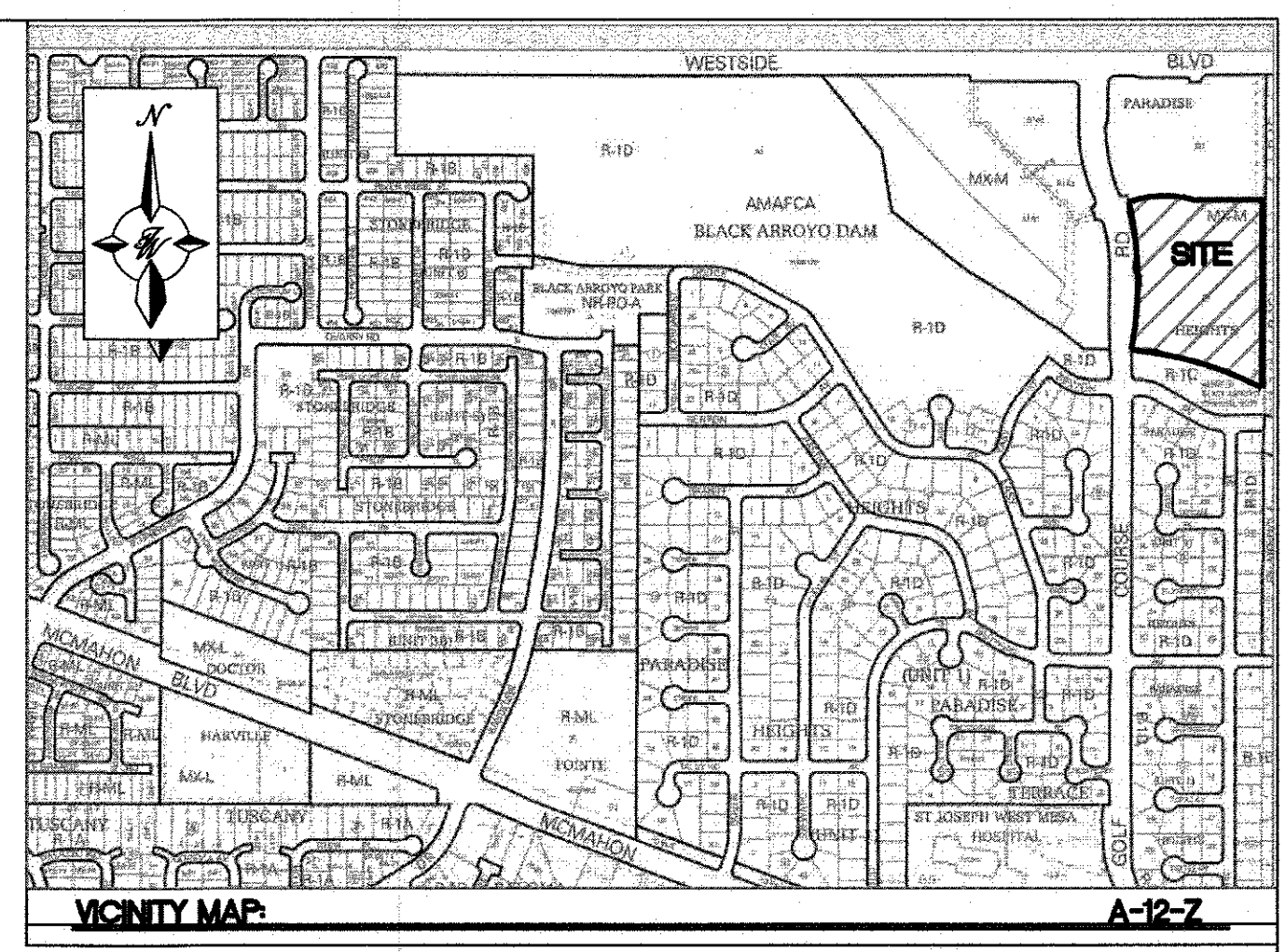


NOTICE TO CONTRACTORS

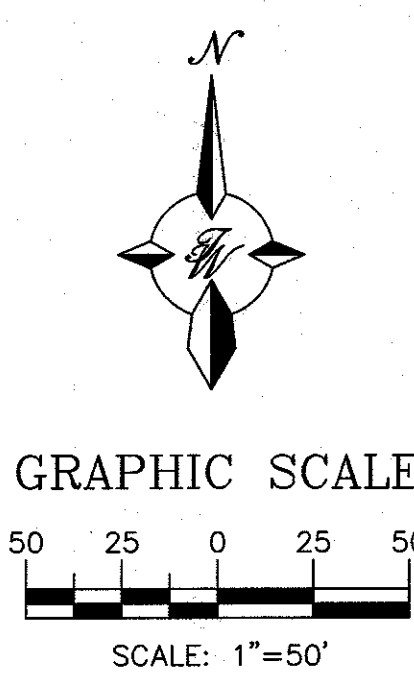
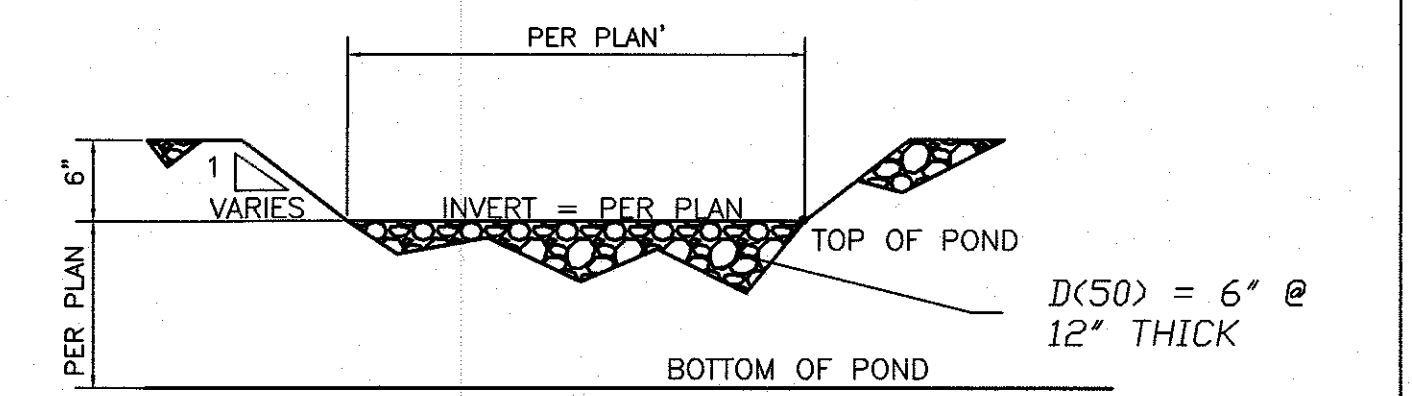
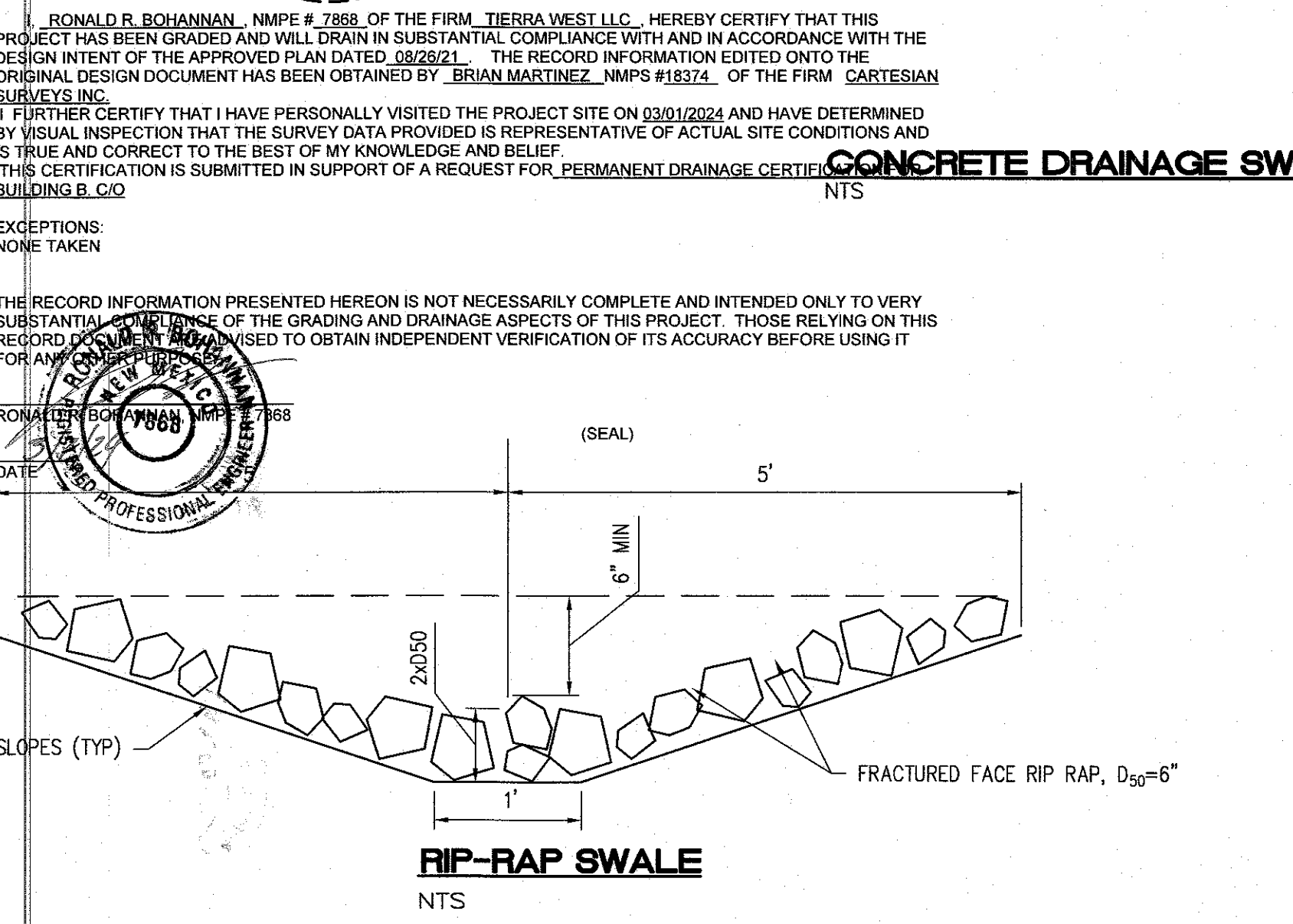
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



- GENERAL NOTES:
- ALL REINFORCEMENT BARS TO BE GRADE 60 YIELD STRENGTH.
  - CONTROL JOINTS TO BE 15' O.C. TRANSVERSE TO CHANNEL CENTERLINE AXIS. FILL JOINTS WITH SEALANT.



**CAUTION**  
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10800 GOLF COURSE RD. NW	DRAWN BY BF
		<b>GRADING &amp; DRAINAGE PLAN</b>	DATE 08/25/2021
			202013_GRB
			SHEET # <b>C3.2</b>
RONALD R. BOHANNAN P.E. #7868		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2020013







\\TIERRA\Z\_Drive\2020\2020013 Apartments at Golf Course Rd\dwg\DRB\2020013\_GRB.dwg Nov 10, 2021 - 1:42pm



#### LEGEND

	CURB & GUTTER		CONTOUR MAJOR
	BOUNDARY LINE		CONTOUR MINOR
	EASEMENT		SPOT ELEVATION
	CENTERLINE		FLOW ARROW
	RIGHT-OF-WAY		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	SCREEN WALL		EXISTING CONTOUR MINOR
	RETAINING WALL		EXISTING SPOT ELEVATION

#### NOTICE TO CONTRACTORS

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#### SPOT ELEVATION LEGEND

SW-SIDEWALK ELEVATION

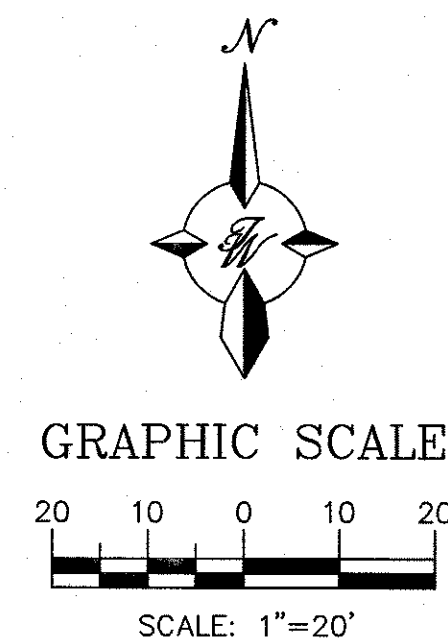
#### SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

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11/17/21  
Ronald R. Bohannon  
A12D008D



#### Permanent Hydrology Certification

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS  10800 GOLF COURSE RD. NW  <b>CENTER GRADING PLAN</b>	DRAWN BY BF
 08/26/2021		DATE 08/25/2021
		2020013_GRB
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>C3.4</b>   <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com
		JOB # 2020013



\\TIERRA\Z\_Draw\2020\2020013 Apartments at Golf Course Rd\Draw\2020013\_SOUTH GRADING.dwg Nov 15, 2021 12:02pm

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#### LEGEND

	CURB & GUTTER		CONTOUR MAJOR
	BOUNDARY LINE		CONTOUR MINOR
	EASEMENT		SPOT ELEVATION
	CENTERLINE		FLOW ARROW
	RIGHT-OF-WAY		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	SCREEN WALL		EXISTING CONTOUR MINOR
	RETAINING WALL		EXISTING SPOT ELEVATION

#### SPOT ELEVATION LEGEND

SW=SIDEWALK ELEVATION

#### SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

**Benton Avenue, N.W.**  
(64' PUBLIC ROW)

#### DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

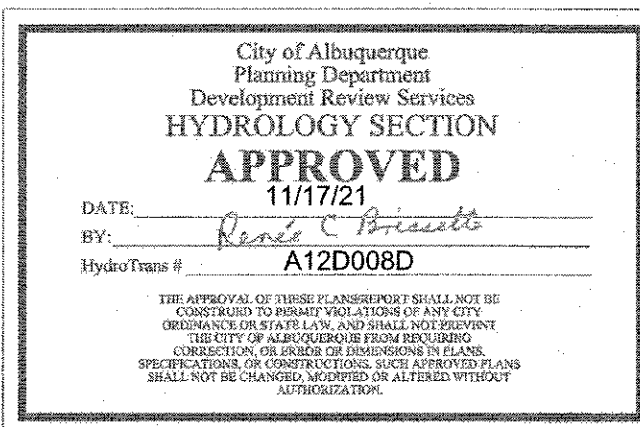
I, RONALD R. BOHANNAN, NMPE # 7868 OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08/26/21. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS #18374 OF THE FIRM, CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 03/01/2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT DRAINAGE CERTIFICATION FOR BUILDING B.C.O.

EXCEPTIONS:  
NONE TAKEN

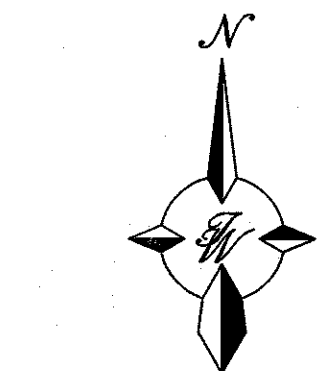
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, NMPE #7868  
DATE: 11/17/21  
PROFESSIONAL ENGINEER

(SEAL)



**CAUTION**  
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GRAPHIC SCALE

20 10 0 10 20  
SCALE: 1"=20'

ENGINEER'S SEAL 	WINTERGREEN LUXURY APARTMENTS 10800 GOLF COURSE RD. NW <b>SOUTH GRADING PLAN</b>	DRAWN BY BF DATE 08/25/2021 2020013-GRB
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C3.5</b> JOB # 2020013



**From:** [Ben Sepehripour](#)  
**To:** [Brissette, Renee C.](#); [Luis Noriega](#)  
**Cc:** [Markus Watson](#); [Ron Bohannon](#)  
**Subject:** RE: [#2020013] Wintergreen Apts - Bldg B  
**Date:** Friday, March 29, 2024 9:17:06 AM  
**Attachments:** [image003.png](#)  
[image006.png](#)

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**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Good morning Renee,

Please see photo of the pond with rock on slopes.



Ben Sepehripour  
Chief Operating Officer

Snyder Construction, LLC  
5800 San Francisco Rd NE  
Albuquerque, NM 87109  
o – 505.923.3181  
c – 505.585.1278  
[bsepehripour@snyder-const.com](mailto:bsepehripour@snyder-const.com)  
[www.snyder-const.com](http://www.snyder-const.com)



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🌱 **No trees were harmed, abused or destroyed while typing or sending this email! Please consider the environment. Do you really need to print this?**

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**From:** Brissette, Renee C. <rbrissette@cabq.gov>  
**Sent:** Friday, March 29, 2024 8:57 AM  
**To:** Luis Noriega <lnoriega@tierrawestllc.com>  
**Cc:** Markus Watson <mwatson@tierrawestllc.com>; Ron Bohannon <rrb@tierrawestllc.com>; Ben Sepehripour <bsepehripour@snyder-const.com>  
**Subject:** RE: [#2020013] Wintergreen Apts - Bldg B  
**Importance:** High

Luis,

I need actual new engineering certification for Building F & C. The one that was submitted was Building B which was issued on March 8, 2024. Also make sure that the following is also done. I also would like to see as-built topo for the pond and also I need you to do calculations of the pond to ensure that it was built per the required volume.

**PRIOR TO CERTIFICATE OF OCCUPANCY Bldg. (C):**

1. The stormwater quality pond needs to be included in the engineer's certification. **Please make sure that the pond's side slopes are rocked.**



**RENÉE CHRISTINA BRISSETTE, PE CFM**

senior engineer, hydrology

o 505.924.3995

e [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Luis Noriega <lnoriega@tierrawestllc.com>  
**Sent:** Thursday, March 28, 2024 4:01 PM  
**To:** Brissette, Renee C. <rbrissette@cabq.gov>  
**Cc:** Markus Watson <mwatson@tierrawestllc.com>; Ron Bohannon <rrb@tierrawestllc.com>; Ben Sepehripour <bsepehripour@snyder-const.com>  
**Subject:** RE: [#2020013] Wintergreen Apts - Bldg B

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.



Hi Renee,

FYI we submitted for buildings F and C CO, we should be paying the fee as we speak, if you need to inspect the site would you be able to stop by the site tomorrow?

Thank you,

**Luis Noriega**



Civil Engineering  
5571 Midway Park Pl, NE  
Albuquerque, NM 87109  
(505)858-3100 ext. 1216

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---

**From:** Brissette, Renee C. <[rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)>

**Sent:** Friday, March 8, 2024 4:17 PM

**To:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>; Ron Bohannon <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>

**Cc:** Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>; Lopez, James <[James.Lopez@wilsonco.com](mailto:James.Lopez@wilsonco.com)>; Broomfield, James <[jbroomfield@cabq.gov](mailto:jbroomfield@cabq.gov)>; Lucero, Yvette <[yvettelucero@cabq.gov](mailto:yvettelucero@cabq.gov)>; Gonzales, Desiree <[desireegonzales@cabq.gov](mailto:desireegonzales@cabq.gov)>; Alcala, Wendi <[walcala@cabq.gov](mailto:walcala@cabq.gov)>; Broomfield, James <[jbroomfield@cabq.gov](mailto:jbroomfield@cabq.gov)>; Elliott, Laurie <[lelliott@cabq.gov](mailto:lelliott@cabq.gov)>; Herrera, Steve G. <[sgherrera@cabq.gov](mailto:sgherrera@cabq.gov)>; Melton, Brian <[bmelton@cabq.gov](mailto:bmelton@cabq.gov)>

**Subject:** Wintergreen Apts - Bldg B

**Importance:** High

Luis,

Attached is the approval letter from Hydrology supporting Perm CO.



**RENÉE CHRISTINA BRISSETTE, PE CFM**

senior engineer, hydrology

o 505.924.3995

e [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>  
**Sent:** Friday, March 8, 2024 11:31 AM  
**To:** Brissette, Renee C. <[rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)>; Ron Bohannan <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>  
**Cc:** Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>  
**Subject:** RE: [#2020013] Wintergreen- Zoning, Transportation and hydrology

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Hi Renee,

If everything looks good, can you please send out the release for Building B on the southwest corner today, we are just waiting on hydrology now for that CO.

Thank you,

**Luis Noriega**



Civil Engineering  
5571 Midway Park Pl, NE  
Albuquerque, NM 87109  
(505)858-3100 ext. 1216

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**From:** Brissette, Renee C. <[rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)>  
**Sent:** Thursday, March 7, 2024 2:01 PM  
**To:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>; Ron Bohannan <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>  
**Cc:** Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>  
**Subject:** RE: [#2020013] Wintergreen- Zoning, Transportation and hydrology  
**Importance:** High

Luis,

That actually looks good. If you send in as-built certification with as-built topo like normal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) and pay the invoice today, I will do my site visit tomorrow afternoon.





**RENÉE CHRISTINA BRISSETTE, PE CFM**

senior engineer, hydrology

o 505.924.3995

e [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

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**From:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>

**Sent:** Thursday, March 7, 2024 1:53 PM

**To:** Brissette, Renee C. <[rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)>; Ron Bohannon <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>

**Cc:** Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>

**Subject:** RE: [#2020013] Wintergreen- Zoning, Transportation and hydrology

**[EXTERNAL]** Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Hi Renee, the pond and outfall have been built and we are assembling the close out package. The owner is asking if you can inspect to make sure there wont be any punch list items from you?

Thank you,

**Luis Noriega**



Civil Engineering

5571 Midway Park Pl, NE

Albuquerque, NM 87109

(505)858-3100 ext. 1216

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---

**From:** Brissette, Renee C. <[rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)>

**Sent:** Wednesday, March 6, 2024 12:26 PM

**To:** Ron Bohannon <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>; Al-najjar, Marwa G. <[malnajjar@cabq.gov](mailto:malnajjar@cabq.gov)>

**Cc:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>; Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>

**Subject:** RE: [#2020013] Wintergreen- Zoning, Transportation and hydrology

Ron,



Hydrology cannot issue a Temp CO for apartments. Hydrology will need the detention pond along with the outfall to the arroyo built per the approved G&D in order for Hydrology to issue a Perm CO.



**RENÉE CHRISTINA BRISSETTE, PE CFM**

senior engineer, hydrology

o 505.924.3995

e [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Ron Bohannon <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>

**Sent:** Wednesday, March 6, 2024 12:19 PM

**To:** Brissette, Renee C. <[rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)>; Al-najjar, Marwa G. <[malnajjar@cabq.gov](mailto:malnajjar@cabq.gov)>

**Cc:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>; Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>

**Subject:** FW: [#2020013] Wintergreen- Zoning, Transportation and hydrology

Rene and Marwa, Wintergreen is heading toward completion but the landscaper (Hilltop) has closed their doors. Would we be able to work with your office to get TCO on two of the remaining three buildings?

Ronald R. Bohannon, P.E.

Tierra West LLC

5571 Midway Parkplace NE

Albuquerque, NM 87109

Office 505-858-3100

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**From:** Ben Sepehripour <[bsepehripour@snyder-const.com](mailto:bsepehripour@snyder-const.com)>

**Sent:** Wednesday, March 6, 2024 11:19 AM

**To:** Luis Noriega <[lnoriega@tierrawestllc.com](mailto:lnoriega@tierrawestllc.com)>

**Cc:** Ron Bohannon <[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)>; Peter Stalland <[peterstalland@stalland.net](mailto:peterstalland@stalland.net)>; Gary

Christensen <[gchristensen@snyder-const.com](mailto:gchristensen@snyder-const.com)>; Perla Barron <[pbarron@snyder-const.com](mailto:pbarron@snyder-const.com)>;

Markus Watson <[mwatson@tierrawestllc.com](mailto:mwatson@tierrawestllc.com)>; Rick Bennett <[rick@rba81.com](mailto:rick@rba81.com)>

**Subject:** [#2020013] Wintergreen- Zoning, Transportation and hydrology

Luis and Ron,

We got the zoning approval this morning with a 30 day extension to get the landscaping done. We have asked Cartesian to send the as-built for the courtyard, however, we are not sure if this could happen today or tomorrow.

With that in mind, would you please get the transportation and hydrology inspections done so we get our CO on Friday, March 8<sup>th</sup>.

Ron, as mentioned in our conversation this morning, we can let them know the truth which is Hilltop closing business and we are looking for another company, hopefully, Green Summit, to finish the job. This was a surprise to us and we found out about it last Thursday when I called Jim Forrester.

Peter wants his CO by Friday.

Thank you for your help on this.

Ben Sepehripour  
Chief Operating Officer

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