

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 24, 2024

Ronald Bohannon, PE
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Wintergreen Apartments Building C and F/ 10820 Golf Course Blvd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-27-21 (A12-D008D)
Certification dated 03-28-24

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 03-28-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File

TW

TIERRA WEST, LLC

March 28, 2023

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED SITE PLAN FOR BUILDING C & BUILDING F
PERMIT CERTIFICATION
REQUEST FOR PARTIAL TEMPORARY CERTIFICATE OF OCCUPANCY
10820 GOLF COURSE RD. NW, ALBUQUERQUE, NM 87121**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for issuance of a Partial Temporary Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on **March 26, 2023**, and is in general accordance with the design intent of the Approved Site Plan dated 12/27/2021.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Site Plan. Therefore, we request approval of the as-built Approved Site Plan Permit and issuance of the Temporary Certificate of Occupancy.

The reason for this Temporary Certificate is because the owners insurance is lapsing and are in need of a temp CO to avoid further cost overruns.

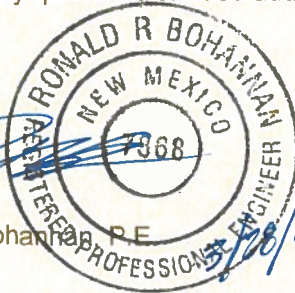
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

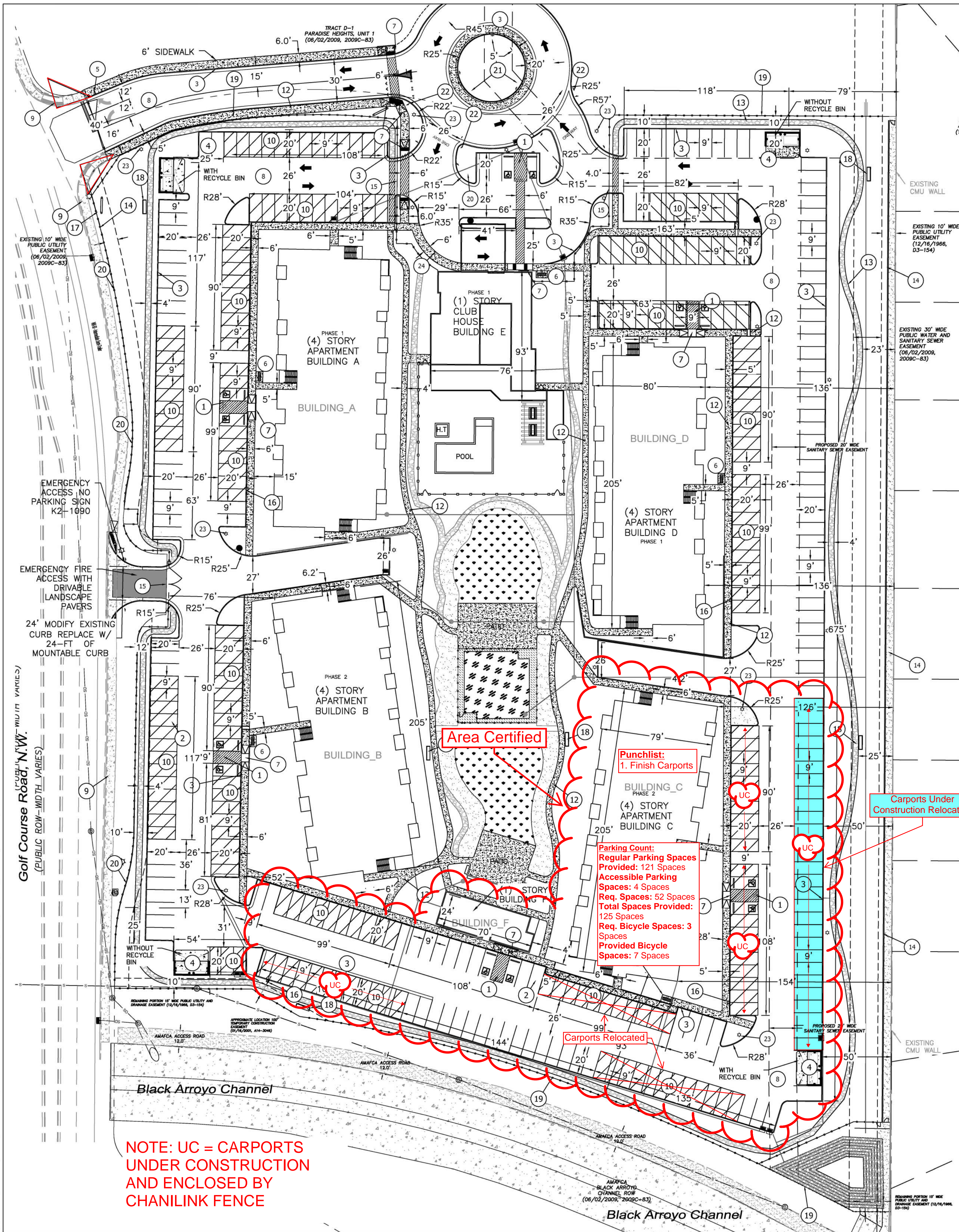
Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2020013
RRB/LN/MW





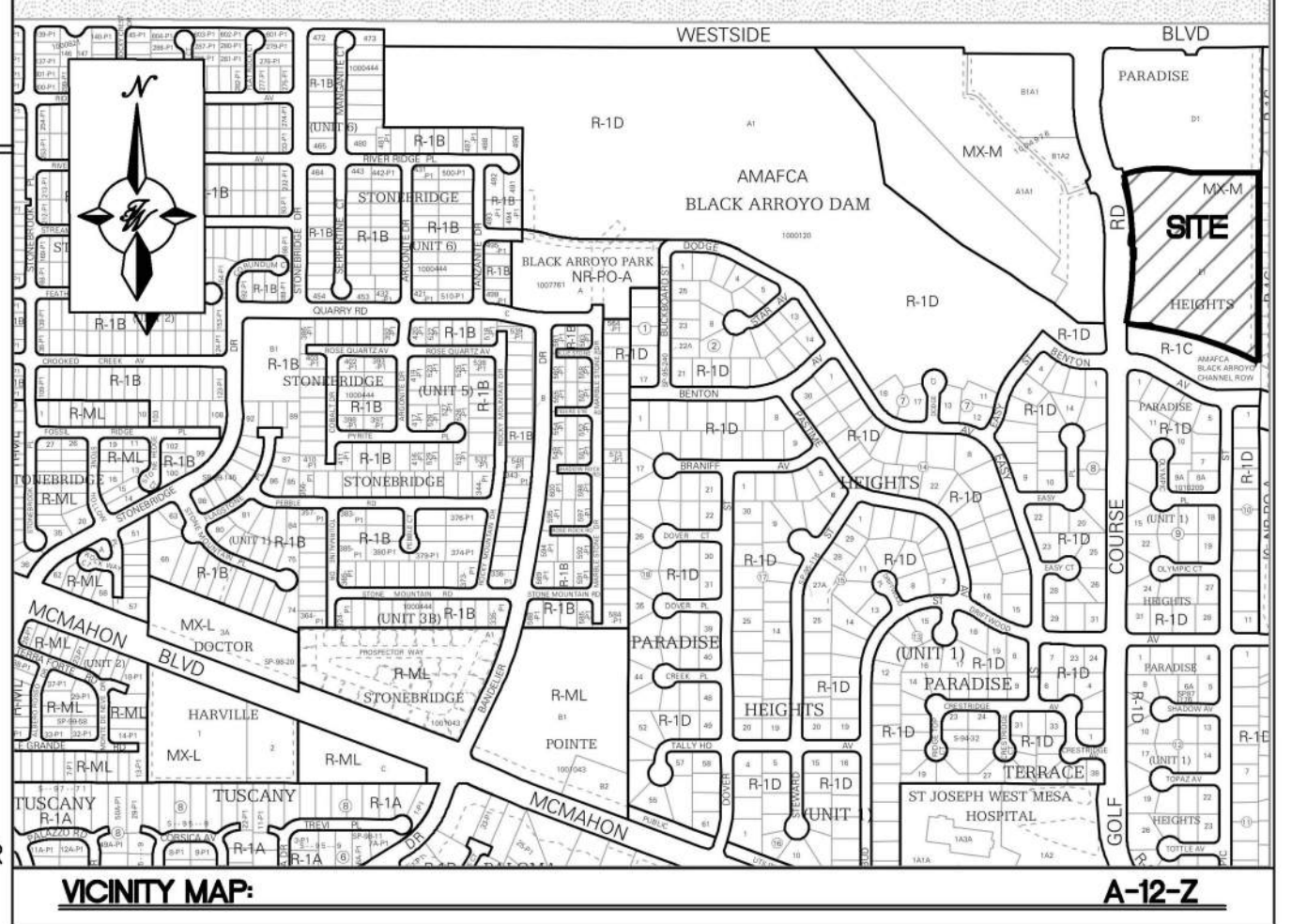
NOTE: UC = CARPORTS UNDER CONSTRUCTION AND ENCLOSED BY CHANILINK FENCE

KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4)
(2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX))
- R1-1 36" STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. C5)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- CARPORT (SEE DETAIL SHT. C7)
- CURB HC RAMP (SEE DETAIL SHT. C4)
- 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 5' CRUSHED GRAVEL TRAIL
- 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7)
ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- PARK BENCH (SEE ARCH. DETAIL SHT.)

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE



LEGAL DESCRIPTION:

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- R1-2 YIELD SIGN
- STREET LIGHT (SEE DETAIL SHT 6.)
- ZERO CURB (SEE DETAIL SHT 4.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
1ST FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	61 S.F.	71 S.F.	15,025 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 2ND FLOOR AREA
2ND FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 3RD FLOOR AREA
3RD FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 4TH FLOOR AREA
4TH FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
TOTAL BUILDING "A" APARTMENTS UNITS: 52												
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 59,716 S.F.												
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.												
TOTAL BUILDING "B", "C", "D" AND "E" AREA: 59,716 S.F. x 4 = 238,864 S.F.												

BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)
BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)
TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)

CLUB HOUSE BUILDING "E" (1 STORY)
CLUB HOUSE AREA: 7,725 S.F.

BUILDING "F" (1 STORY)
AREA: 1,680 S.F.

TOTAL BUILDING AREA: 248,269 S.F.

TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT
208 UNITS x 1.5 = 312
SPACES REQUIRED = 312
ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES
BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:
312 x 10% = 32 BICYCLE PARKING SPACES
ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)
(2BR: 250 SQ. FT. / UNIT)
TOTAL = 128*200 + 80*250 = 45,600 SQ. FT.
PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:

CARPORT PARKING SPACES: 37
BUILDING "A": 52 SPACES
BUILDING "B": 52 SPACES
BUILDING "C": 52 SPACES
BUILDING "D": 52 SPACES
TOTAL CARPORT PARKING SPACES = 208
REGULAR PARKING SPACES = 156
ACCESSIBLE PARKING SPACES = 12 (2 VAN)
TOTAL PARKING SPACES PROVIDED = 376
PROVIDED BICYCLE SPACES = 32 (4x7 STANDS & 1x4)
ELECTRIC CHARGING STATIONS PROVIDED = 8

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'x11' PER DPM 7-11(D)).

PERIMETER WALL NOTE

THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

INDEX TO DRAWINGS

- SITE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- BUILDING ELEVATIONS
- LANDSCAPING PLAN

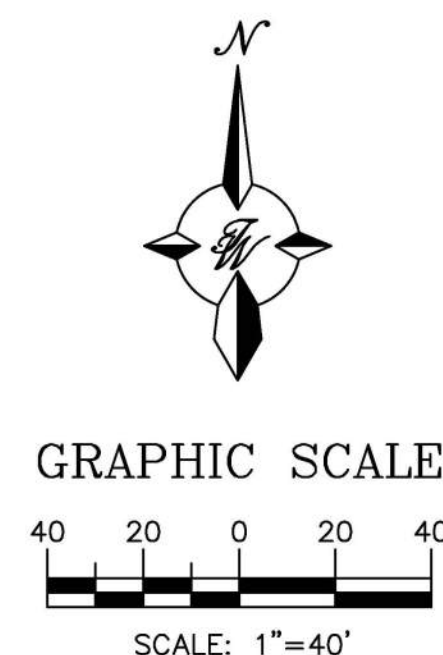
PROJECT NUMBER: PR-2020-004030
APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger Jan 3, 2022
Traffic Engineer, Transportation Division
Blaine Carter Dec 29, 2021
David H. H. H. Dec 31, 2021
Parks & Recreation Department
Renee C. Brunsell Jan 10, 2022
City Engineer/Hydrology
Robert Webb Dec 29, 2021
Code Enforcement
*Environmental Health Department (conditional)
Herman Gallegos 12-23-21
Solid Waste Management
DRB Chairperson, Planning Department
* Environmental Health, if necessary

Approved for access by the Solid Waste Department for 8-1b Herman Gallegos 12-23-21



ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
RONALD R. BOHANNAN PROFESSIONAL ENGINEER 12/27/2021	SITE PLAN	DATE 08/25/2021
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C1
		JOB # 2020013