

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 31, 2023

Ron Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: Wintergreen Apartments/ 10820 Golf Course Rd. NW/ Phase1/Building A & Clubhouse**

**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 12-27-2021 (A12-D008D)  
Certification dated 08-22-23

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 08-23-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Wintergreen Apartments **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** TR E-1 Plat of TRS D-1, E-1, AMAFCA **City Address OR Parcel** UPC: 101206651442411302  
Black Arroyo Channel ROW Paradise  
Heights Unit 1

**Applicant/Agent:** Tierra West, LLC **Contact:** Luis Noriega

**Address:** 5571 Midway Park Pl NE ABQ NM 87109 **Phone:** 505-858-3100

**Email:** lnoriega@tierrawestllc.com

**Applicant/Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Email:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** PLAT (#of lots) RESIDENCE ☒ DRB SITE ADMIN SITE: \_\_\_\_\_

**RE-SUBMITTAL:** YES ☒ NO

**DEPARTMENT:** TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 08/22/23



# TIERRA WEST, LLC

August 22, 2023

Ms. Marwa Al-najjar  
Development Review Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: APPROVED SITE PLAN FOR BUILDING  
PERMIT CERTIFICATION  
REQUEST FOR PARTIAL TEMPORARY CERTIFICATE OF OCCUPANCY  
10820 GOLF COURSE RD. NW, ALBUQUERQUE, NM 87121**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for issuance of a Partial Temporary Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on August 16, 2023, and is in general accordance with the design intent of the Approved Site Plan dated 08/25/2021.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Site Plan. Therefore, we request approval of the as-built Approved Site Plan Permit and issuance of the Temporary Certificate of Occupancy.

The reason for this Temporary Certificate is to allow tenants to occupy the first building "Building A" as well as the clubhouse to manage the daily operations while the contractor addressed the punch list items indicated on this submittal.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure

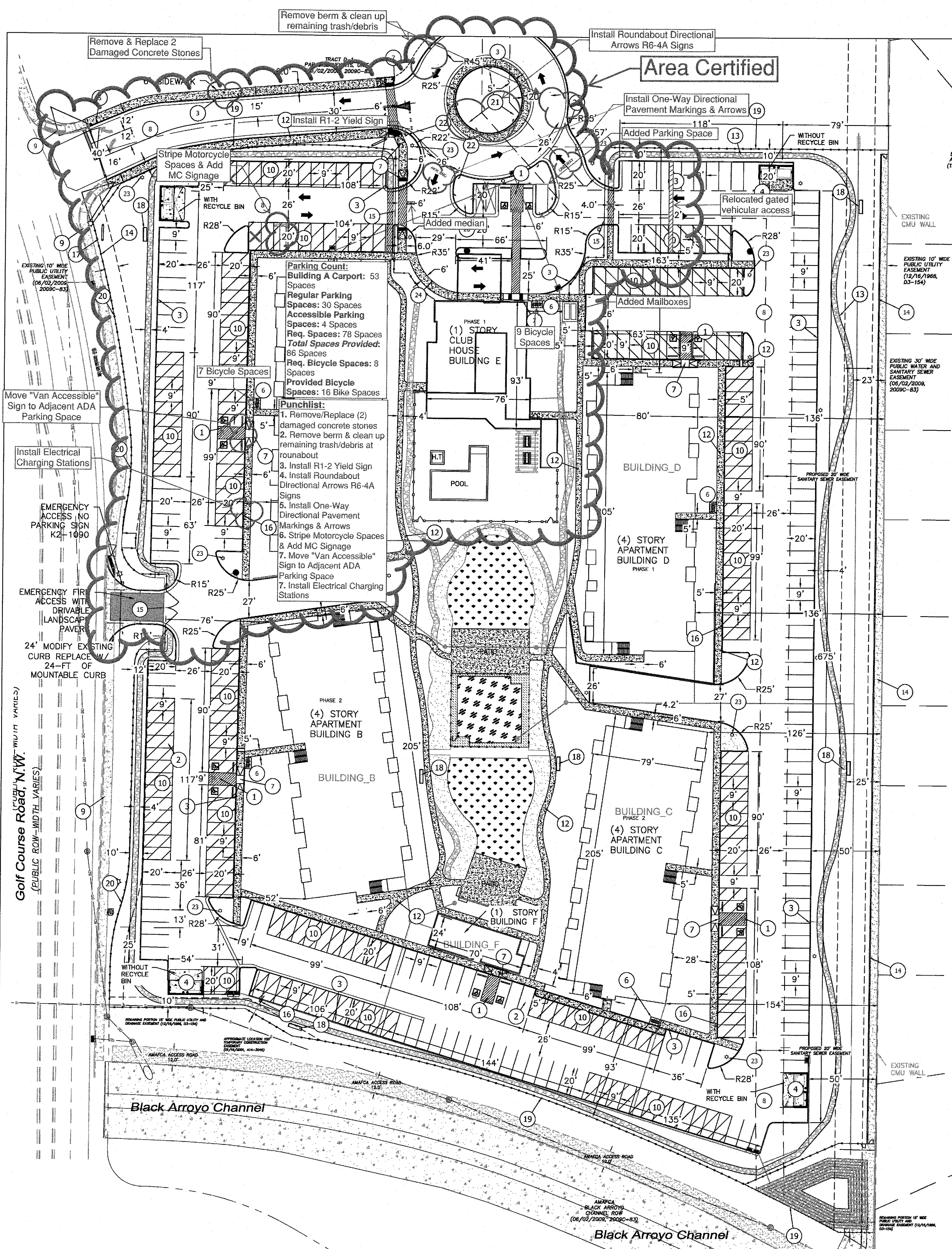
JN: 2020013  
RRB/ln/mw

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com





\\TWA\S\Z Drive\2020\2020013 Apartments at Golf Course Rd\dwg\NPG\GLD\2020013\_Sep.dwg Dec. 23, 2021 - 9:57pm

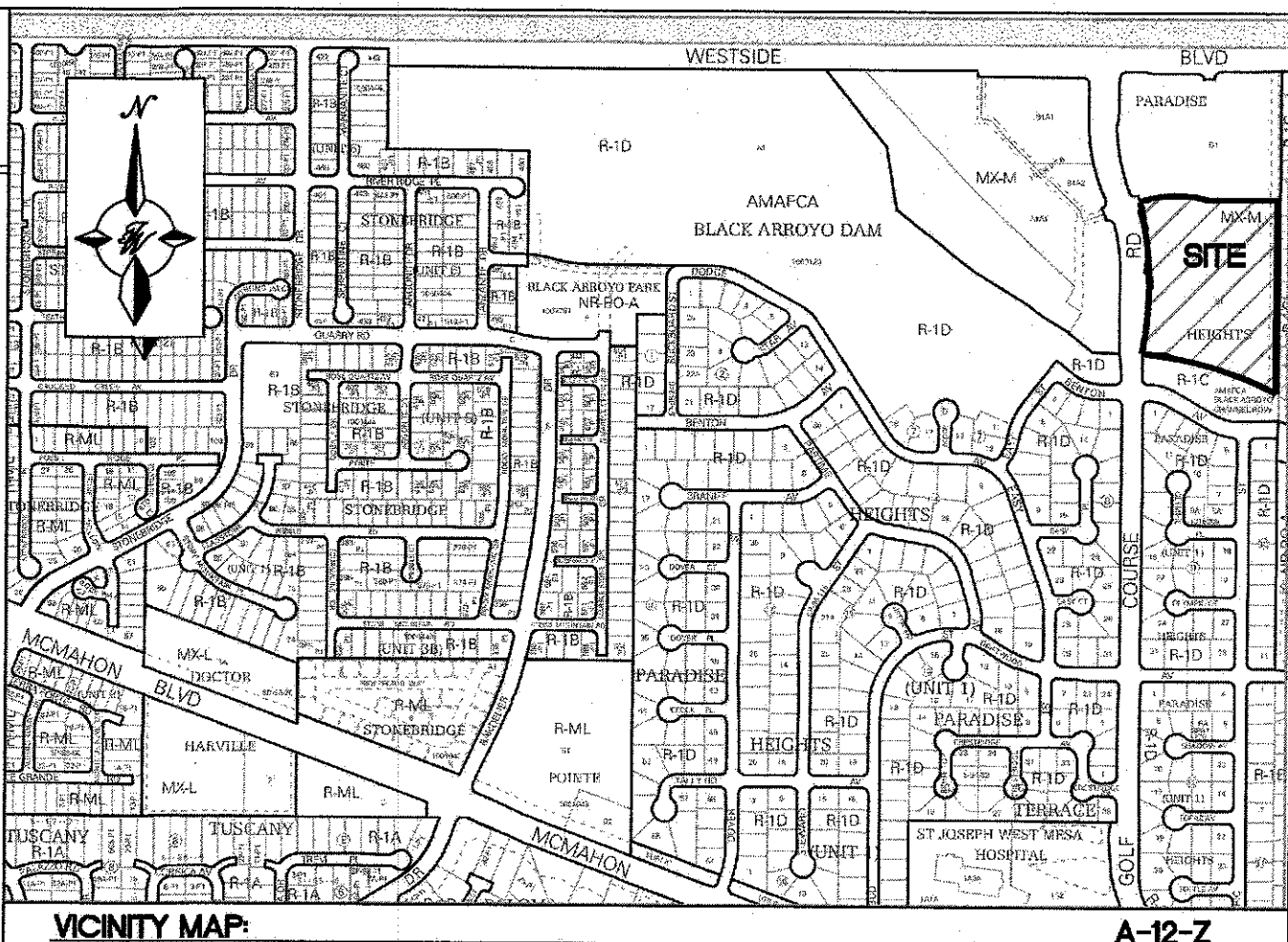


KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- 3 CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- 4 DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4) (2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX))
- 5 R1-1 36" STOP SIGN
- 6 BICYCLE RACKS (SEE DETAIL SHT. C5)
- 7 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- 8 ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- 9 EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- 10 CARPORT (SEE DETAIL SHT. C7)
- 11 CURB HC RAMP (SEE DETAIL SHT. C4)
- 12 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 13 5' CRUSHED GRAVEL TRAIL
- 14 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- 15 GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7) ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 16 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- 17 MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- 18 PARK BENCH (SEE ARCH. DETAIL SHT.)

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE
- 3-FT WROUGHT IRON FENCE ON TOP OF 3-FT CMU BLOCK WALL COLORED "TAN" (ALONG NORTH AND SOUTH PERIMETER)
- 3-FT WROUGHT IRON FENCE ON TOP OF 3-FT CMU BLOCK WALL COLORED "TAN" (ALONG GOLF COURSE FRONTAGE)



LEGAL DESCRIPTION

- TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1
- 21 ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- 22 R1-2 YIELD SIGN
- 23 STREET LIGHT (SEE DETAIL SHT. 6.)
- 24 ZERO CURB (SEE DETAIL SHT. 4.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
1ST FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	15,025 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	68 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 2ND FLOOR AREA
2ND FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	68 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 3RD FLOOR AREA
3RD FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	68 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
BUILDING "A"	APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 4TH FLOOR AREA
4TH FLOOR AREA	STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
	ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
	TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
	TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	68 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL						13 APARTMENTS	13,087 S.F.					
TOTAL BUILDING "A" APARTMENTS UNITS: 52												
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 56,716 S.F.												
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.												
TOTAL BUILDING "A", "B", "C" AND "D" AREA: 59,716 S.F. x 4 = 238,864 S.F.												

BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)  
BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)  
CLUB HOUSE BUILDING "F" (1 STORY)  
CLUB HOUSE AREA: 7,725 S.F.  
BUILDING "F" (1 STORY)  
AREA: 1,680 S.F.  
TOTAL BUILDING AREA: 248,269 S.F.  
TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT  
208 UNITS x 1.5 = 312  
SPACES REQUIRED = 312  
ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)  
MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES  
BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:  
312 x 10% = 32 BICYCLE PARKING SPACES  
ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)  
(2BR: 250 SQ. FT. / UNIT)  
TOTAL = 128\*200 + 80\*250 = 45,600 SQ. FT.  
PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:

CARPORT PARKING SPACES: 208  
BUILDING "A": 52 SPACES  
BUILDING "B": 52 SPACES  
BUILDING "C": 52 SPACES  
BUILDING "D": 52 SPACES  
TOTAL CARPORT PARKING SPACES = 208  
REGULAR PARKING SPACES = 156  
ACCESSIBLE PARKING SPACES = 12 (2 VAN)  
TOTAL PARKING SPACES PROVIDED = 376  
PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)  
ELECTRIC CHARGING STATIONS PROVIDED = 8

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAVE) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

PERIMETER WALL NOTE

THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

INDEX TO DRAWINGS

- C1. SITE PLAN
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. CONSTRUCTION DETAILS
- C5. CONSTRUCTION DETAILS
- C6. CONSTRUCTION DETAILS
- C7. CONSTRUCTION DETAILS
- B1. BUILDING ELEVATIONS
- L1. LANDSCAPING PLAN

PROJECT NUMBER: PR-2020-004030  
APPLICATION NUMBER: SI-2020-00540

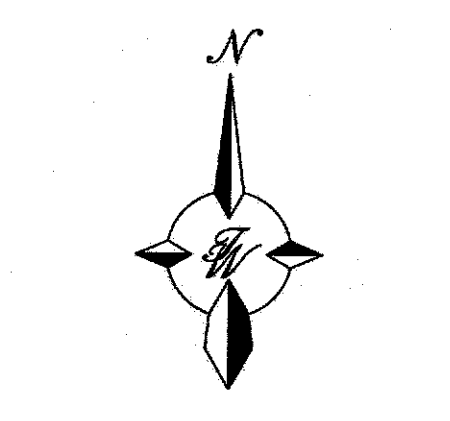
Is an Infrastructure List required? ☒ Yes ☐ No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

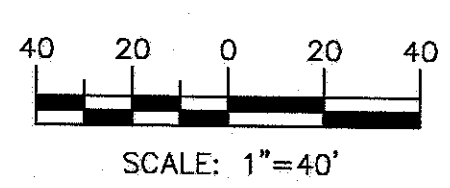
Jeanne Wolfenbarger  
Traffic Engineer, Transportation Division  
Blaine Carter  
Parks & Recreation Department  
Renee C. Brice  
City Engineer/Hydrology  
Robert Webb  
Code Enforcement  
\*Environmental Health Department (conditional)  
Herman Gallegos  
Solid Waste Management  
DRB Chairperson, Planning Department  
\* Environmental Health, if necessary

Jan 3, 2022  
Dec 29, 2021  
Dec 31, 2021  
Jan 10, 2022  
Dec 29, 2021  
Date  
Date  
Date  
Date  
Date

Approved for access by the Solid Waste Department for 8-lb Herman Gallegos 12-23-21



GRAPHIC SCALE



ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW	DRAWN BY BF
RONALD R. BOHANNAN PROFESSIONAL ENGINEER 12/27/2021	SITE PLAN	DATE 08/25/2021
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2020013_SPB
		SHEET # C1
		JOB # 2020013