

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 8, 2023

Luis Noriega, P.E.
Tierra West LLC
5571 Midway Park Pl., NE
Albuquerque, NM 87109

Re: Wintergreen Apartments 10820 Golf Course. NW- Building D
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-27-21 (A12-D008D)
Certification dated 11-28-23

Dear Mr. Noriega,

Based upon the information provided in your submittal received 11-28-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Laurie Elliot, Yvette Lucero



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Wintergreen Apartments Hydrology File # _____
Legal Description: TR E-1 PLAT OF TRS D-1, E-1 AMAFCA BLACK ARROYOCHANNEL ROW PARADISE HEIGHTS UNIT 1 CONT 8.7795 AC
City Address, UPC, OR Parcel: 101206651442411302

Applicant/Agent: TIERRA WEST LLC Contact: Luis Noriega
Address: 5571 Midway Park Place NE Phone: 505-858-3100
Email: lnoriega@tierrawestllc.com

Applicant/Owner: _____ Contact: _____
Address: _____ Phone: _____
Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☐ DFT SITE ☒ ADMIN SITE (DRB SITE PLAN)

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/28/2023



TIERRA WEST, LLC

November 28, 2023

Ms. Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED SITE PLAN FOR BUILDING
PERMIT CERTIFICATION
REQUEST FOR PARTIAL PERMANENT CERTIFICATE OF OCCUPANCY
10820 GOLF COURSE RD. NW, ALBUQUERQUE, NM 87121**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for issuance of a Partial Permanent Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on November 22, 2023, and is in general accordance with the design intent of the Approved Site Plan dated 08/25/2021.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Site Plan. Therefore, we request approval of the as-built Approved Site Plan Permit and issuance of the Permanent Certificate of Occupancy.

The reason for this Permanent Certificate is to allow tenants to occupy the second building "Building D" to manage the daily operations while the contractor addressed the punch list items indicated on this submittal.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

11/28/2023

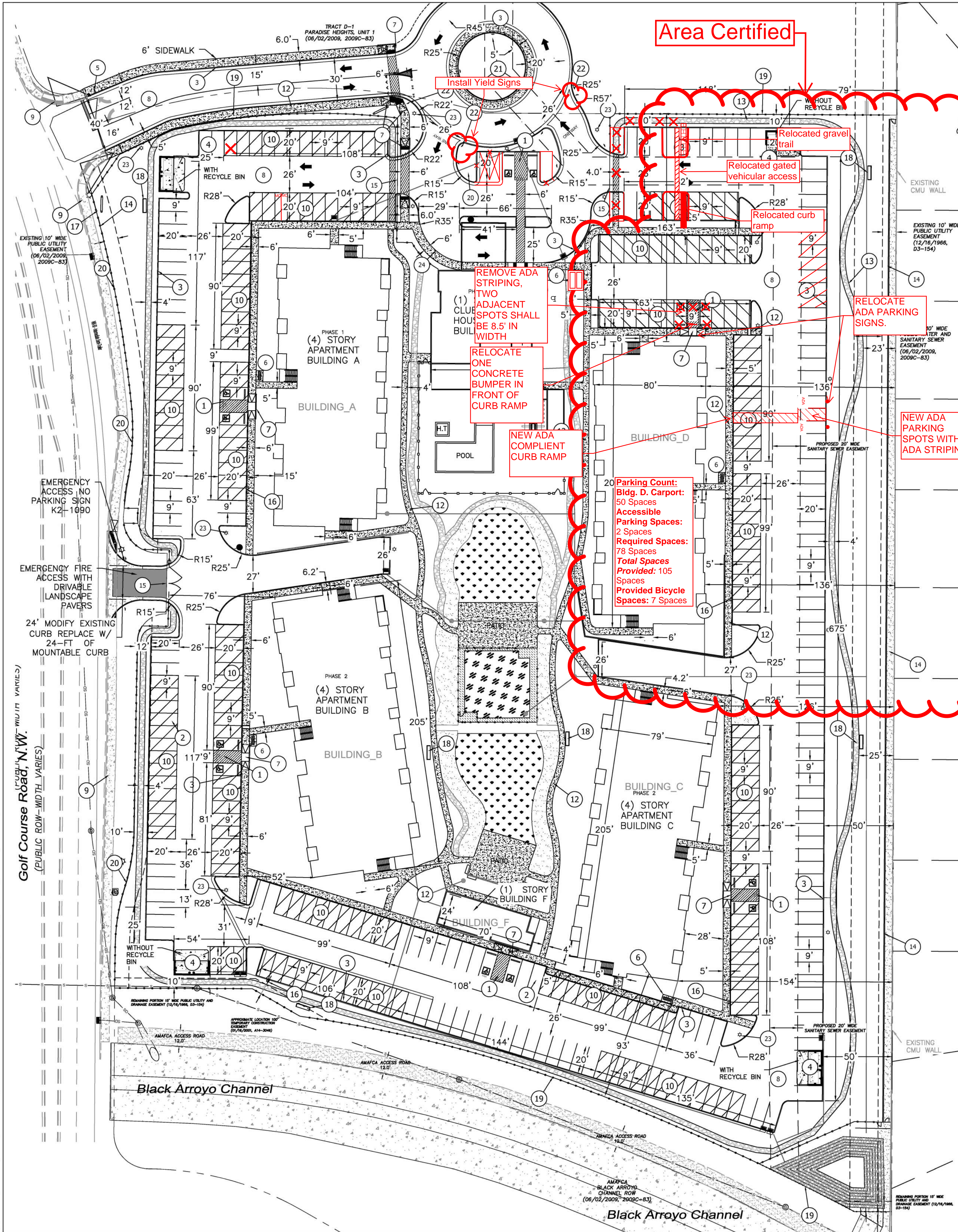


Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2020013
RRB/ln/mw

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

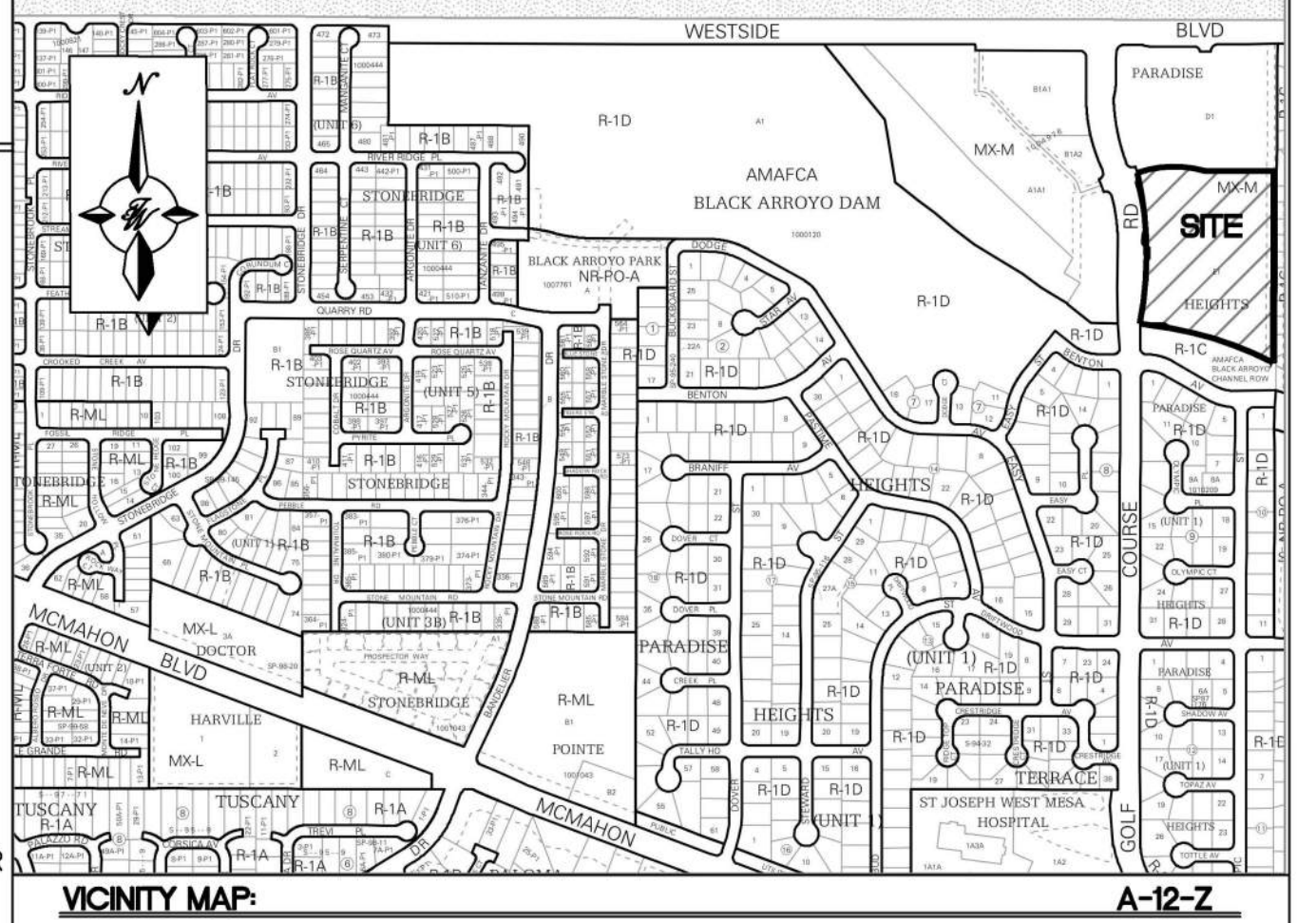


KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4) (2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX)) R1-1 36" STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. C5)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- CARPORT (SEE DETAIL SHT. C7)
- CURB HC RAMP (SEE DETAIL SHT. C4)
- 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 5' CRUSHED GRAVEL TRAIL
- 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7) ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- PARK BENCH (SEE ARCH. DETAIL SHT.)

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE



LEGAL DESCRIPTION:

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- R1-2 YIELD SIGN
- STREET LIGHT (SEE DETAIL SHT 6.)
- ZERO CURB (SEE DETAIL SHT 4.)

FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A" 1ST FLOOR AREA		APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	61 S.F.	71 S.F.	15,025 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
BUILDING "A" 2ND FLOOR AREA		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
BUILDING "A" 3RD FLOOR AREA		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
BUILDING "A" 4TH FLOOR AREA		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
TOTAL BUILDING "A" APARTMENTS UNITS: 52													
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 59,716 S.F.													
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.													
TOTAL BUILDING "B", "C", "D" AND "E" AREA: 59,716 S.F. x 4 = 238,864 S.F.													

BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)
BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)
BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)
TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)
CLUB HOUSE BUILDING "E" (1 STORY)
CLUB HOUSE AREA: 7,725 S.F.
BUILDING "F" (1 STORY)
AREA: 1,680 S.F.
TOTAL BUILDING AREA: 248,269 S.F.
TOTAL CARPORT AREA: 37,417 S.F.

PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT
208 UNITS x 1.5 = 312
SPACES REQUIRED 312
ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES
BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:
312 x 10% = 32 BICYCLE PARKING SPACES
ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)
(2BR: 250 SQ. FT. / UNIT)
TOTAL = 128*200 + 80*250 = 45,600 SQ. FT.
PROVIDED = 144,030 SQ. FT.

PARKING PROVIDED:

CARPORT PARKING SPACES: 208
BUILDING "A": 52 SPACES
BUILDING "B": 52 SPACES
BUILDING "C": 52 SPACES
BUILDING "D": 52 SPACES
TOTAL CARPORT PARKING SPACES = 208
REGULAR PARKING SPACES = 156
ACCESSIBLE PARKING SPACES = 12 (2 VAN)
TOTAL PARKING SPACES PROVIDED = 376
PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)
ELECTRIC CHARGING STATIONS PROVIDED = 8

MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

PERIMETER WALL NOTE

THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

INDEX TO DRAWINGS

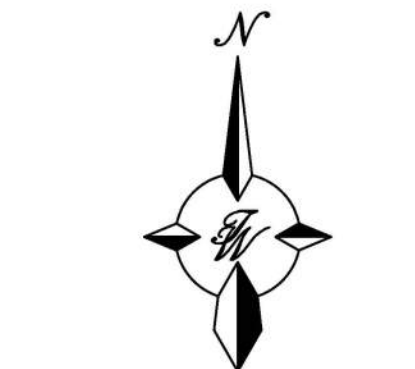
- SITE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- BUILDING ELEVATIONS
- LANDSCAPING PLAN

PROJECT NUMBER: PR-2020-004030
APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:
Jocanne Wolfenbarger, Traffic Engineer, Transportation Division, Date Jan 3, 2022
Blaine Carter, Parks & Recreation Department, Date Dec 29, 2021
Robert Webb, City Engineer/Hydrology, Date Dec 31, 2021
Code Enforcement, Date Jan 10, 2022
Herman Gallegos, Environmental Health Department (conditional), Date Dec 29, 2021
Solid Waste Management, Date Jan 10, 2022
DRB Chairperson, Planning Department, Date
* Environmental Health, if necessary

Approved for access by the Solid Waste Department for 8-1/2 Herman Gallegos 12-23-21



GRAPHIC SCALE

0 20 0 20 40

SCALE: 1" = 40'

ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL: RONALD R. BOHANNAN, NEW MEXICO PROFESSIONAL ENGINEER, 7868, 12/27/2021

WINTERGREEN LUXURY APARTMENTS, 10820 GOLF COURSE RD. NW, SITE PLAN

TERRA WEST, LLC, 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109, (505) 858-3100, www.tierrowestllc.com

DRAWN BY: BF, DATE: 08/25/2021, SHEET #: C1, JOB #: 2020013