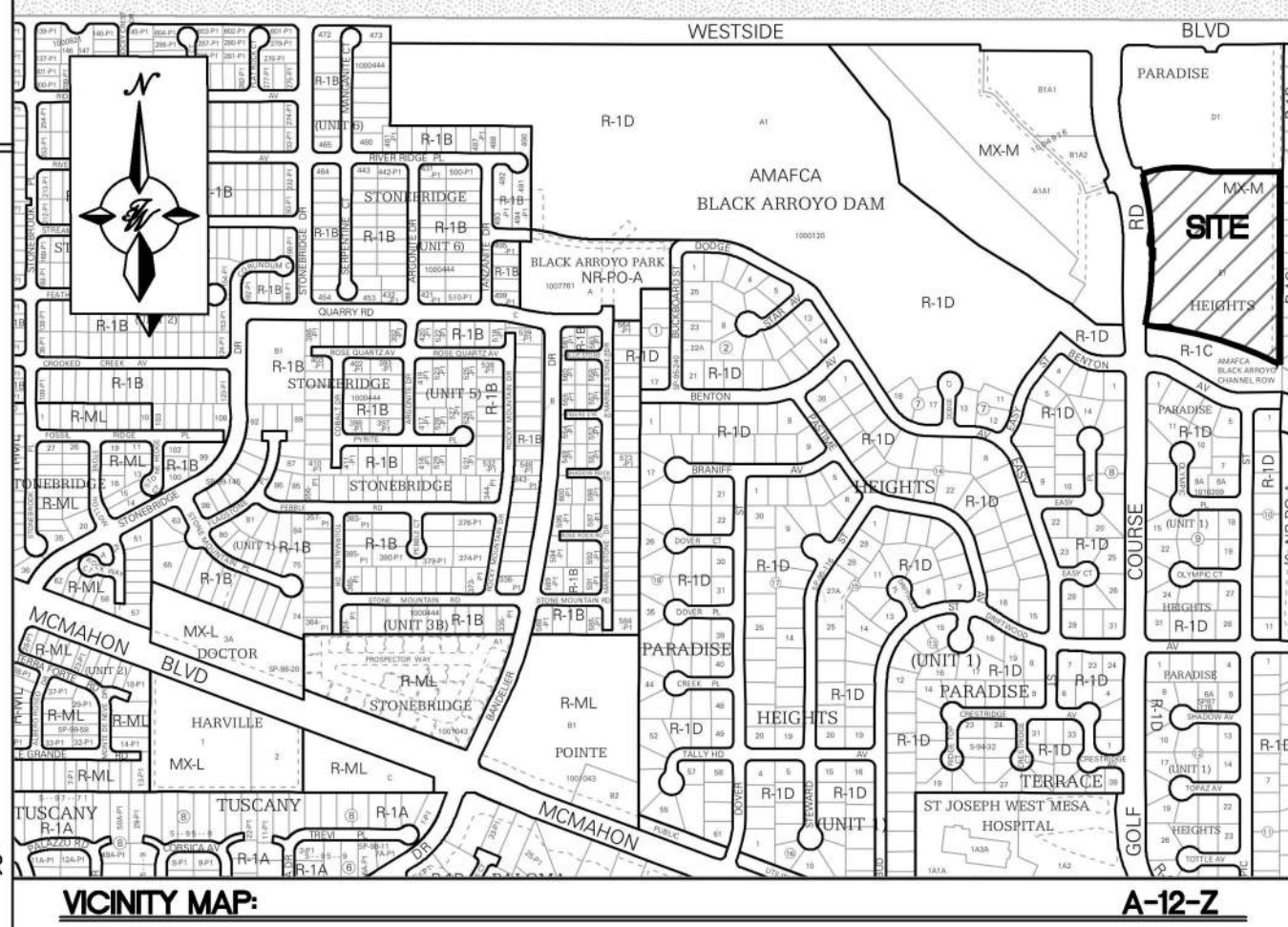


# KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4) (2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX))
- R1-1 36" STOP SIGN
- BICYCLE RACKS (SEE DETAIL SHT. C5)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- CARPORT (SEE DETAIL SHT. C7)
- CURB HC RAMP (SEE DETAIL SHT. C4)
- 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 5' CRUSHED GRAVEL TRAIL
- 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7) ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- PARK BENCH (SEE ARCH. DETAIL SHT.)

## LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE



## LEGAL DESCRIPTION:

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- R1-2 YIELD SIGN
- STREET LIGHT (SEE DETAIL SHT 6.)
- ZERO CURB (SEE DETAIL SHT 4.)

## FOUR STORY BUILDING APARTMENT UNIT MIX AREAS

BUILDING "A" 1ST FLOOR AREA		APARTMENT TYPE	HEATED AREA	MECHANICAL AREA	COVERED PATIO AREA	STORAGE AREA	TOTAL APARTMENTS	TOTAL S.F. AREA	CORRIDOR AREA	ELEVATOR AREA	ELEVATOR EQUIP. RM. AREA	FIRE RISER RM. AREA	TOTAL 1ST FLOOR AREA
		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,747 S.F.	59 S.F.	61 S.F.	71 S.F.	15,025 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
BUILDING "A" 2ND FLOOR AREA		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
BUILDING "A" 3RD FLOOR AREA		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
BUILDING "A" 4TH FLOOR AREA		STUDIO	578 S.F.	22 S.F.	54 S.F.	N/A	(2) STUDIOS	654 S.F. x 2 = 1,308 S.F.	1,810 S.F.	N/A	N/A	N/A	14,897 S.F.
		ONE BEDROOM	781 S.F.	22 S.F.	77 S.F.	N/A	(6) ONE BEDROOMS	880 S.F. x 6 = 5,280 S.F.					
		TWO BEDROOM	1,105 S.F.	22 S.F.	72 S.F.	74 S.F.	(3) TWO BEDROOMS	1,273 S.F. x 3 = 3,819 S.F.					
		TWO BDRM. W/ DEN	1,175 S.F.	22 S.F.	69 S.F.	74 S.F.	(2) TWO BDRM. W/ DEN	1,340 S.F. x 2 = 2,680 S.F.					
TOTAL							13 APARTMENTS	13,087 S.F.					
TOTAL BUILDING "A" APARTMENTS UNITS: 52													
TOTAL BUILDING "A" 1ST, 2ND, 3RD AND 4TH FLOOR AREA: 59,716 S.F.													
TOTAL BUILDING "A" ROOF AREA: 15,025 S.F.													
TOTAL BUILDING "B", "C", "D" AND "E" AREA: 59,716 S.F. x 4 = 238,864 S.F.													

## BUILDING AREAS

APARTMENT BUILDINGS (4 STORIES EA.)  
BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)  
TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)  
CLUB HOUSE BUILDING "E" (1 STORY)  
CLUB HOUSE AREA: 7,725 S.F.  
BUILDING "F" (1 STORY)  
AREA: 1,680 S.F.  
TOTAL BUILDING AREA: 248,269 S.F.  
TOTAL CARPORT AREA: 37,417 S.F.

## PARKING REQUIRED PER THE IDO

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT  
208 UNITS x 1.5 = 312  
SPACES REQUIRED 312  
ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)  
MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES  
BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:  
312 x 10% = 32 BICYCLE PARKING SPACES  
ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

## OPEN SPACE CALCULATIONS

(1BR: 200 SQ. FT. / UNIT)  
(2BR: 250 SQ. FT. / UNIT)  
TOTAL = 128\*200 + 80\*250 = 45,600 SQ. FT.  
PROVIDED = 144,030 SQ. FT.

## PARKING PROVIDED:

CARPORT PARKING SPACES: 208  
BUILDING "A": 52 SPACES  
BUILDING "B": 52 SPACES  
BUILDING "C": 52 SPACES  
BUILDING "D": 52 SPACES  
TOTAL CARPORT PARKING SPACES = 208  
REGULAR PARKING SPACES = 156  
ACCESSIBLE PARKING SPACES = 12 (2 VAN)  
TOTAL PARKING SPACES PROVIDED = 376  
PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)  
ELECTRIC CHARGING STATIONS PROVIDED = 8

## MINI CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

## PERIMETER WALL NOTE

THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

## INDEX TO DRAWINGS

- SITE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- BUILDING ELEVATIONS
- LANDSCAPING PLAN

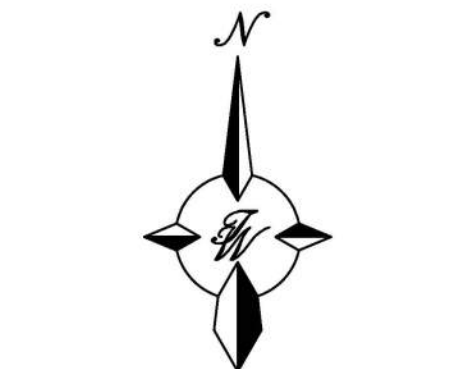
PROJECT NUMBER: PR-2020-004030  
APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:  
Jocanne Wolfenbarger, Traffic Engineer, Transportation Division, Date Jan 3, 2022  
Blaine Carter, Parks & Recreation Department, Date Dec 29, 2021  
Robbie Hines, Date Dec 31, 2021  
Renee C. Brunsell, City Engineer/Hydrology, Date Jan 10, 2022  
Robert Webb, Code Enforcement, Date Dec 29, 2021

\*Environmental Health Department (conditional)  
Herman Gallegos, Solid Waste Management, Date 12-23-21  
DRB Chairperson, Planning Department, Date Jan 10, 2022  
\* Environmental Health, if necessary

Approved for access by the Solid Waste Department for 8-1/2 Herman Gallegos 12-23-21



GRAPHIC SCALE

SCALE: 1" = 40'

## ISSUED FOR DRB (NOT FOR CONSTRUCTION)

ENGINEER'S SEAL	WINTERGREEN LUXURY APARTMENTS 10820 GOLF COURSE RD. NW SITE PLAN	DRAWN BY BF DATE 08/25/2021 2020013_SPB
RONALD R. BOHANNAN PROFESSIONAL ENGINEER 12/27/2021 RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # C1 JOB # 2020013