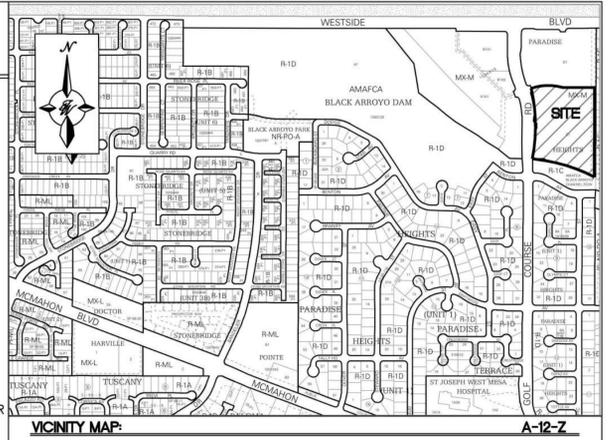


**KEYED NOTES**

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C5)
- 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C5)
- 3 CURB & GUTTER (TYP) (SEE DETAIL SHT. C4)
- 4 DUMPSTER ENCLOSURE (SEE DETAIL SHT. C4) (2-RECYCLE DUMPSTERS ALLOWED PER SITE (MAX))
- 5 R1-1 36" STOP SIGN
- 6 BICYCLE RACKS (SEE DETAIL SHT. C5)
- 7 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C4)
- 8 ASPHALT PAVING (SEE GEOTECH REPORT & DETAIL SHT. C4)
- 9 EXISTING 6' PUBLIC SIDEWALK / ADA RAMP
- 10 CARPORT (SEE DETAIL SHT. C7)
- 11 CURB HC RAMP (SEE DETAIL SHT. C4)
- 12 5' CONCRETE SIDEWALK (SEE DETAIL SHT. C4)
- 13 5' CRUSHED GRAVEL TRAIL
- 14 6-FT CMU SCREEN WALL W/ LOCKED GATES AT EACH END COLORED "TAN" (SEE DETAIL SHT. C6)
- 15 GATED VEHICULAR ACCESS (SEE DETAIL SHT. C7) ACCESS SHALL BE PROVIDED TO SOLID WASTE VEHICLES/DRIVERS FROM 7AM TO 8PM ELSE A CLICKER SHALL BE PROVIDED.
- 16 2X ELECTRIC CHARGING STATION (SEE DETAIL SHT.)
- 17 MONUMENT SIGN (SEE ARCH. DETAIL SHT.)
- 18 PARK BENCH (SEE ARCH. DETAIL SHT.)

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- LANDSCAPING
- ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE



**LEGAL DESCRIPTION:**

TRACT E-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS, UNIT 1

- 21 ROUNDABOUT DIRECTIONAL ARROWS R6-4A SIGN
- 22 R1-2 YIELD SIGN
- 23 STREET LIGHT (SEE DETAIL SHT 6.)
- 24 ZERO CURB (SEE DETAIL SHT 4.)

**FOUR STORY BUILDING APARTMENT UNIT MIX AREAS**

| BUILDING "A" 2ND FLOOR AREA | APARTMENT TYPE   | HEATED AREA | MECHANICAL AREA | COVERED PATIO AREA | STORAGE AREA  | TOTAL APARTMENTS     | TOTAL S.F. AREA             | CORRIDOR AREA | ELEVATOR AREA | ELEVATOR EQUIP. RM. AREA | FIRE RISER RM. AREA | TOTAL 2ND FLOOR AREA |
|-----------------------------|------------------|-------------|-----------------|--------------------|---------------|----------------------|-----------------------------|---------------|---------------|--------------------------|---------------------|----------------------|
| TOTAL                       | STUDIO           | 578 S.F.    | 22 S.F.         | 54 S.F.            | N/A           | (2) STUDIOS          | 654 S.F. x 2 = 1,308 S.F.   | 1,747 S.F.    | 59 S.F.       | 81 S.F.                  | 71 S.F.             | 15,025 S.F.          |
|                             | ONE BEDROOM      | 781 S.F.    | 22 S.F.         | 77 S.F.            | N/A           | (6) ONE BEDROOMS     | 880 S.F. x 6 = 5,280 S.F.   |               |               |                          |                     |                      |
|                             | TWO BEDROOM      | 1,105 S.F.  | 22 S.F.         | 72 S.F.            | 74 S.F.       | (3) TWO BEDROOMS     | 1,273 S.F. x 3 = 3,819 S.F. |               |               |                          |                     |                      |
|                             | TWO BDRM. W/ DEN | 1,175 S.F.  | 22 S.F.         | 69 S.F.            | 74 S.F.       | (2) TWO BDRM. W/ DEN | 1,340 S.F. x 2 = 2,680 S.F. |               |               |                          |                     |                      |
| TOTAL                       |                  |             |                 |                    | 13 APARTMENTS | 13,087 S.F.          |                             |               |               |                          |                     |                      |

**Parking Count:**  
 Bldg. D. Carport:  
 50 Spaces  
 Accessible Parking Spaces:  
 2 Spaces  
 Required Spaces:  
 78 Spaces  
 Total Spaces  
 Provided: 105 Spaces  
 Provided Bicycle Spaces:  
 7 Spaces

**BUILDING AREAS**

APARTMENT BUILDINGS (4 STORIES EA.)

BUILDING "A" AREA: 59,716 S.F. (52 APARTMENT UNITS)

BUILDING "B" AREA: 59,716 S.F. (52 APARTMENT UNITS)

BUILDING "C" AREA: 59,716 S.F. (52 APARTMENT UNITS)

BUILDING "D" AREA: 59,716 S.F. (52 APARTMENT UNITS)

TOTAL AREA: 238,864 S.F. (208 TOTAL APARTMENTS)

CLUB HOUSE BUILDING "E" (1 STORY)  
 CLUB HOUSE AREA: 7,725 S.F.

BUILDING "F" (1 STORY)  
 AREA: 1,680 S.F.

TOTAL BUILDING AREA: 248,269 S.F.

TOTAL CARPORT AREA: 37,417 S.F.

**PARKING REQUIRED PER THE IDO**

DWELLING, MULT-FAMILY = 1.5 PARKING SPACES PER UNIT  
 208 UNITS x 1.5 = 312 SPACES REQUIRED

ACCESSIBLE SPACES REQUIRED: 301 - 400 = 12 SPACES (1 VAN)

MOTORCYCLE SPACES REQUIRED: 301 TO 500 = 6 SPACES

BICYCLE PARKING REQUIRED: 10% OF OFF STREET PARKING:  
 312 x 10% = 32 BICYCLE PARKING SPACES

ELECTRIC CHARGING SPACES REQUIRED 2% OF TOTAL = 8 SPACES

**OPEN SPACE CALCULATIONS**

(1BR: 200 SQ. FT. / UNIT)  
 (2BR: 250 SQ. FT. / UNIT)

TOTAL = 128\*200 + 80\*250 = 45,600 SQ. FT.  
 PROVIDED = 144,030 SQ. FT.

**PARKING PROVIDED:**

CARPORT PARKING SPACES: 208

BUILDING "A": 52 SPACES  
 BUILDING "B": 52 SPACES  
 BUILDING "C": 52 SPACES  
 BUILDING "D": 52 SPACES

TOTAL CARPORT PARKING SPACES = 208

REGULAR PARKING SPACES = 156  
 ACCESSIBLE PARKING SPACES = 12 (2 VAN)

TOTAL PARKING SPACES PROVIDED = 376

PROVIDED BICYCLE SPACES = 32 (4X7 STANDS & 1X4)  
 ELECTRIC CHARGING STATIONS PROVIDED = 8

PROJECT NUMBER: PR-2020-004030  
 APPLICATION NUMBER: SI-2020-00540

Is an Infrastructure List required?  Yes  No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Jeanne Wolfenbarger, Traffic Engineer, Transportation Division, Date: Jan 3, 2022

Blaine Carter, Parks & Recreation Department, Date: Dec 29, 2021

REVIEWED BY: *[Signature]*, Date: Dec 31, 2021

REVISOR: *[Signature]*, Date: Jan 10, 2022

City Engineer/Hydrology, Date: Jan 10, 2022

Robert Webb, Code Enforcement, Date: Dec 29, 2021

\*Environmental Health Department (conditional), Date: \_\_\_\_\_

Herman Gallegos, Solid Waste Management, Date: 12-23-21

DRB Chairperson, Planning Department, Date: Jan 10, 2022

\* Environmental Health, if necessary

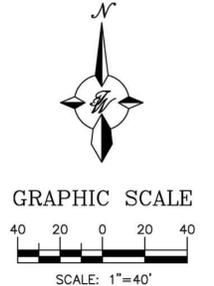
**MINI CLEAR SIGHT TRIANGLE NOTE**

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE (11'X11' PER DPM 7-11(D)).

**PERIMETER WALL NOTE**

THE COLOR OF ALL PERIMETER WALLS SHALL BE TAN.

- INDEX TO DRAWINGS**
- C1. SITE PLAN
  - C2. GRADING AND DRAINAGE PLAN
  - C3. MASTER UTILITY PLAN
  - C4. CONSTRUCTION DETAILS
  - C5. CONSTRUCTION DETAILS
  - C6. CONSTRUCTION DETAILS
  - C7. CONSTRUCTION DETAILS
  - B1. BUILDING ELEVATIONS
  - L1. LANDSCAPING PLAN



**ISSUED FOR DRB (NOT FOR CONSTRUCTION)**

|                 |  |                      |
|-----------------|--|----------------------|
| ENGINEER'S SEAL | WINTERGREEN LUXURY APARTMENTS<br>10820 GOLF COURSE RD. NW  | DRAWN BY<br>BF       |
|                 | <b>SITE PLAN</b>   | DATE<br>08/25/2021   |
|                 | TERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505) 858-3100<br>www.tierrowestllc.com | SHEET #<br><b>C1</b> |
|                 | 12/27/2021   | JOB #<br>2020013     |

Approved for access by the Solid Waste Department for 8-1b Herman Gallegos 12-23-21