



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 4, 1995

Judd Lee
Isaacson & Arfman PA
128 Monroe St. NE
Albuquerque, NM 87108

RE: PARADISE TERRACE (A-12/D11) ENGINEER'S STAMP DATED 12/21/94

Dear Mr. Lee:

Based upon the information supplied with your 12/22/94 submittal, the Work Order drawings are acceptable for permitting purposes.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File

LEGAL DESCRIPTION: NORTHERLY 462.25 FEET OF TRACT F, PARADISE HEIGHTS
UNIT 1, FILED DECEMBER 13, 1964 IN VOLUME D3 PAGE 156.

ENGINEER: ISAACSON & ARFMAN, P.A.
128 MONROE STREET NE
ALBUQUERQUE, NM 87108

SURVEYOR: ALDRICH LAND SURVEYING
ATTN: TIM ALDRICH, NMPLS NO. 7719
(505) 884-1990

BENCHMARK: ACS CONTROL STATION "2-A12" LOCATED 8.6 MILES FROM DOWNTOWN ALBUQUERQUE, NORTHWEST OF THE INTERSECTION OF MCMAHON BLVD. AND GOLF COURSE ROAD BY 0.66 MILES.
ELEVATION: 5294.29

ZONING: R1.

PROPOSED: 36 SINGLE FAMILY RESIDENTIAL LOTS.

AREA: 9.00 AC.

FLOOD HAZARD: NO PART OF THIS PROPERTY LIES WITHIN A F.E.M.A. 100-YEAR FLOOD BOUNDARY AS DETERMINED BY THE OCTOBER 14, 1983 EDITION OF THE F.E.M.A. MAPS.

LOCATION & DESCRIPTION: THE SITE IS CURRENTLY 100% UNDEVELOPED WITH SPARSE GROUND COVER. THE EXISTING GRADES ARE STEEP RANGING FROM 2 TO 20% IN SOME AREAS. THE SITE IS BOUNDED ON THE SOUTH BY THE ST. JOSEPH'S WEST MESA HOSPITAL, GOLF COURSE ROAD ON THE EAST, DEVELOPED RESIDENTIAL PROPERTY TO THE WEST, AND UNDEVELOPED PROPERTY ON THE NORTH SIDE.

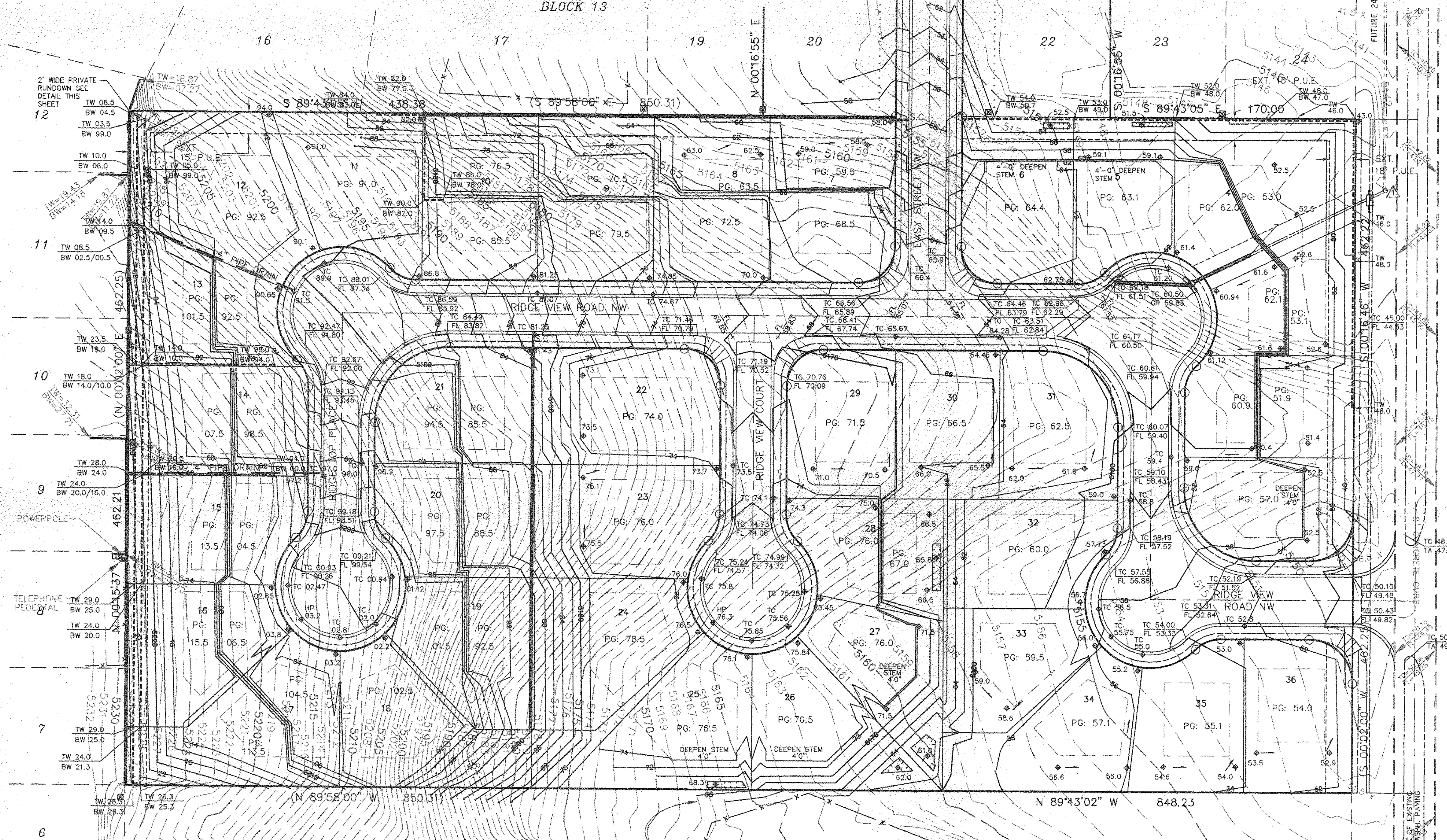
EXISTING CONDITIONS: THE SITE CURRENTLY DRAINS TO THE EAST TO GOLF COURSE ROAD. THE EXISTING 100-YEAR DISCHARGE IS 14.9 CFS.

PROPOSED IMPROVEMENTS & HYDROLOGY: PARADISE HEIGHTS, TRACT F LIES WITHIN AN AREA THAT IS PROGRAMMED INTO A GOLF COURSE. THIS SADO WILL WIDEN GOLF COURSE ROAD AS WELL AS BUILD A STORE DRAIN. THE SADO IS CURRENTLY ON LINE TO BE COMPLETED BY 9/95. IN THE INTERIM, THE SUBDIVISION WILL NEED TO DETAIN ITS DEVELOPED FLOWS. THE AMOUNT THE DEVELOPMENT WILL BE ALLOWED TO DISCHARGE TO GOLF COURSE ROAD IS 14.9 CFS WHICH IS THE CURRENT 100-YEAR DISCHARGE FOR THE EXISTING CONDITION. THE DEVELOPED CONDITION GENERATES A 100-YEAR DISCHARGE OF 29.8 CFS. THE DIFFERENCE IN TOTAL RUNOFF VOLUME PRODUCED BY THESE TWO SITUATIONS IS 1.024 ACRE FEET OR 30.263 FEET³. THIS AMOUNT MUST BE DETAINED ONSITE TO EFFECTIVELY REDUCE THE DISCHARGE TO AN ALLOWABLE RATE. THE POND DETAIL ILLUSTRATES THE DIMENSIONS OF THE PROPOSED POND. LOTS 3 AND 4 WILL BE RECLAIMED BY THE OWNER WHEN THE SADO IS COMPLETED AND THE DETENTION IS NO LONGER NEEDED. PRIVATE RUNDOWNS & PIPE DRAINS WILL BE UTILIZED TO ENSURE ADEQUATE DRAINAGE IN LOTS WITH LOW BACKYARDS.

STREET HYDRAULICS: THE FOLLOWING TABLE ILLUSTRATES THE FLOW HYDRAULICS OF THE SUBDIVISION STREETS.

STREET NAME	WIDTH(FT)	SLOPE(%)	FLOW(CFS)	DEPTH(FT)	VELOCITY(FPS)	EGL(FT)
RIDGE TOP PL.	28	8.0%	6.63	0.20	4.23	0.48
RIDGE VIEW RD.	28	8.0%	14.44	0.24	5.38	0.67
RIDGE VIEW CT.	28	4.4%	6.63	0.21	3.90	0.45
EASY STREET	28	8.0%	2.1	0.15	3.25	0.31

PARADISE HEIGHTS, UNIT ONE
BLOCK 13



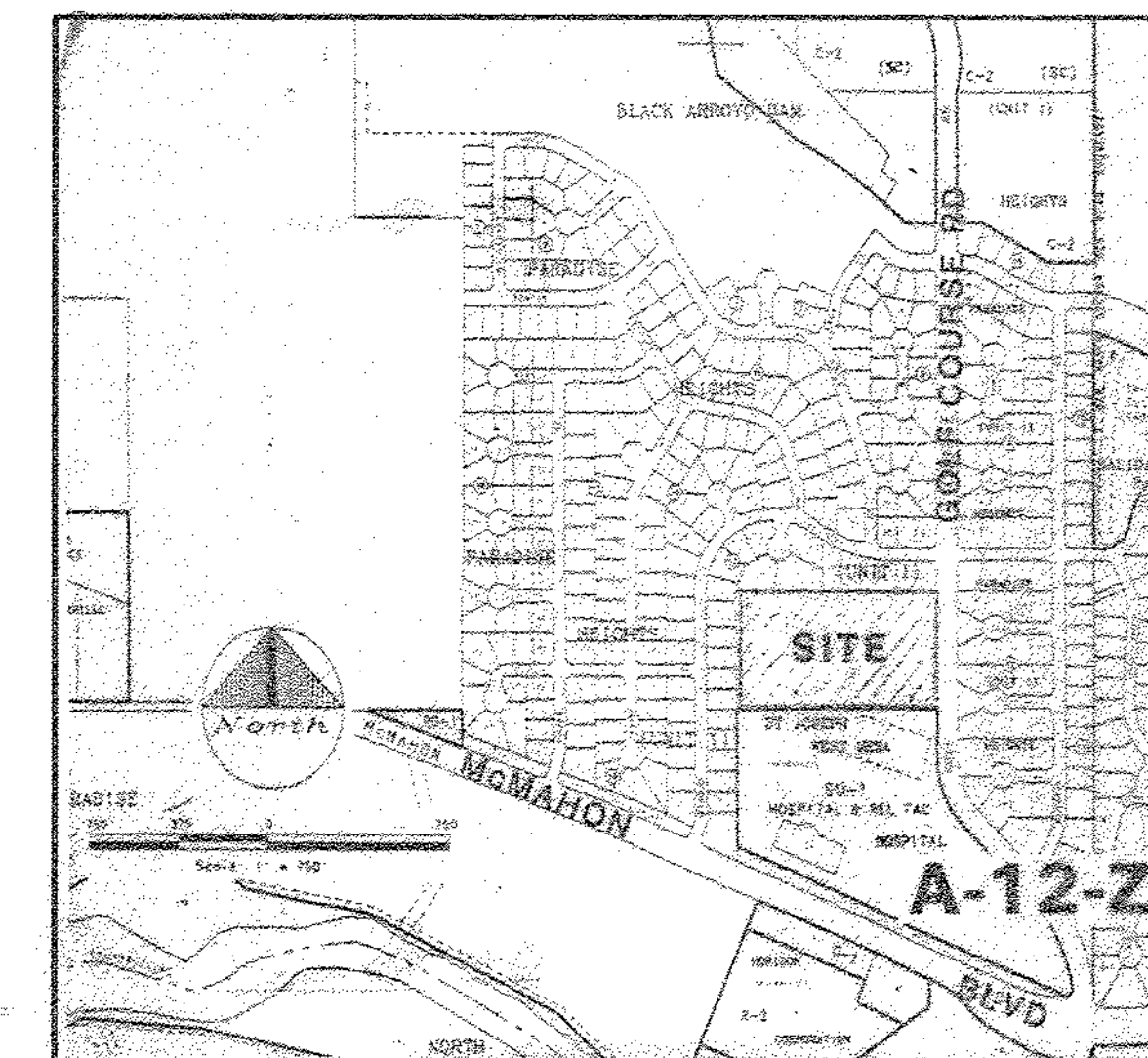
TRACT A-1

OFF-SITE SIDE SLOPE
GRADING ENCROACHMENT
AGREEMENT TO BE SECURED
FROM ST. JOSEPH WEST MESA
HOSPITAL WHERE APPLICABLE.

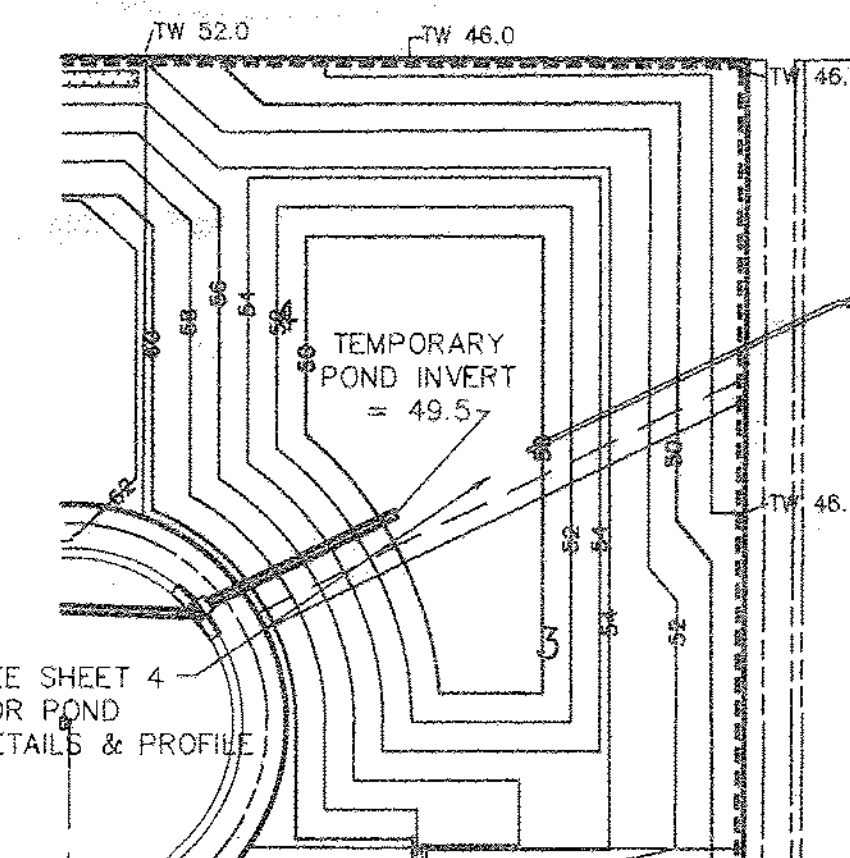
ST. JOSEPH WEST MESA HOSPITAL

 TC 71.19
 /FL 70.52
 73.7'

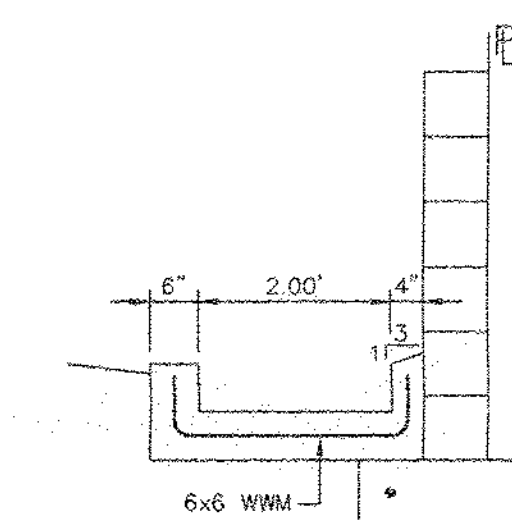
PROPOSED TOP OF CURB
 FLOWLINE
 PROPOSED SPOT ELEV.
 FUTURE SIDEWALK
 PROPOSED CURB
 PROPOSED CONTOUR
 EXISTING CONTOUR
 PG: 76.0
 PRIVATE CONC. DRAINAGE ROUNDOWN
 PRIVATE 4" PIPE DRAIN
 RETAINING WALL
 SIDEWALK CULVERT

VICINITY MAP

△ PRIOR TO RECLAIMING LOTS 3 & 4 FOR DEVELOPMENT, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE FUTURE GOLF COURSE ROAD STORM DRAIN SHOWN FROM THE DROP INLET ADJACENT TO LOT 4 TO DRIFTWOOD AVENUE NW.



TEMPORARY DETENTION POND DETAIL



PRIVATE REAR-YARD
DRAINAGE RUNDOWN
NTS

 **ISAACSON & ARFMAN, P.A.**
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
668GRD.DWGocs VIEW: 1 12/21/94

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: *PARADISE TERRACE*
GRADING & DRAINAGE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	<i>SA [Signature]</i>	<i>1/3/95</i>	WATER	<i>N/A RWF</i>	<i>12-28-94</i>
TRANSPORTATION	<i>NA [Signature]</i>	<i>12-28-94</i>	WASTE WATER	<i>N/A RWF</i>	<i>12-28-94</i>
HYDROLOGY	<i>7/12</i>	<i>1/13/95</i>			

PROJECT NO.	5099.90	MAP NO.	A-12	SHEET	3	OF	11
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AS-BUILT INFORMATION	
CONTRACTOR	
WORK STARTED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
REVISION INFORMATION BY	DATE
REVISIONS CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BEACH MARKS
 ACS CONTROL STATION "2-A12" LOCATED 8.6 MILES
 FROM DOWNTOWN ALBUQUERQUE, NORTHWEST OF THE
 INTERSECTION OF McMAHON BLVD. AND GOLF COURSE.
 ROAD BY 0.66 MILES.
 ELEVATION = 5294.29

<u>SURVEY INFORMATION</u>		
<u>NO.</u>	<u>FIELD BY</u>	<u>DATE</u>
1	ALS	7/94

ENGINEER'S SEAL

SCOTT M. MCNEE
NEW BRUNSWICK
REGISTERED PROFESSIONAL ENGINEER
10512
12-21-94
5-11-95

[illegible]

	I	5/95	FBI
		NO.	DATE

DESIGNED BY SMC
DRAWN BY AN
CHECKED BY