

CITY OF ALBUQUERQUE



May 24, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **10512 Redbud Residence**
10512 Redbud NW
Pad Certification Dated: 4/8/18
Grading Plan Stamp Date: 1/15/18
Hydrology File: A12D027

Dear Mr. Soule:

Based on the submittal received 5/18/18, the Pad Certification is approved for Building Permit.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** A12D027

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ **PAD CERTIFICATION**
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



April 18, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **10512 Redbud Residence**
10512 Redbud NW
Pad Certification Dated: 4/8/18
Grading Plan Stamp Date: 1/15/18
Hydrology File: A12D027

Dear Mr. Soule:

Based on the submittal received 4/9/18, the Pad Certification cannot be approved until the following are corrected:

1. Provide written permission from the adjoining landowner to the south (Lot 3) for the grading on their property. This permission will need to include: permission to grade, affirmation that the undersigned is the owner of Lot 3, and owner signature. **in process**
2. A revised grading plan, showing the additional grading is required. **added note**
3. Include a reseeding and site stabilization specification for the additional graded areas that won't be developed with the subject lot. Reseeding and stabilization will be checked at C.O. **identified area and added note**

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Linda sedillo-montoya
 1023 Grace st N.E
 A16 N.M 87112



9590 9402 2012 6123 9326 76

2. Article Number (Transfer from service label)

7015 1730 0000 3775 3803

COMPLETE THIS SECTION ON DELIVERY

A. Signature

[Handwritten Signature]

- Agent
- Addressee

B. Received by (Printed Name)

Linda S. Montoya

C. Date of Delivery

- D. Is delivery address different from item 1? Yes
- If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

April 19, 2018

Dana Peterson
Senior Engineer
Hydrology Section
City of Albuquerque

**RE: Grading Encroachment
10508 Red Bud
Lot 3 Block 13 Paradise Heights Unit 1
Albuquerque, New Mexico**

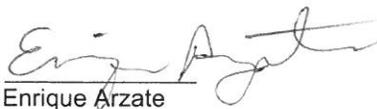
Dear Mr. Peterson:

The purpose of this letter is to document that Enrique Arzate did encroach onto the referenced lot during grading activities associated with his pad construction on Lot 4 Block 13 Paradise Heights unit 1. The limit of the encroachment was the use as a staging area for soil during the over excavation and grading activities for 10512 Red bud. As the owner of impacted lot, Ms. Linda Sedillo of Montoya Investments LLC acknowledges and accepts that this to occurred. In exchange for the temporary construction use Mr. Arzate has cleaned up the lot and will reseed with native vegetation to minimize erosion. There appears to be minimal grade changes to my lot and there does not appear to be any changes other than having native vegetation removed. Mr. Arzate Acknowledges the activities were done under his direction and assumes all liability during this activity and agrees to reseed the lot with the city approved West Side native seed mix. Mr. Arzate affirms no material was removed from lot 3 to be used as fill for lot 4.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Affirmed

Linda Sedillo
Montoya Investments LLC
Owner lot 3



Enrique Arzate
Owner lot 4