

CITY OF ALBUQUERQUE



May 24, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **10512 Redbud Residence**
10512 Redbud NW
Pad Certification Dated: 4/8/18
Grading Plan Stamp Date: 1/15/18
Hydrology File: A12D027

Dear Mr. Soule:

Based on the submittal received 5/18/18, the Pad Certification is approved for Building Permit.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** A12D027

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ **PAD CERTIFICATION**
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



April 18, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **10512 Redbud Residence**
10512 Redbud NW
Pad Certification Dated: 4/8/18
Grading Plan Stamp Date: 1/15/18
Hydrology File: A12D027

Dear Mr. Soule:

Based on the submittal received 4/9/18, the Pad Certification cannot be approved until the following are corrected:

1. Provide written permission from the adjoining landowner to the south (Lot 3) for the grading on their property. This permission will need to include: permission to grade, affirmation that the undersigned is the owner of Lot 3, and owner signature. **in process**
2. A revised grading plan, showing the additional grading is required. **added note**
3. Include a reseeding and site stabilization specification for the additional graded areas that won't be developed with the subject lot. Reseeding and stabilization will be checked at C.O. **identified area and added note**

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

redbud

Weighted E Method

										100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted (ac-ft)	Volume (ac-ft)	Flow cfs			
EXISTING	9584.00	0.220	50%	0.11	40%	0.088	10%	0.022	0%	0.000	0.587	0.011
PROPOSED	9584.00	0.220	0%	0	31%	0.068	25%	0.055	44%	0.097	1.322	0.024
rear basin	4189.00	0.096	0%	0	44%	0.042	37%	0.035	20%	0.019	1.041	0.008
front basin	5395.00	0.124	0%	0	21%	0.026	16%	0.0198	63%	0.078	1.540	0.016
total												

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1
Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditions
FIRST FLUSH WATER QUALITY VOLUME
REQUIRED (CF) PROVIDED (CF)
WATER QUALITY 119 133

Narrative

This site is an infill lot within an fully developed subdivision. The existing lots all free discahrge. Due to existing graded slopes, the existing lot drain to the rear. The plan will direct the majority of the developed flow to the adjacent roadway. The back porch and rear yard will maintain historical drainage patterns and will discharge less than historical rate.The developed site will pond in excess of the water harvest volume generated by the stie. Upland flows do not effect the site.

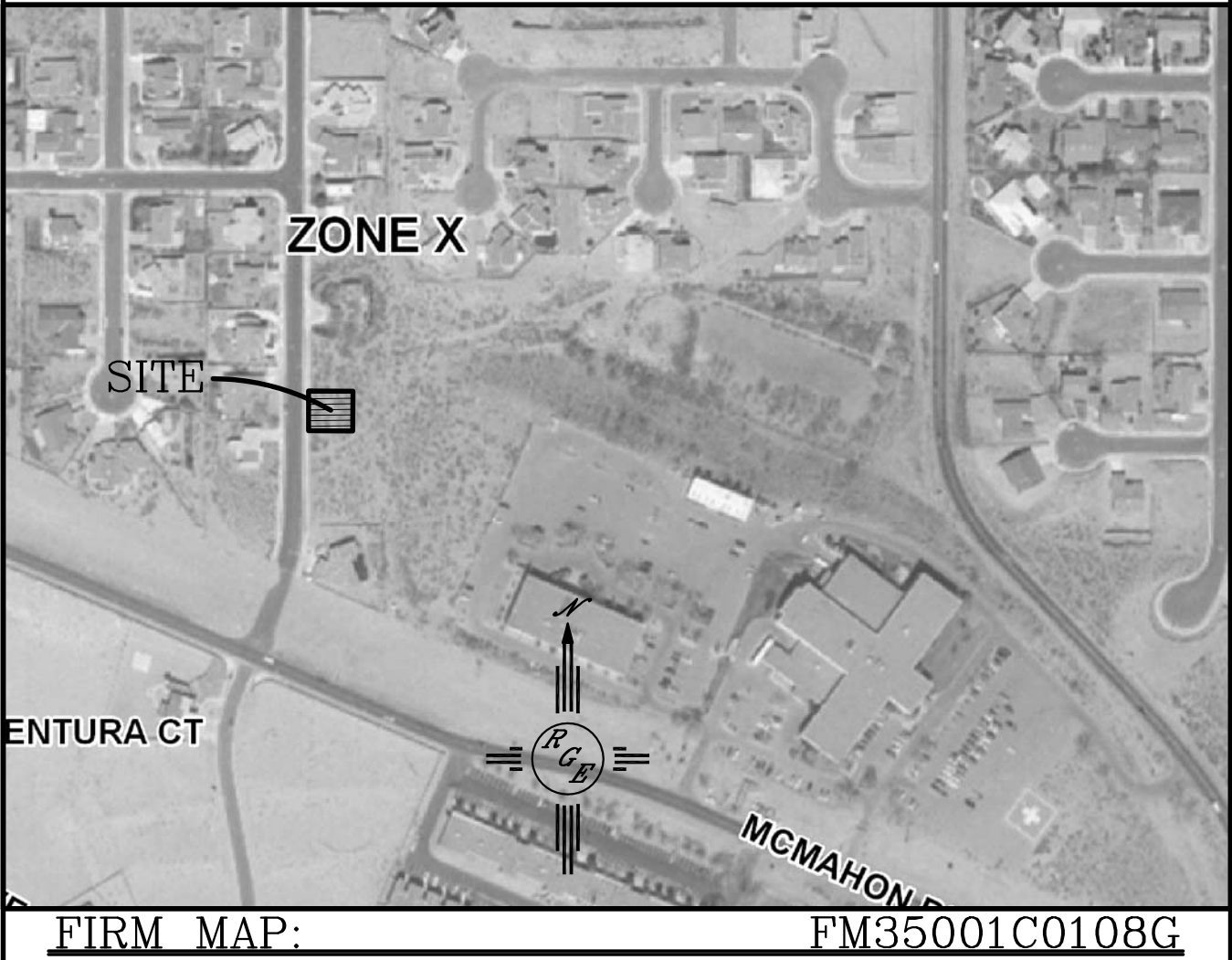
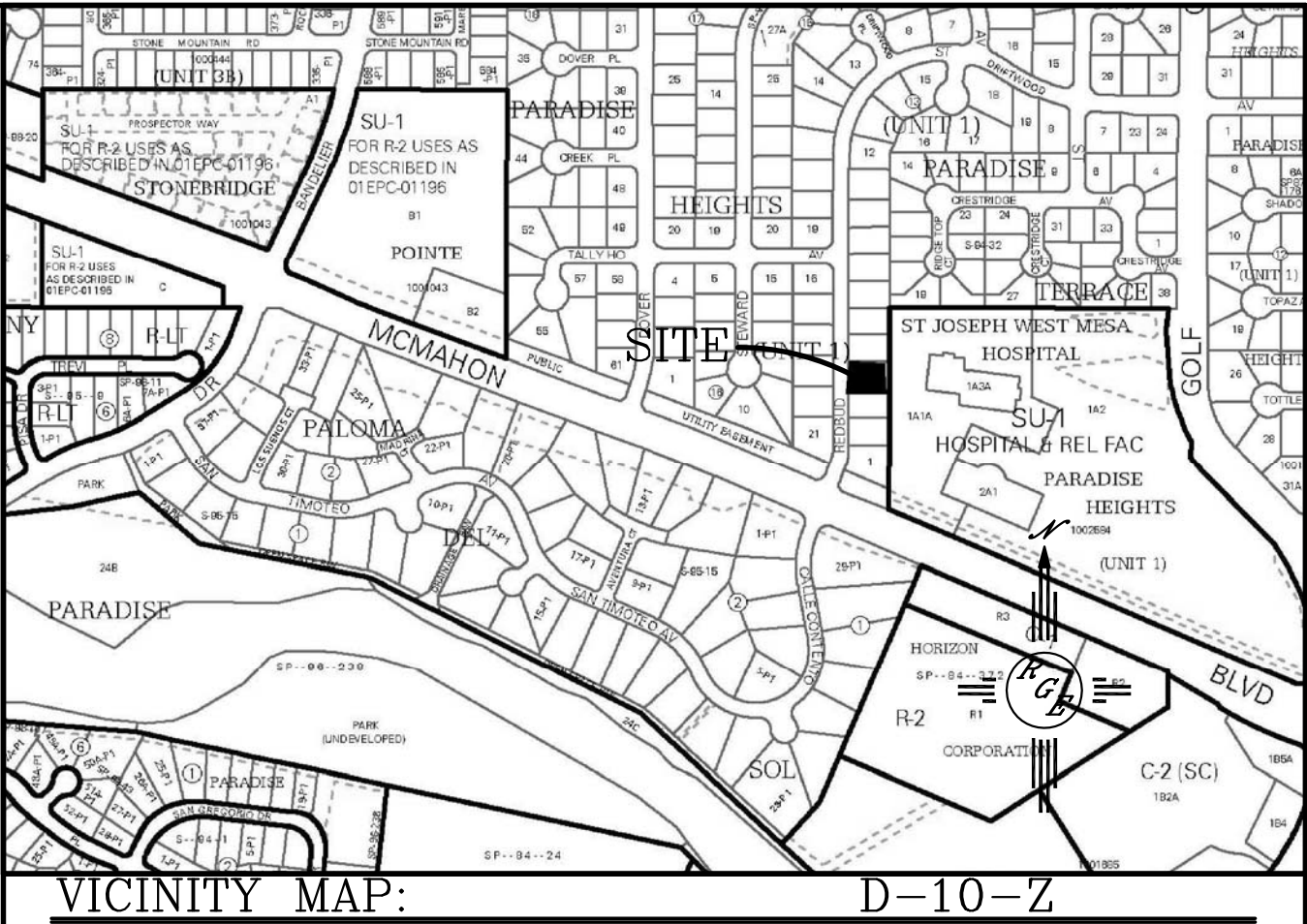
I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 1/15/18 BASED UPON APPROVAL FROM DESIGN ENGINEER THE PAD HAS BEEN CONSTRUCTED 12" LOWER. THE DRAINAGE CONCEPT HAS NOT CHANGED. I CERTIFY THE PAD IS AT A GRADE THAT CONFORMS TO THE APPROVED PLAN AND ACCEPTABLE FOR RELEASE OF BUILDING PERMIT



4/8/18

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

LOT 4, BLOCK 13 PARADISE HEIGHTS UNIT 1

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

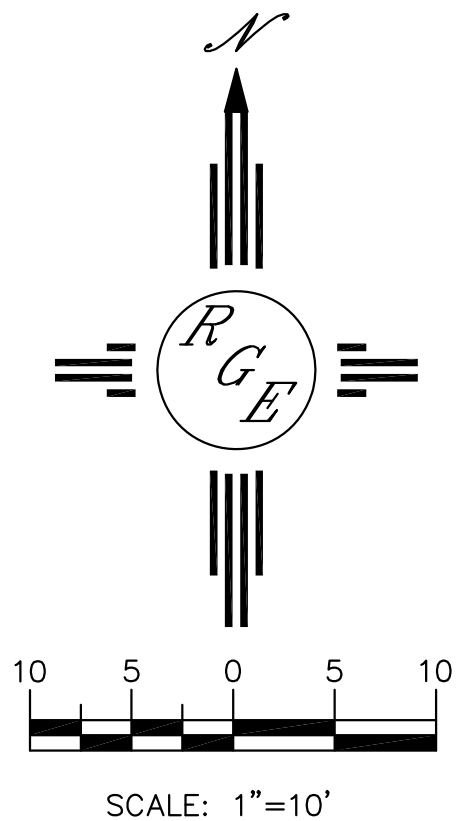
LEGEND

- XXXX --- EXISTING CONTOUR
- XXXX --- EXISTING INDEX CONTOUR
- XXXX --- PROPOSED CONTOUR
- XXXX --- PROPOSED INDEX CONTOUR
- XXXX --- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- === EXISTING CURB AND GUTTER
- PROPOSED RETAINING WALL-DESIGN BY OTHERS

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ADJACENT LOT 3, BLOCK 13, PARADISE HEIGHTS UNIT 1 WAS GRUBBED AND USED AS A STAGING AREA DURING OVEREXCAVATION ACTIVITIES ON LOT 4. THE SITE WILL BE HYDROMULCHED / RESEEDED WITH CITY OF ALBUQUERQUE WEST SIDE NATIVE SEED MIX, PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 1012.4.1.1, (0.21 ACRES DISTURBED)



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Linda sedillo-montoya
1023 Grace st N.E
Alb N.M 87112



9590 9402 2012 6123 9326 76

2. Article Number (Transfer from service label)

7015 1730 0000 3775 3803

COMPLETE THIS SECTION ON DELIVERY

A. Signature

☐ Agent☐ Addressee

B. Received by (Printed Name)

Linda S. Montoya

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☐ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail

☐ Priority Mail Express®☐ Registered Mail™☐ Registered Mail Restricted Delivery☐ Return Receipt for Merchandise☐ Signature Confirmation™☐ Signature Confirmation Restricted Delivery☐ Mail Restricted Delivery (500)

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

April 19, 2018

Dana Peterson
Senior Engineer
Hydrology Section
City of Albuquerque

**RE: Grading Encroachment
10508 Red Bud
Lot 3 Block 13 Paradise Heights Unit 1
Albuquerque, New Mexico**


Dear Mr. Peterson:

The purpose of this letter is to document that Enrique Arzate did encroach onto the referenced lot during grading activities associated with his pad construction on Lot 4 Block 13 Paradise Heights unit 1. The limit of the encroachment was the use as a staging area for soil during the over excavation and grading activities for 10512 Red bud. As the owner of impacted lot, Ms. Linda Sedillo of Montoya Investments LLC acknowledges and accepts that this to occurred. In exchange for the temporary construction use Mr. Arzate has cleaned up the lot and will reseed with native vegetation to minimize erosion. There appears to be minimal grade changes to my lot and there does not appear to be any changes other than having native vegetation removed. Mr. Arzate Acknowledges the activities were done under his direction and assumes all liability during this activity and agrees to reseed the lot with the city approved West Side native seed mix. Mr. Arzate affirms no material was removed from lot 3 to be used as fill for lot 4.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Affirmed

Linda Sedillo
Montoya Investments LLC
Owner lot 3



Enrique Arzate
Owner lot 4