

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 29, 2020

Scott Anderson, RA
Scott Anderson & Associates Architects
7604 Rio Penaco NW
Albuquerque, NM 87120

RE: 10516 Olympic St. NW
Revised Grading and Drainage Plan
Engineer's Stamp Date: No Stamp
Hydrology File: A12D028

Dear Mr. Anderson:

Based upon the information provided in your submittal received 12/14/2020, the Revised Grading & Drainage Plan **is not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

1. Per the DPM, the following must be on the Grading & Drainage Plan:

- a. Please provide an engineer's stamp with a signature and date.
- b. Please use 1" = 20' for the scale.
- c. Please provide a north arrow.
- d. Please provide a graphic scale.
- e. Please provide a Vicinity Map with an indication to where the site is located. Typically, this is the Zone Atlas.
- f. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
- g. Please provide the FIRM Map and flood plain note with effective date.
- h. Please provide a legal Description of the property.
- i. Please provide all adjacent property legal information for each property such as lot, block, and subdivision if it is different from the subject property.
- j. Please provide the proposed FF (finished floor) elevation and the FP (finished pad) elevation for the house.

2. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100-year 6-hour storm event.

3. It appears that the survey shown is a mixture of the existing topographic survey and the previously approved engineered design (engineer's date 07/20/2017). Since that product was never built and the current product is a much smaller house, I need all of the older

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

previously approved engineered design and proposed grading & grade points removed prior to the new engineering grading design. There are several obvious design features such as the retaining walls on the south side of the property that does not need to be there now since the house is much smaller and the grading can be accomplished without the walls. Also, there was going to be several stem walls in the previous larger house structure that does not seem to be in this new design. I would highly recommend you hiring a licensed New Mexico civil engineer to do the new revised Grading & Drainage Plan.

4. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
5. Standard review fee of \$75 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

PO Box 1293

Sincerely,

Albuquerque

NM 87103

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 10516 Olympic NW Building Permit #: 20 43382 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 12 Block 11 Paradise Heights Unit 1

City Address: 10516 Olympic St NW

Applicant: Scott Anderson Contact: _____

Address: 4419 4th St NW Ste B

Phone#: 505 401 7575 Fax#: scott @ ~~scott~~ E-mail: scottarchitects.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

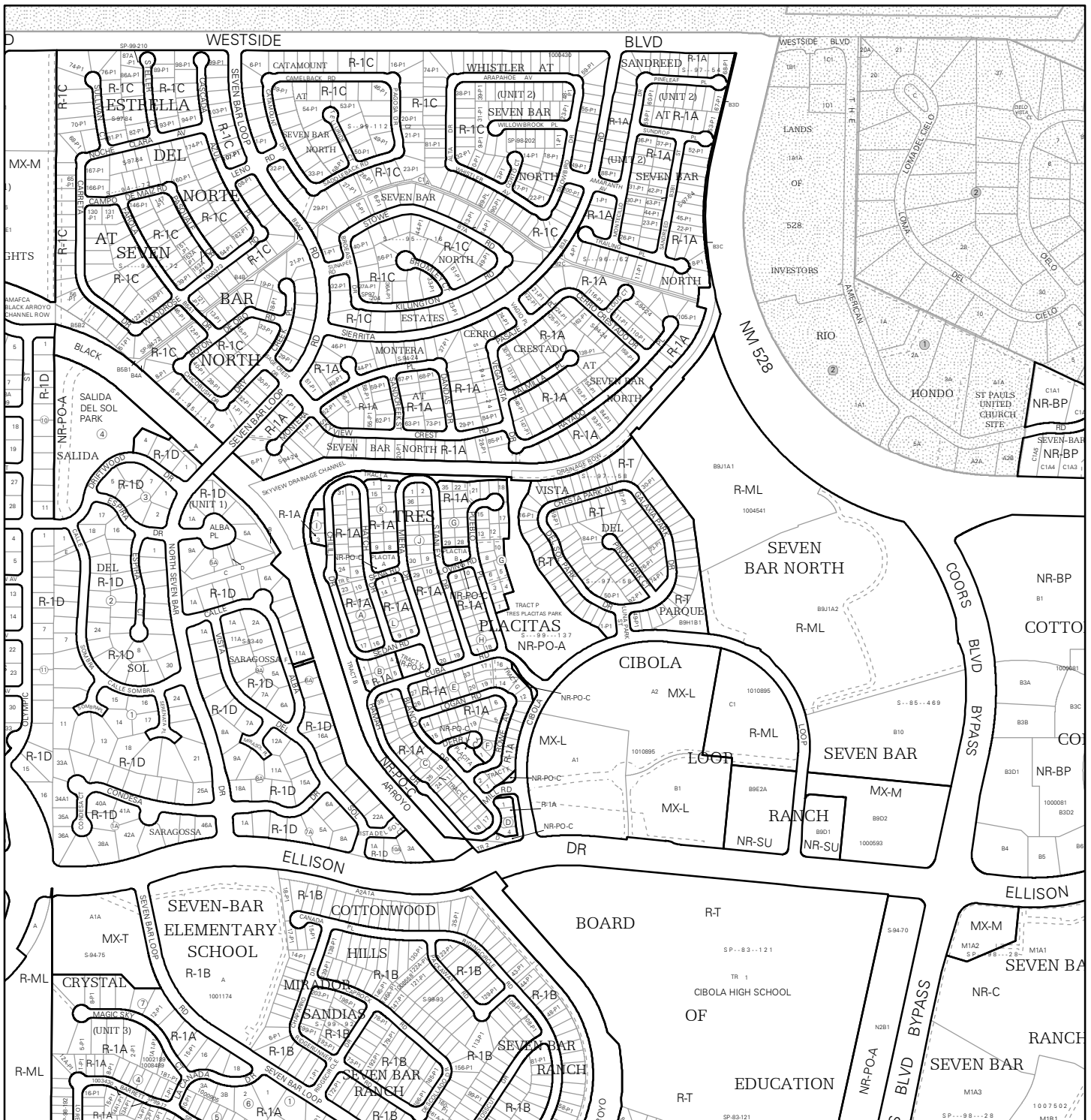
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/8/2020 By: [Signature]

COA STAFF:

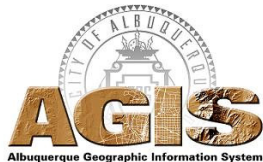
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

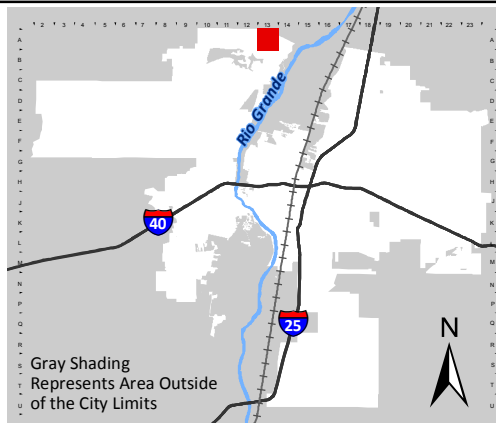


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

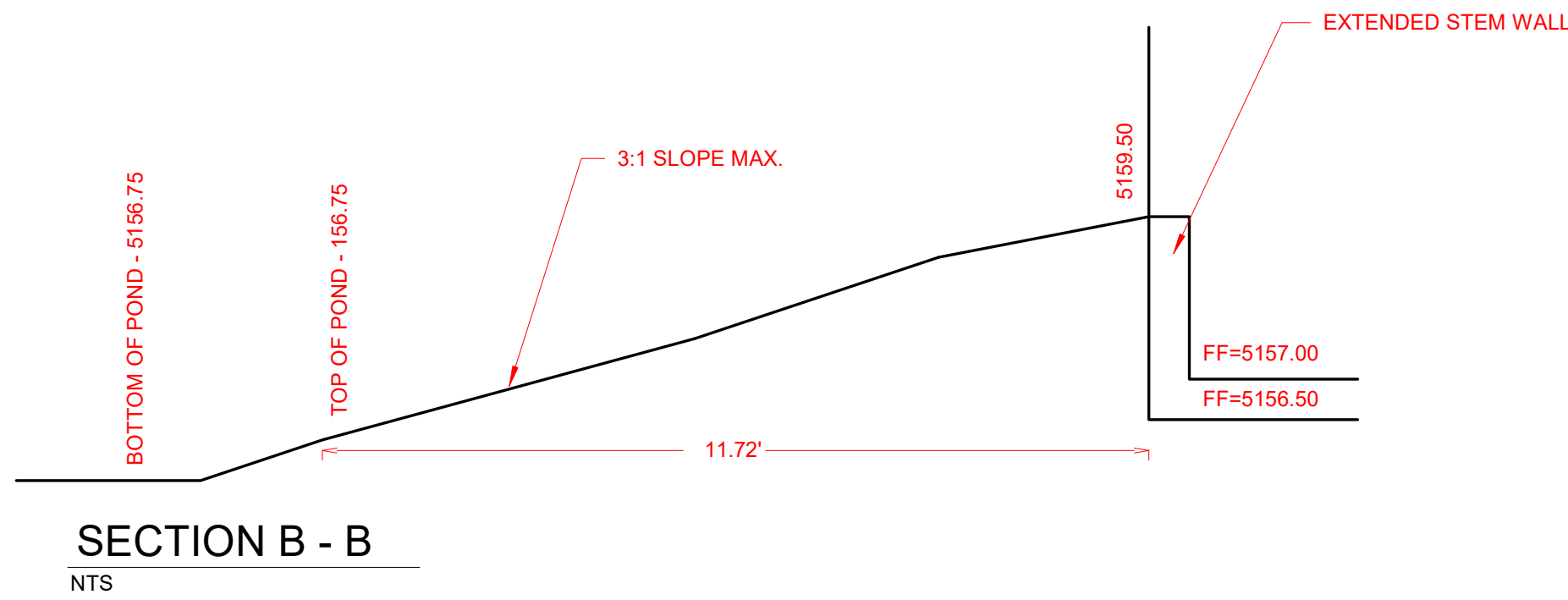
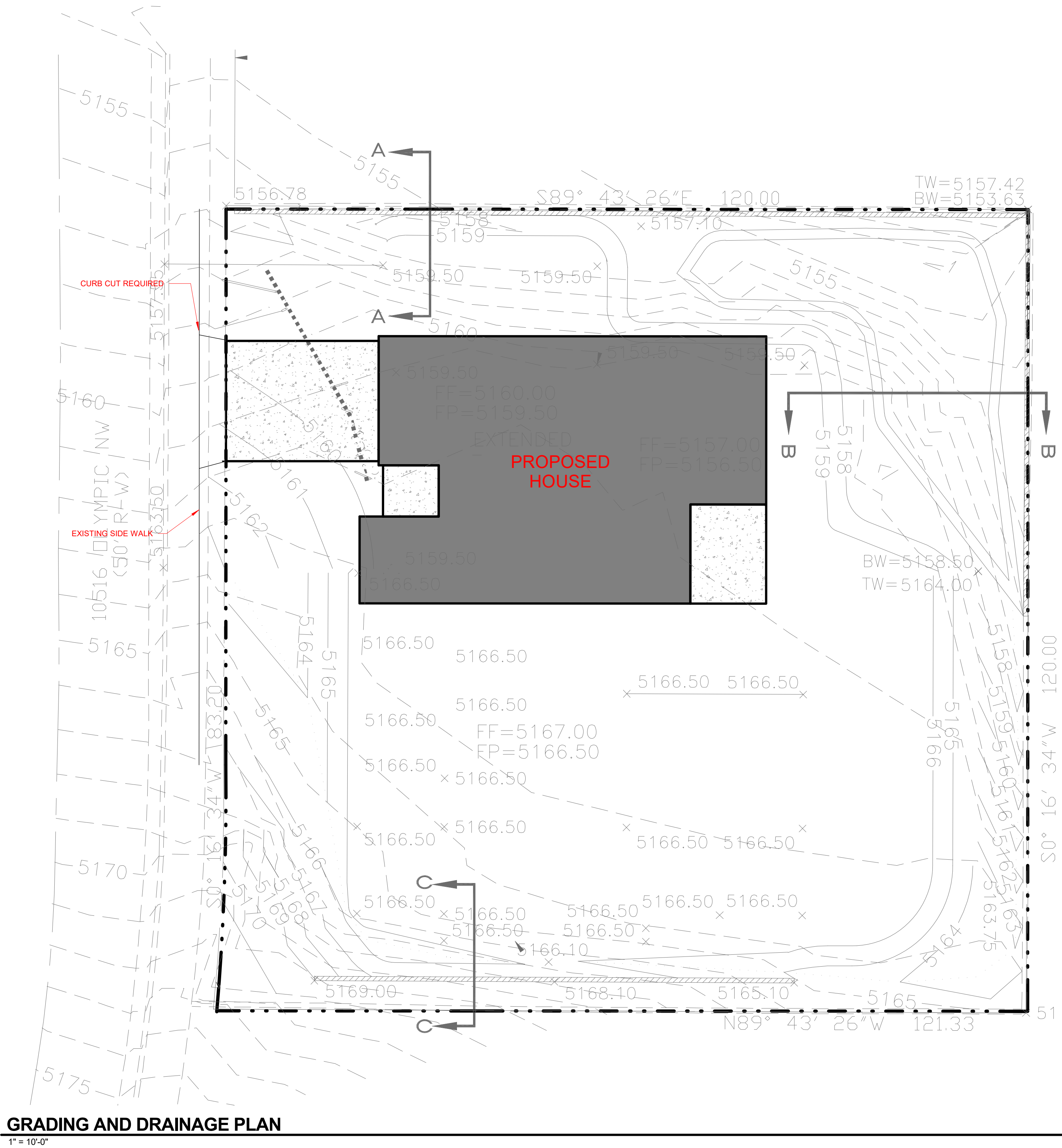
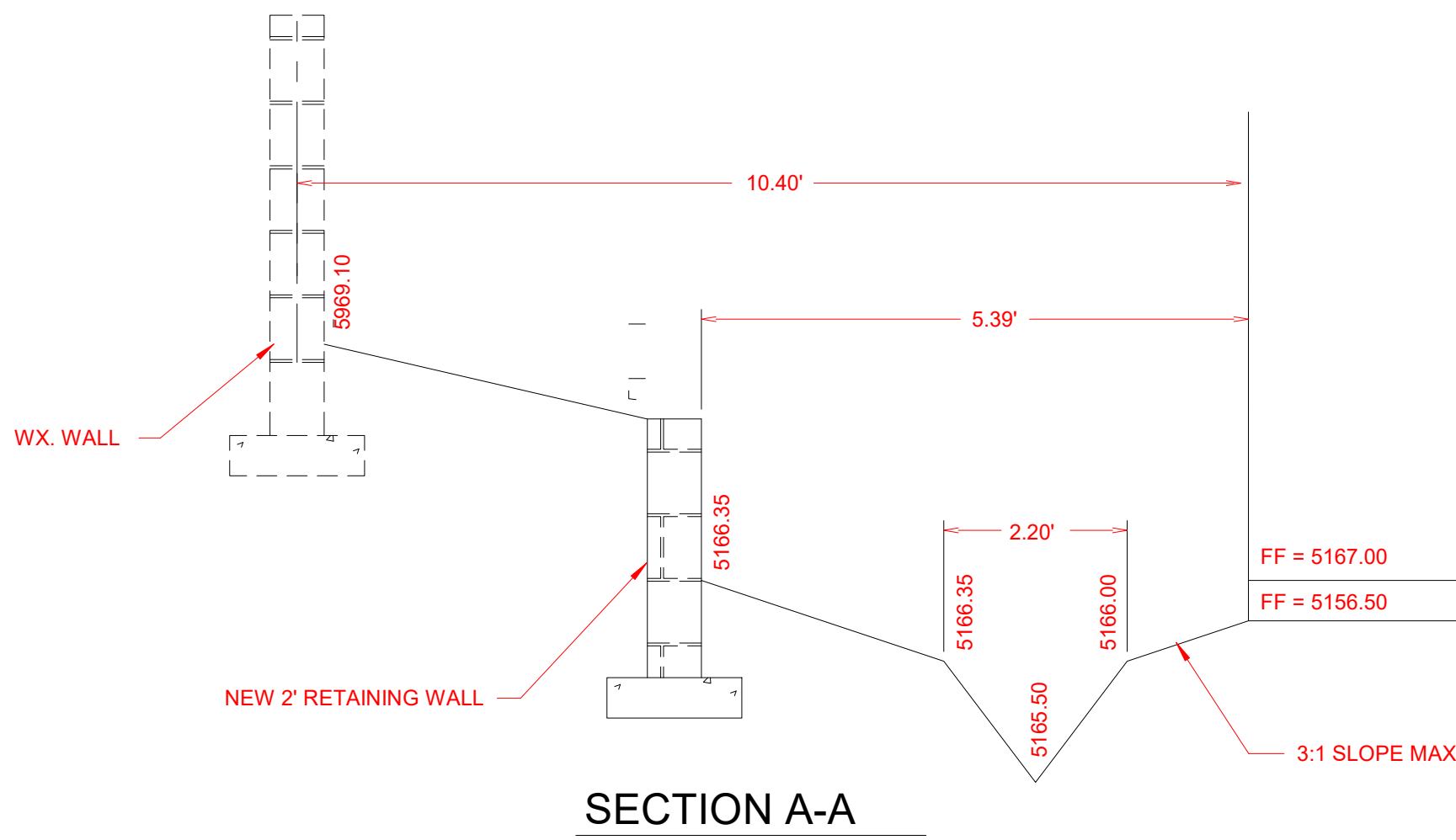
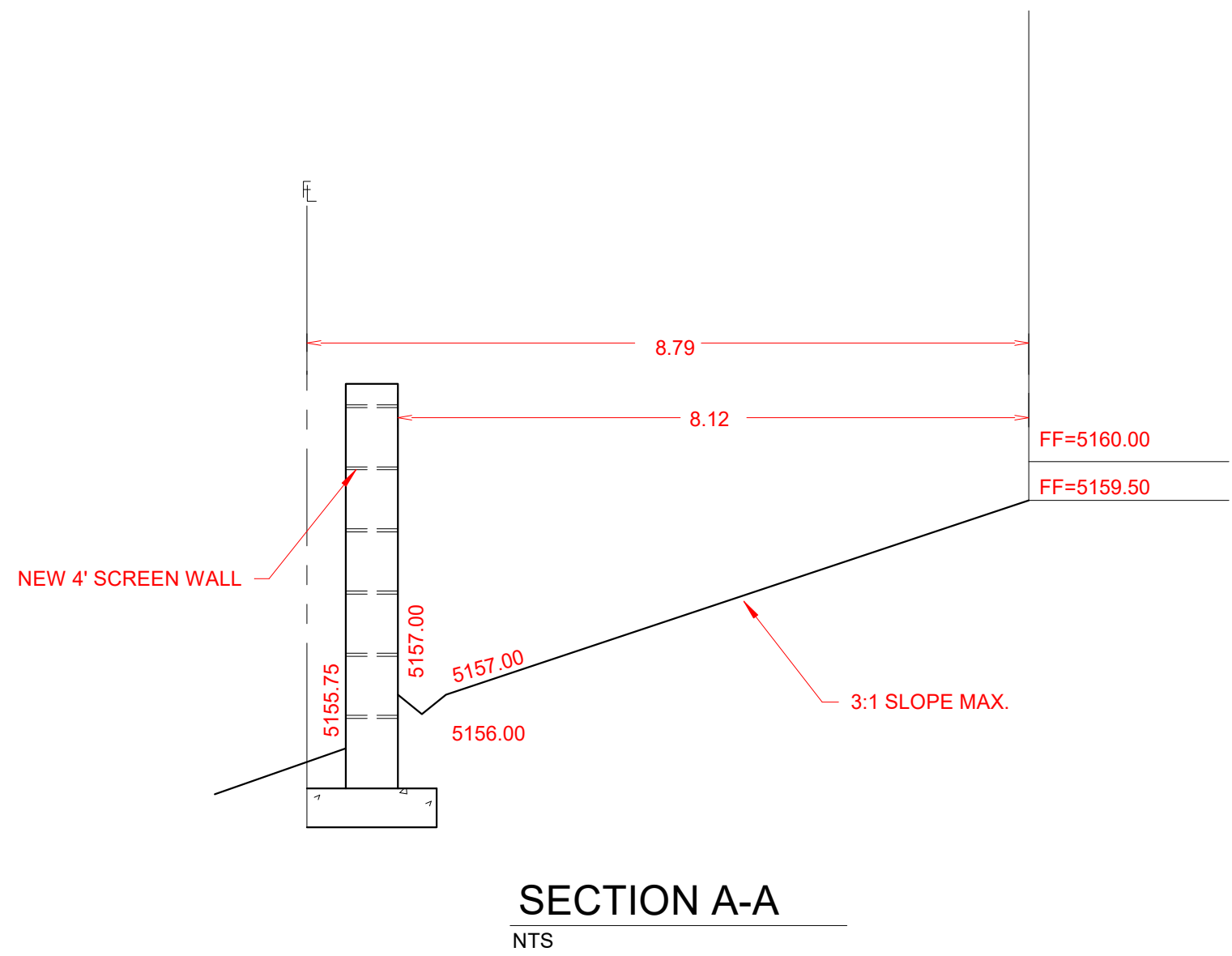



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-13-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet





SCOTT C. ANDERSON
& associates architects
7604 rio penasco nw
albuquerque, nm 87120
andersonscott@comcast.net
505.401.7575

10516 OLYMPIC ST NW
ALBUQUERQUE NM, 87114

DRAWING TITLE		GRADING AND DRAINAGE PLAN	
SEAL	DESIGNED	Designer	PROJECT NO. 20-037
	DRAWN	Author	SCALE 1" = 10'-0"
	CHECKED	Checker	DRAWING NO.
	REVIEWED	Designer	16
	DATE	9/02/2020	