

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

November 15, 2018

Steve Metro, PE
Wilson and Company
4401 Masthead St NE Suite 150
Albuquerque, NM 87109

RE: 10509 Steward St NW
Request for Certificate of Occupancy – Permanent
Engineer's Certification – Not Accepted
Grading Plan Stamp Date 2/20/18
Engineer's Certification Date: 11/13/18
Hydrology File: A12D029

Dear Mr. Metro:

PO Box 1293

Based on the submittal received on 11/13/18, the Engineer's Certification cannot be accepted until the following are corrected:

Albuquerque

Prior to Certificate of Occupancy (Permanent):

NM 87103

1. The exposed footer and bottom course of CMU block need to be reburied along the north property line:

www.cabq.gov



CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

2. Remove the rock pile from the public ROW:



PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09 2015)

Project Title: 10509 STEWARD ST. NW G+D Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: L+8 Block 16 PARADISE HEIGHTS UNIT ONE

City Address: 10509 STEWARD ST. NW, APO, NM 87112

Engineering Firm: Wilson & Company Contact: Steve Metro

Address: 4401. Masthead St NE APO NM 87109

Phone#: 505-280-4553 Fax#: 505-348-4055 E-mail: steve.metro@wilsonco.com

Owner: American Home Realty Contact: Mia Huynh

Address: 1912 San Breyge St NW

Phone#: 505-440-4632 Fax#: _____ E-mail: mhuynh@comcast.net

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☒ OTHER (SPECIFY) AS BUILT

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

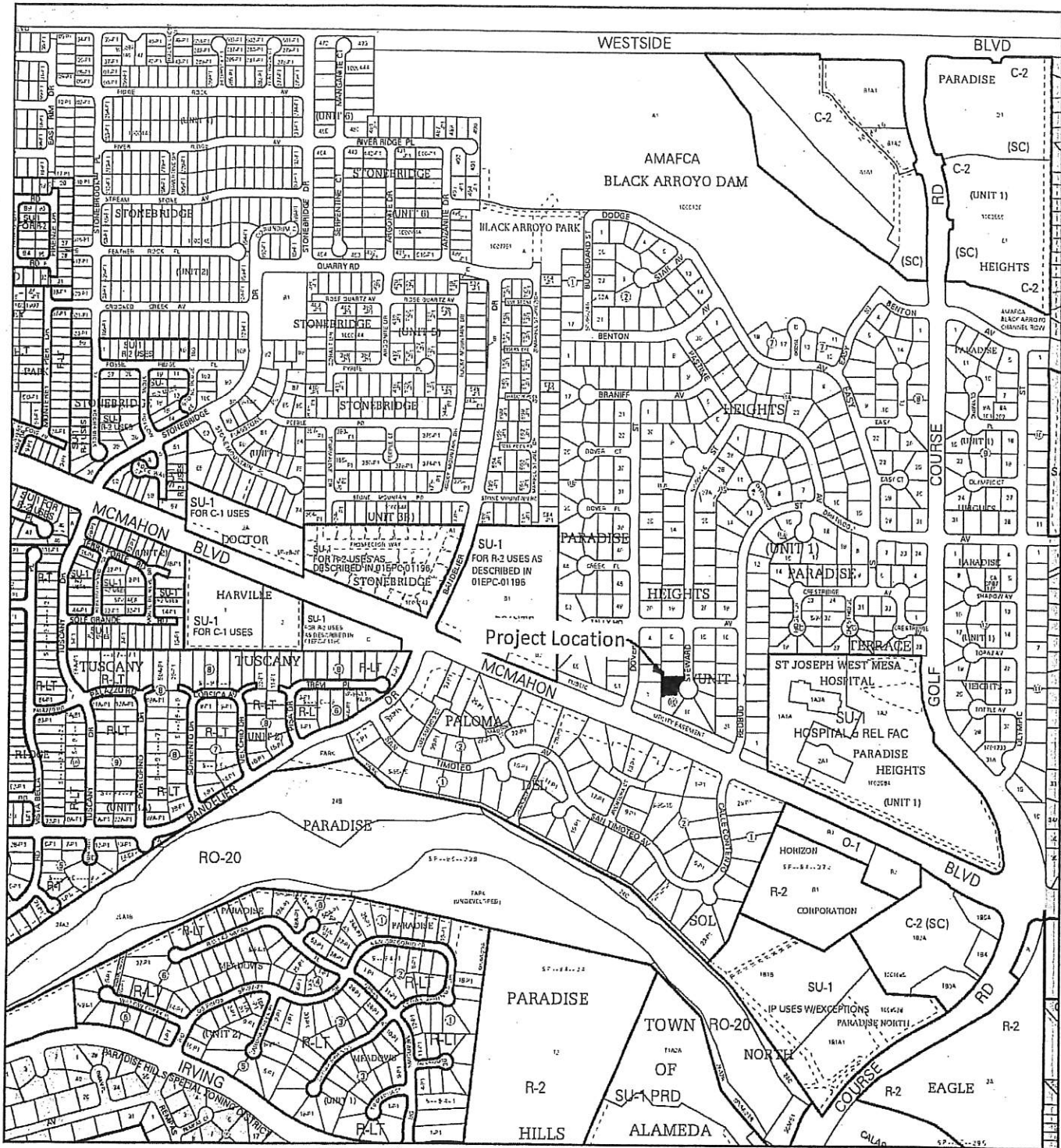
DATE SUBMITTED: 1-12-18 By: Steve Metro

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

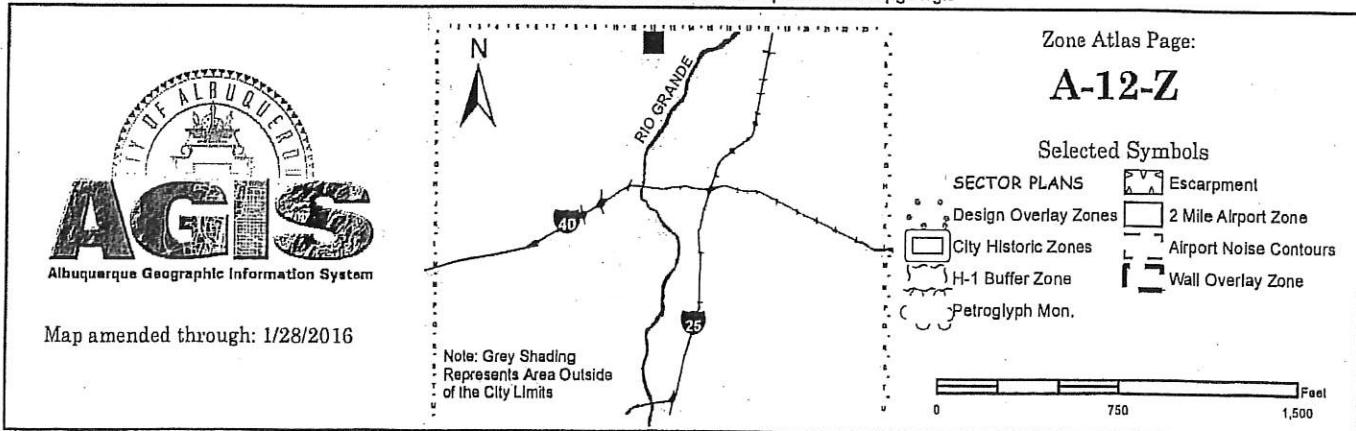
- ☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SD-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☒ OTHER (SPECIFY) AS BUILT

COA STAFF ELECTRONIC SUBMITTAL RECEIVED _____



For more current information and details visit: <http://www.cabq.gov/gis>



CITY OF ALBUQUERQUE



February 27, 2018

Steve Metro, PE
Wilson and Company
4401 Masthead St NE Suite 150
Albuquerque, NM 87109

RE: **10509 Steward St NW**
Grading and Drainage Plan
Engineer's Stamp Date 2/20/18
Hydrology File: A12D029

Dear Mr. Metro:

Based upon the information provided in your submittal received 2/21/18, the Grading Plan is approved for Grading Permit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

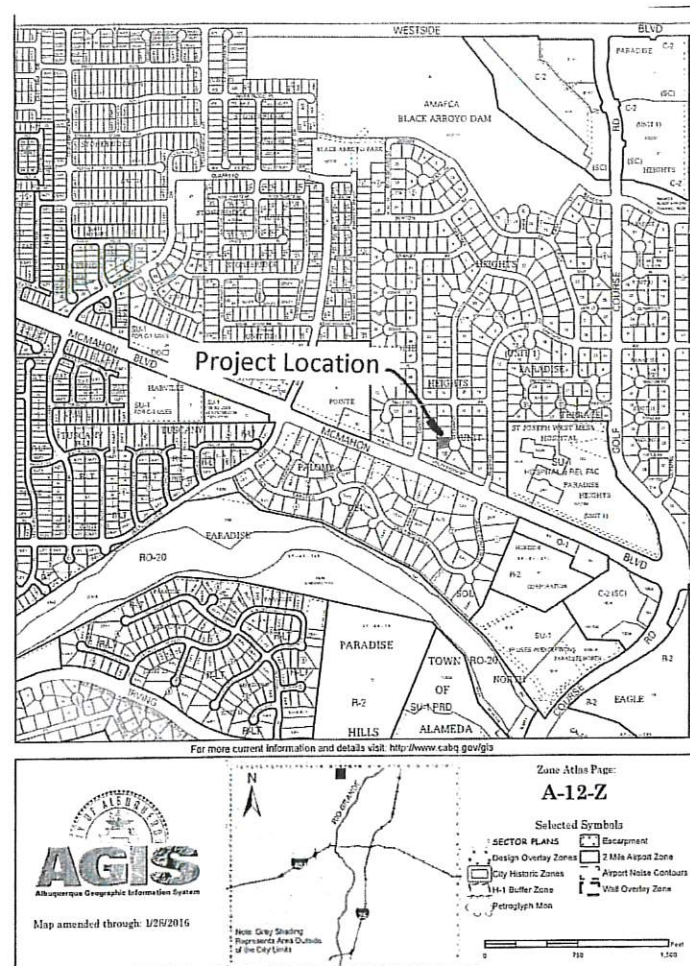
- Prior to issuing Building Permit, Engineer's Certification of the graded building pad will be required.
- Prior to requesting Certificate of Occupancy, an additional Engineer's Certification of the finished grades will be required to ensure intended grades remained in place during home construction.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

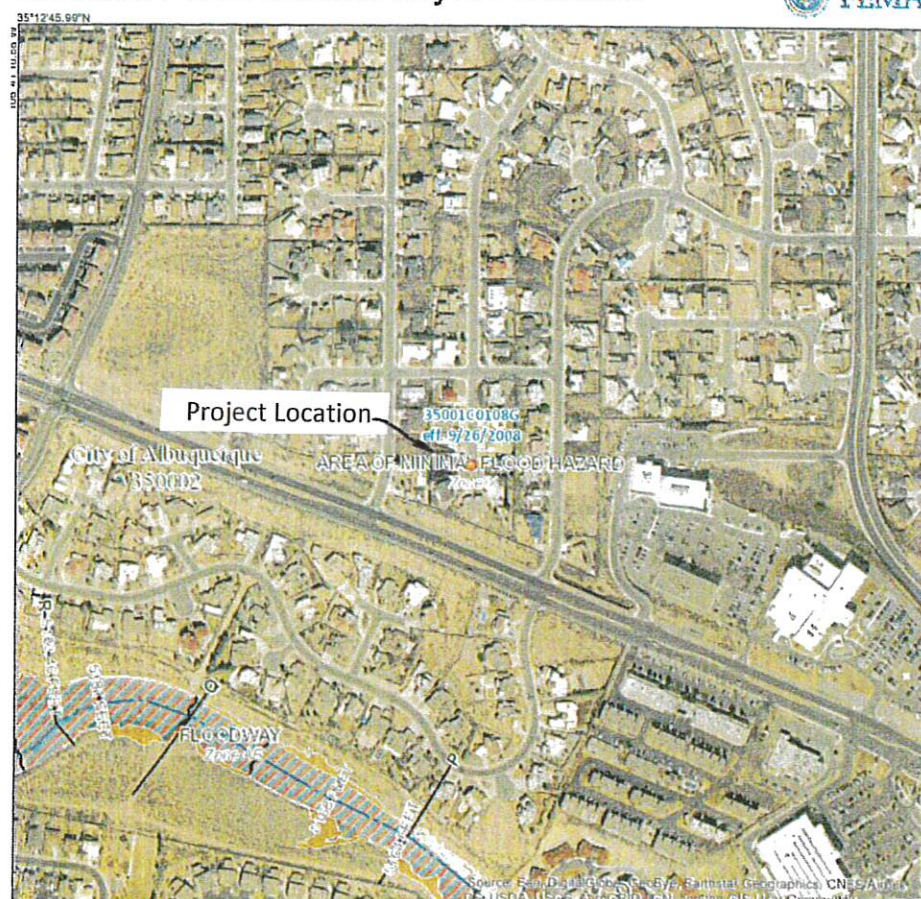
Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



VICINITY MAP

National Flood Hazard Layer FIRMette



Legend

SEC FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE)
 - With BFE or Depth
 - Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
 - Future Conditions 1% Annual Chance Flood Hazard
 - Area with Reduced Flood Risk due to Levee, See Notes
 - Area with Flood Risk due to Levee
- OTHER AREAS OF FLOOD HAZARD**
 - Area of Minimal Flood Hazard
 - Effective LOMs
 - Area of Undetermined Flood Hazard
- GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
- OTHER FEATURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature
- MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped

This map complies with FEMA's standards for the use of digital flood maps. If it is not valid as described below. The base map shown complies with FEMA's base map accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/17/2018 at 2:24:09 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is valid if the one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Narrative

Grading and Drainage Plan for the construction of the building pad for Lot 8, Block 16, PARADISE HEIGHTS UNIT ONE.
Address: 10509 STEWARD STREET, NW ALBUQUERQUE, NM
Purpose of this Plan is to establish the first floor elevation, house layout, lot drainage including offsite flows.

First Flush per EPA Standards

The Initial First Flush to be managed is 0.44" less 0.10" initial impervious abstraction = 0.34" or 220 cubic feet. The initial storage on site will be collected and held in the two landscape ponds near the street as shown on the Plan.

WILSON & COMPANY
4401 MASTHEAD ST NE
SUITE 150
ALBUQUERQUE, NEW MEXICO 87109
PH (505) 348-4000
FAX (505) 348-4072
www.wilsonco.com

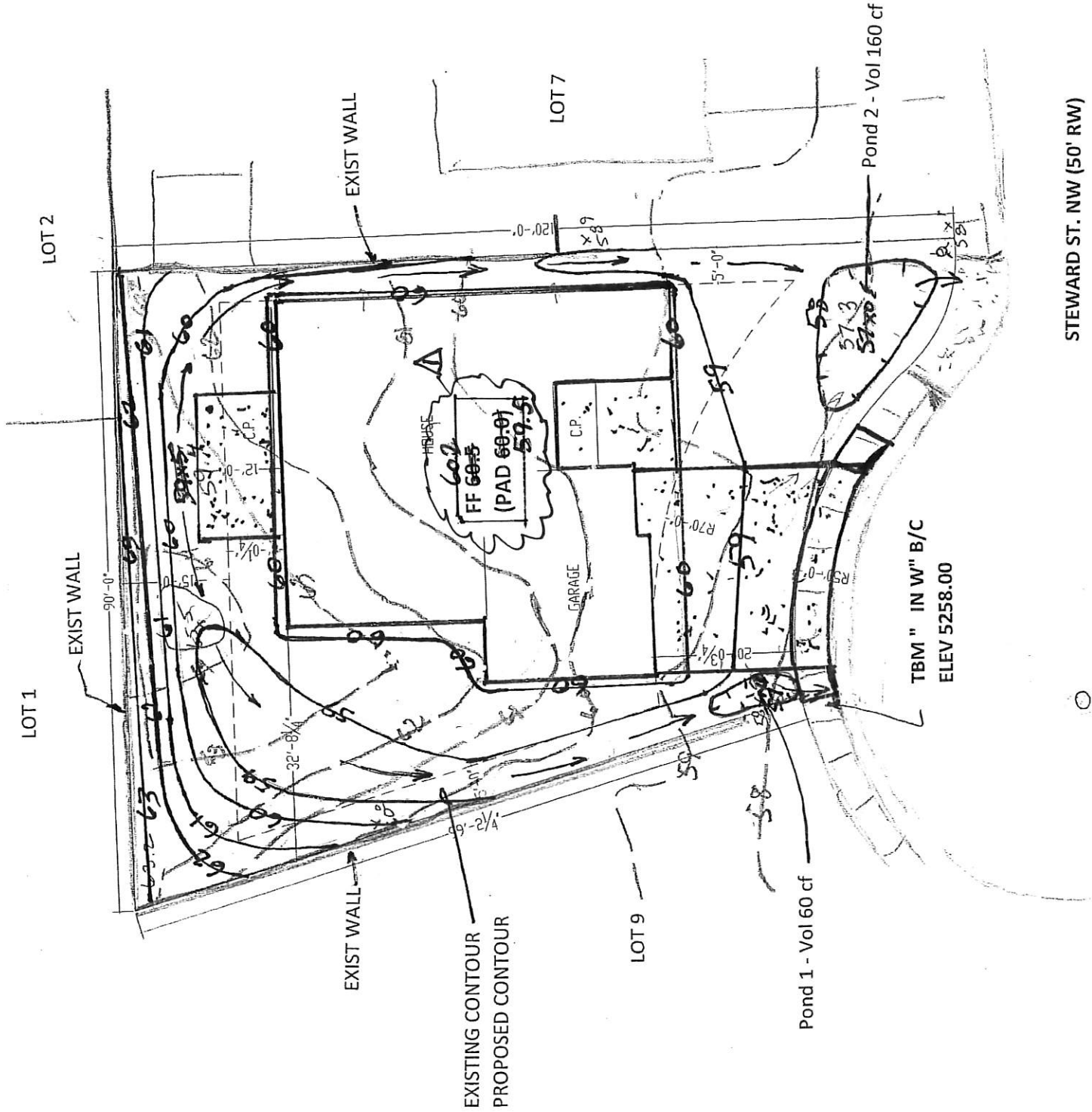


GRADING & DRAINAGE PLAN
10509 Steward St, NW
LOT 8, BLOCK 16, PARADISE HTS
UNIT ONE

AS BUILT
SHEET 1 OF 2

Note:

1. Owner / Contractor shall acquire a separate permit for any new retaining walls that are designed by a Professional Engineer.
2. All walls / fences require a separate permit.
3. A pad certification is required before the slab is poured.



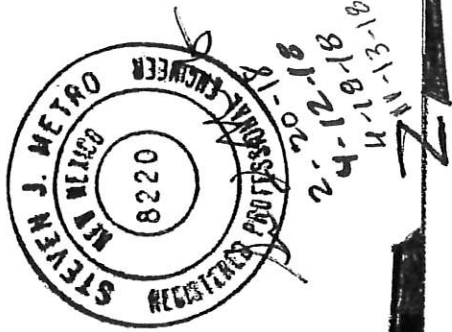
DRAINAGE CERTIFICATION

I, Steven J. Metro, NMPE 8220, OF THE FIRM Wilson & Company, Inc., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN AS REVISED DATED 4-18-2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA TO THE ORIGINAL TOPOGRAPHIC SURVEY PREPARED BY Steven J. Metro, NMPS 10025, OF THE FIRM Wilson & Company, Inc., AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy at 10509 Steward Street, NW.

THIS CERTIFICATION IS FOR THE CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Sk J Metro 11-13-18
Steven J. Metro, NMPE 8220 and NMPS 10025 Date



1"=20'

**PAO ELEV REVISED TO MATCH
ADJACENT HOUSES AND IMPROVE
DRIVEWAY GRADE**

AS BUILT

PREPARED BY STEVEN J. METRO, PE AND PS

GRADING & DRAINAGE PLAN
10509 Steward St, NW
LOT 8, BLOCK 16, PARADISE HTS
UNIT ONE

LOT 7, BLOCK 8, UNIT 18 VCS	AREA SF	%	SAD 228 DMP %	Q100 CFS		TOTAL	
				ZONE 1	Q100 CFS	PROP	EXISTING
TYPE D	3,570	45%	50	4.37	0.36	0.00	0.00
TYPE C	4,050	51%	40	2.87	0.27	0.52	0.52
TYPE B	300	4%	10	2.03	0.01	0.00	0.00
	7920	100%	100		0.64	0.52	0.52