

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

November 6, 2019

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 10524 Redbud St. NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 05/22/19**  
**Engineer's Certification Date: 10/31/19**  
**Hydrology File: A12D030**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your Certification received on 10/31/19 and site photos sent on 11/06/19, the above referenced Certification is acceptable for Building Pad Certification for 10524 Redbud St. NW.

Albuquerque

As a reminder, prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 10524 REDBUD **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT 7 BLOCK 13 PARADISE HEIGHTS UNIT 1

**City Address:** 10524 REDBUD

**Applicant:** CIPRIANO GARCIA **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

**Address:** PO BOX 93924 ALB NM 87199

**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☒ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method										
redbud										100-Year, 6-hr.
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted (ac-ft)	Volume (ac-ft)	Flow cfs	
EXISTING	9602.00	0.220	80%	0.176	20%	0.044	0%	0.000	0.486	0.009
PROPOSED TO STREE	5776.00	0.133	0%	0	19%	0.025	29%	0.0385	52%	0.069
PROPOSED TO REAR	3526.00	0.081	10%	0.008	49%	0.040	25%	0.0202	16%	0.013
total							0.935	0.006		0.21

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions	FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	85	88
FRONT	16	186
BACK		
Narrative		

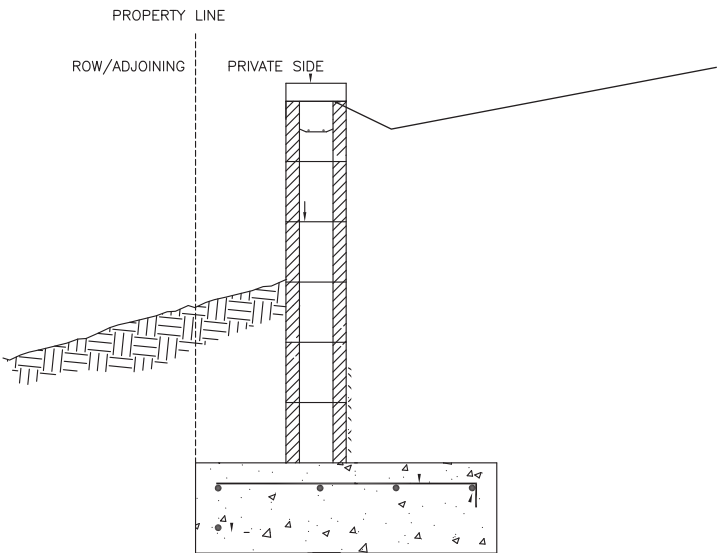
This site is an infill lot within an fully developed subdivision. The existing lots all free discahrge. Due to existing graded slopes, the existing lot dr to the rear. The plan will direct the majority of the developed flow to the adjacent roadway. The developed site will pond in excess of the water quality volume generated by the site. Upland flows do not effect the site.

The site currently discharges at a peak rate of 32 cfs to the rear. The propose discharge to the rear is reduced to .21 cfs

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 5/22/19

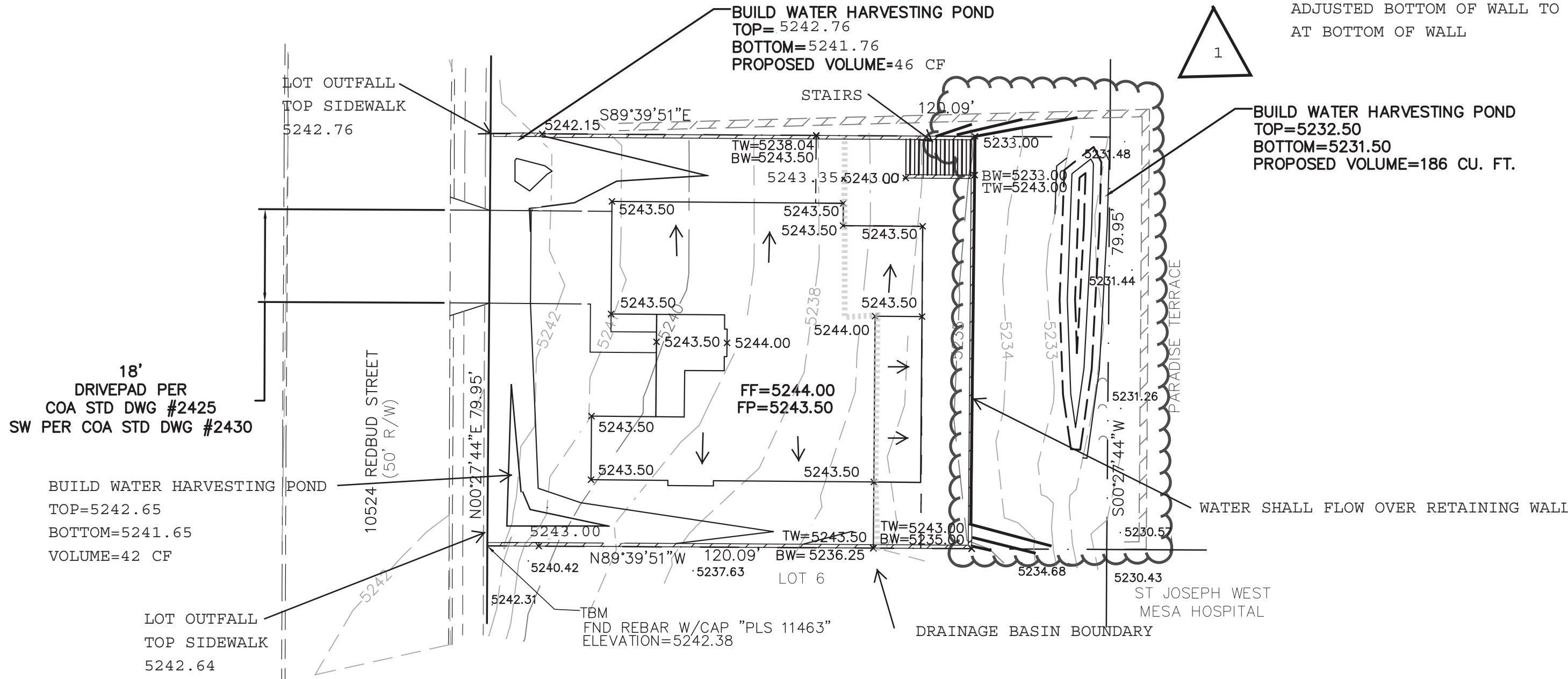


10/31/19



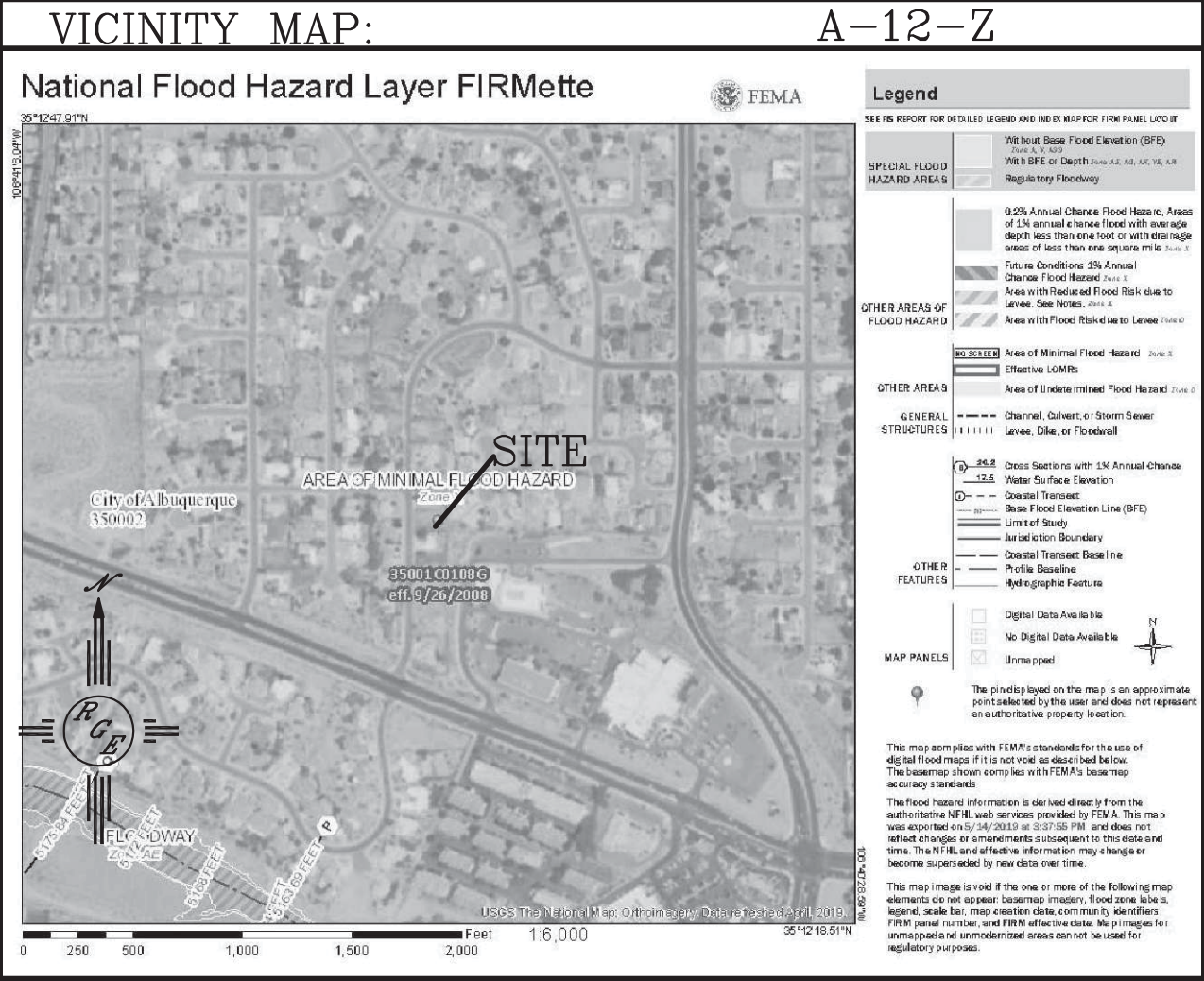
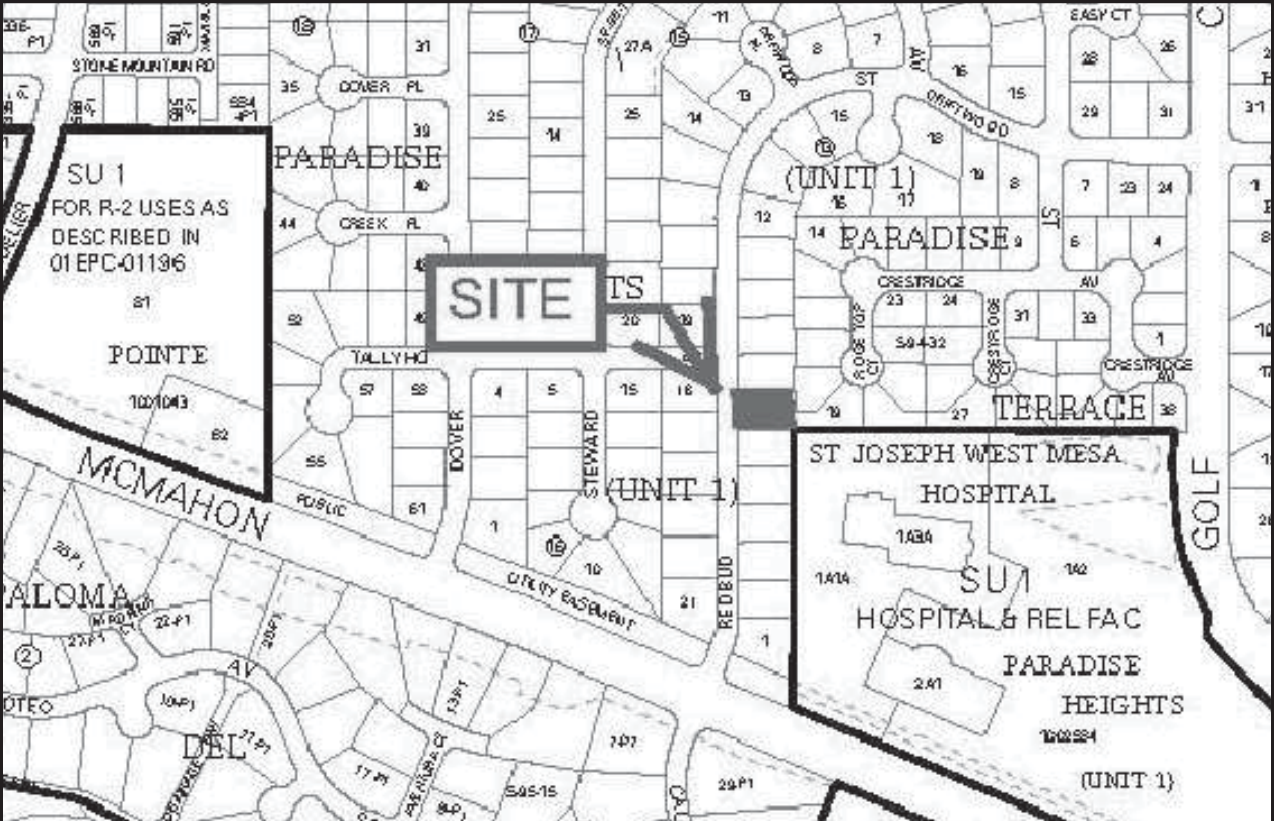
WALL SHALL BE CONSTRUCTED SUCH THAT NO PORTION OF WALL OR FOOTING SHALL ENCRUGH. EXISTING GRADES SHALL BE MAINTAINED WITHIN RIGHT OF WAY and adjacent properties

WALL DETAILS AT ALL PROPERTY BOUNDARIES



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP:

LEGAL DESCRIPTION:

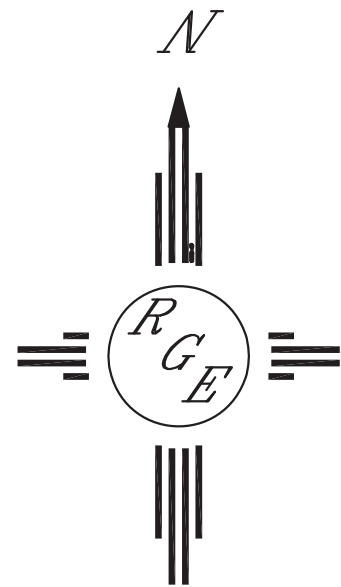
LOT 7, BLOCK 13, PARADISE HEIGHTS UNIT 1

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
5. ALL SITE WORK SHALL CONFORM TO BERNALILLO COUNTY STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

- S414--- EXISTING CONTOUR
- S415--- EXISTING INDEX CONTOUR
- S414--- PROPOSED CONTOUR
- S415--- PROPOSED INDEX CONTOUR
- ▲ SLOPE TIE
- 4048.25 EXISTING SPOT ELEVATION
- 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED CURB
- EXISTING CURB AND GUTTER
- EXISTING SIDEWALK
- PROPOSED RETAINING WALL DESIGN BY OTHERS
- DRAINAGE BASIN LINE



GRAPHIC SCALE

SCALE: 1"=60'

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL  5/22/19 DAVID SOULE P.E. #14522	10524 REDBUD	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 5-20-19
	 Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2109042-LAYOUT-5-20-19 SHEET # JOB # 2109042